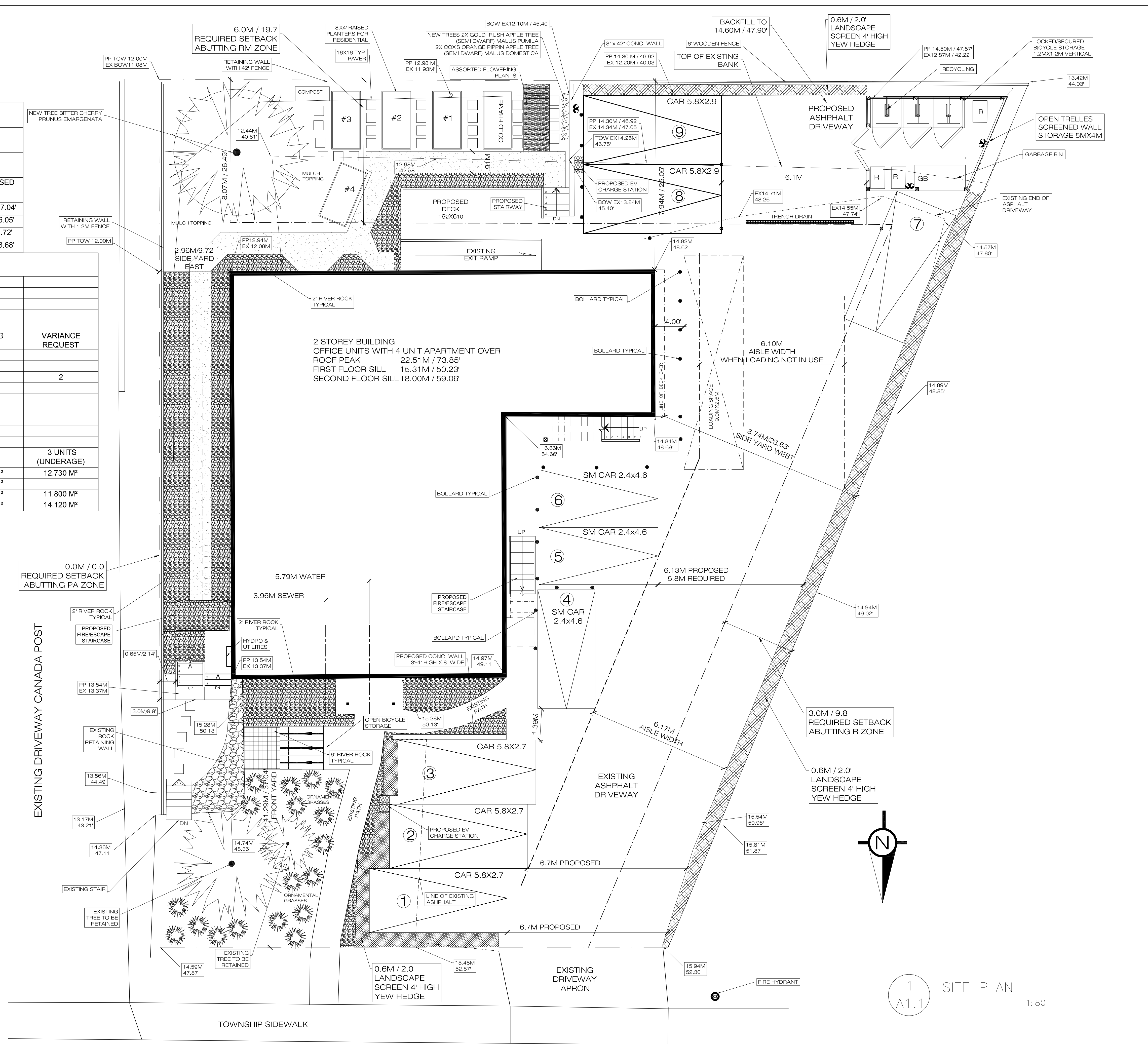


SYNOPSIS			
LOT AREA	1056.34M ² / 11370.41F ²		
SITE COVERAGE	249.52M ² / 2685.86F ²		
GROSS FLOOR AREA	626.50M ² / 6743.60F ²		
YARD SETBACKS			
	PERMITTED	EXISTING	PROPOSED
FRONT YARD	0M / 0'	11.29M / 37.04'	11.29M / 37.04'
REAR YARD	6.0M / 19.70'	7.94M / 26.05'	7.94M / 26.05'
SIDE YARD EAST	0M / 0'	2.96M / 9.72'	2.96M / 9.72'
SIDE YARD WEST	3.00M / 9.80'	8.74M / 28.68'	8.74M / 28.68'

BUILDING AREA SUMMARY				
FLOOR AREA				
FIRST FLOOR	231.702M ² / 2494.02F ²			
SECOND FLOOR	199.795M ² / 2150.58F ²			
BASEMENT/UNDEVELOPED	195.00M ² / 2099.00F ²			
PARKING				
	REQUIRED	PROPOSED	EXISTING	VARIANCE REQUEST
OFFICE 1 PER 45.0M ² /484.0F ²	5			
APARTMENT 1.5 PER SUITE	6			
TOTAL SPACES	11	9	8	2
SMALL CAR	30%	3(9) = 3	0	
LOADING SPACE	1	1	0	
BICYCLE CLASS 2 ENCLOSED	1	1	0	
BICYCLE CLASS 2 OPEN	0	3		
PROPOSED SUITE SIZE				
	F ²	M ²		
MIN ALLOWABLE	55.000 M ²			3 UNITS (UNDERAGE)
UNIT 201	55.000 M ²	42.270 M ²	37.215 M ²	
UNIT 202	55.000 M ²	58.810 M ²	60.120 M ²	
UNIT 203	55.000 M ²	43.200 M ²	43.200 M ²	
UNIT 204	55.000 M ²	40.880 M ²	40.880 M ²	



NO.	DATE	DESCRIPTION
#1	01/27/20	PRELIMINARY
#2	02/11/20	PFEI
#3	03/27/20	DVP
#4	04/15/20	DVP F&C

- KEY**
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 - PP - PROPOSED
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 - BOW - BOTTOM OF WALL
 - SECURITY LIGHTING MOTION DETECTOR

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Orbis Architecture Inc.
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 4577 LIONS AVENUE
 NORTH VANCOUVER, BC
 V7R 3S7

PROJECT TITLE
 721 WINN ROAD
 TOWN OF GIBSONS

DRAWING TITLE
 SYNOPSIS,
 BUILDING AREA
 SUMMARY &
 SITE PLAN

PROJECT NO.

DRAWN BY

CHECKED

DATE:
 APRIL 16, 2020

SCALE:
 1:80

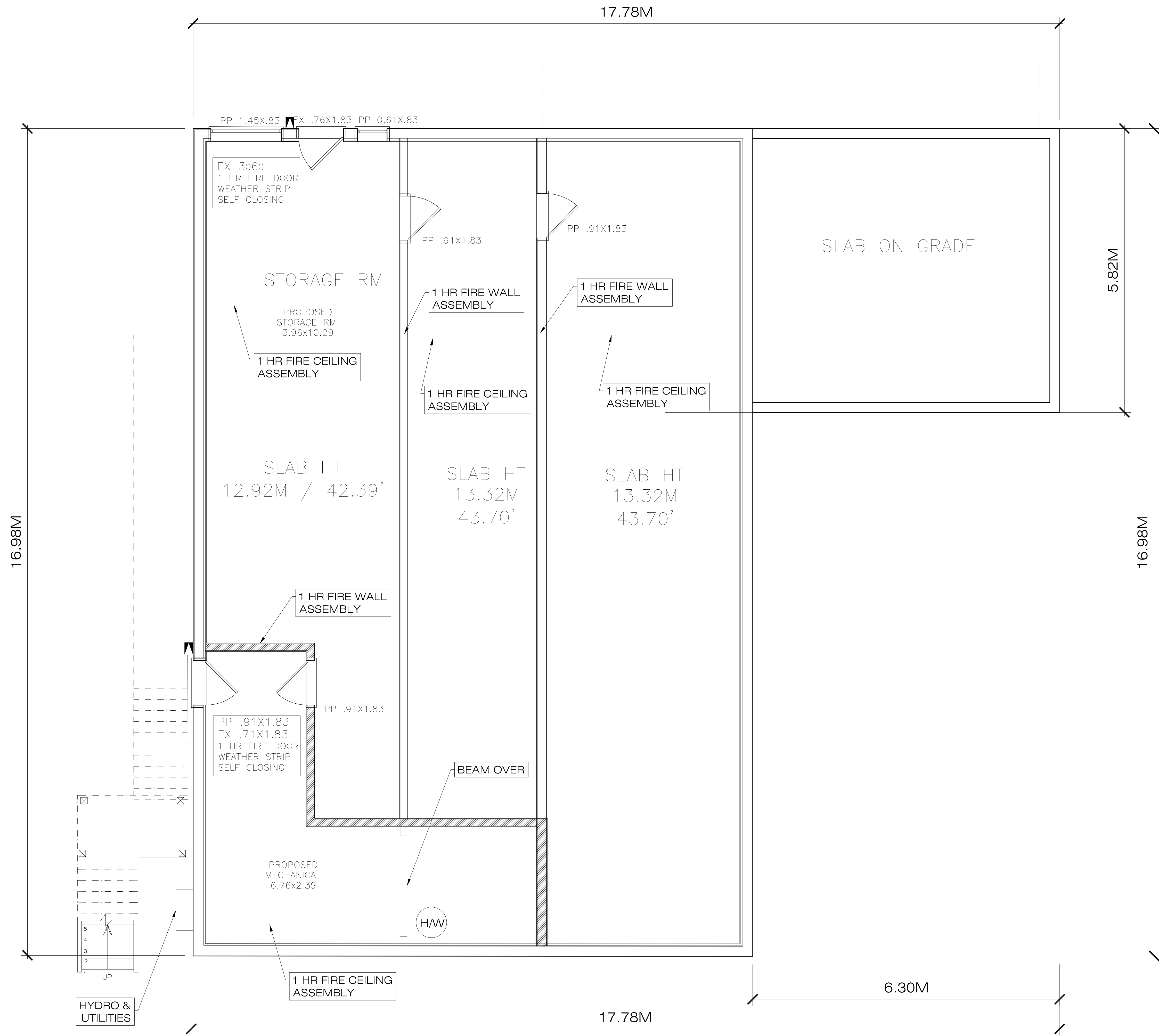
DRAWING #:
 721WINN DVP F&C 041620

DRAWING OF
 DRAWING NO.

A1.1



1 SITE PLAN
 A1.1 1:80



NO.	DATE	DESCRIPTION
#1	02/16/20	PRELIMINARY
#2	02/11/20	PREL
#3	03/27/20	DVP
#4	04/15/20	DVP F&C

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PROJECT TITLE
 721 WINN ROAD
 TOWN OF GIBSONS

DRAWING TITLE
 BASEMENT PLAN

PROJECT NO.

DRAWN BY

CHECKED

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 APRIL 16, 2020

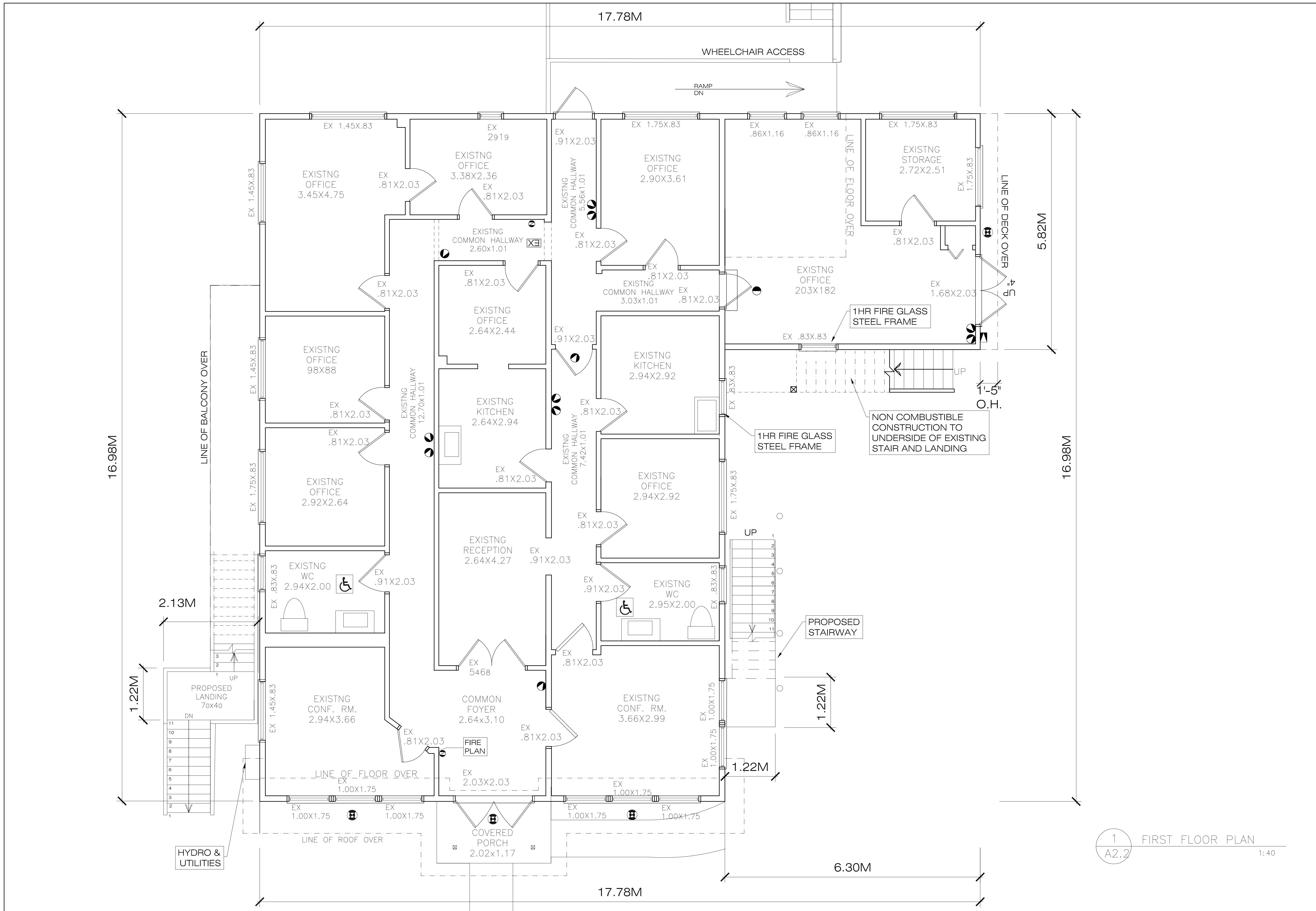
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 721WINN DVP F&C 041620

DRAWING OF
 DRAWING NO.

1 BASEMENT PLAN
 A2.1 1:40

A2.1



NO.	DATE	DESCRIPTION
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PROJECT TITLE
 721 WINN ROAD
 TOWN OF GIBSONS

DRAWING TITLE
 BASEMENT PLAN

PROJECT NO.

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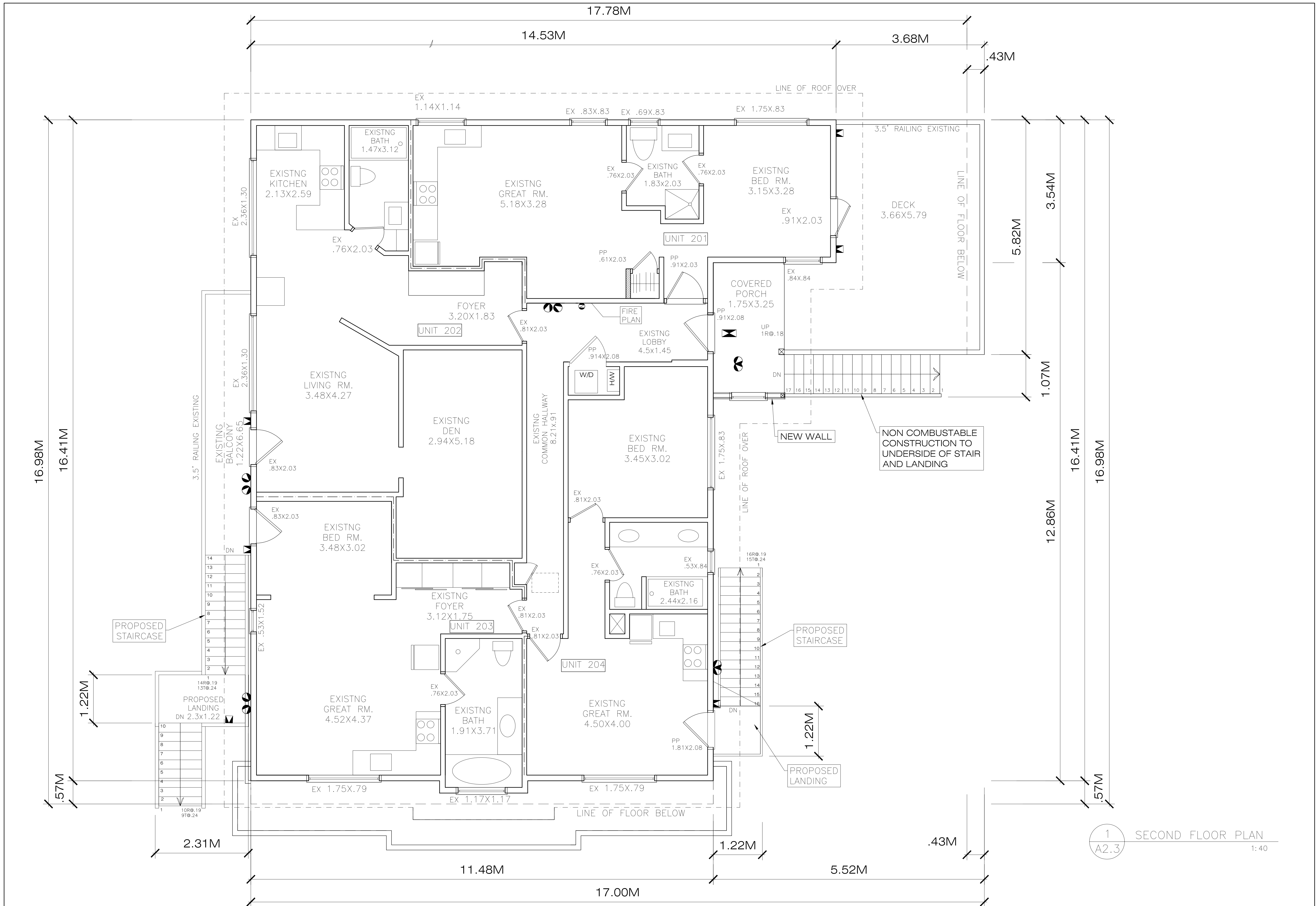
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DRAWING OF DRAWING NO.

1 FIRST FLOOR PLAN
 A2.2 1:40

A2.2



NO.	DATE	DESCRIPTION
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PROJECT TITLE
 721 WINN ROAD
 TOWN OF GIBSONS

DRAWING TITLE
 SECOND FLOOR PLAN

PROJECT NO.

DRAWN BY

CHECKED

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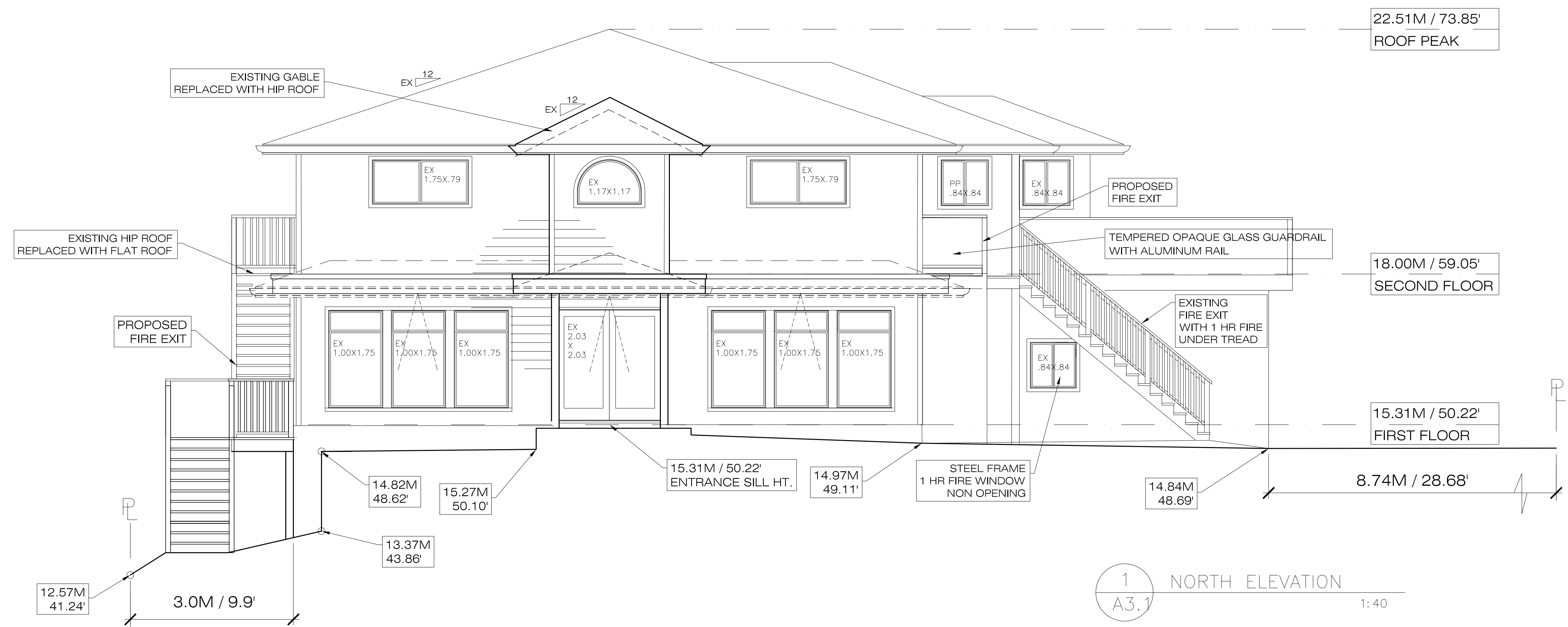
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 721WINN DVP F&C 041620

DRAWING OF DRAWING NO.

1 SECOND FLOOR PLAN
 A2.3 1:40

A2.3



1 NORTH ELEVATION
A3.1 1:40



2 EAST ELEVATION
A3.1 1:40

MATERIALS TYPICAL TO ALL FACADES
CLADDING
 FIRST & SECOND FLOOR: HARDIEPLANK LAP SIDING, 'SELECT CEDARMILL', 6.25" (5" EXPOSURE)
 LOWER GROUND LEVEL: HARDIE VERTICAL SIDING (BOARD & BATTEN), 'SELECT CEDARMILL', 16" BATTEN SPACING

TRIM BOARDS
 OUTSIDE CORNERS (SIDE ONE): 3.5" X .75" 4/4 HARDIE TRIM 'RUSTIC GRAIN' (LAP SIDE ONE OVER SIDE TWO)
 OUTSIDE CORNERS (SIDE TWO): 2.5" X .75" 4/4 HARDIE BATTEN 'RUSTIC GRAIN'
 INSIDE CORNERS: .75" X .75" (.75" X 2.5" CUT DOWN) HARDIE TRIM 'RUSTIC GRAIN'
 BARGE BOARD (BOARD & BATTEN BASELINE): 1" X 5.5" 5/4 HARDIE TRIM 'RUSTIC GRAIN'
 LOWER HORIZONTAL MID-BAND: 7.25" X .75" 4/4 HARDIE TRIM 'RUSTIC GRAIN'
 UPPER HORIZONTAL MID-BAND: 5.5" X .75" 4/4 HARDIE TRIM 'RUSTIC GRAIN'
 UNDER SOFFIT HORIZONTAL BAND: 3.5" X .75" 4/4 HARDIE TRIM 'RUSTIC GRAIN'
 DOOR CASING MOULDING: 3.5" X .75" 4/4 HARDIE TRIM 'RUSTIC GRAIN'
 WINDOW CASING MOULDING: 2.5" X .75" 4/4 HARDIE TRIM 'RUSTIC BATTEN'

METAL ROOFING, SOFFITS & GUTTERS
 ROOFING: WESTFORM PROLOC 12" (WITHOUT STIFFENER RIBS)
 SOFFITS TYPICAL: WESTFORM HF 6" PRO BOARD PERFORATED
 SOFFITS AT NORTH ELEVATION FLAT ROOF: WESTFORM 4" PRO BOARD
 GUTTERS: MODERN PROFILE (NOT CLASSIC OGEE)

NO.	DATE	DESCRIPTION
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EXTERIOR LIGHTING
 WALL SCONCE
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PROJECT TITLE
 721 WINN ROAD
 TOWN OF GIBSONS

DRAWING TITLE
 ELEVATIONS
 NORTH AND EAST

PROJECT NO.

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 APRIL 16, 2020

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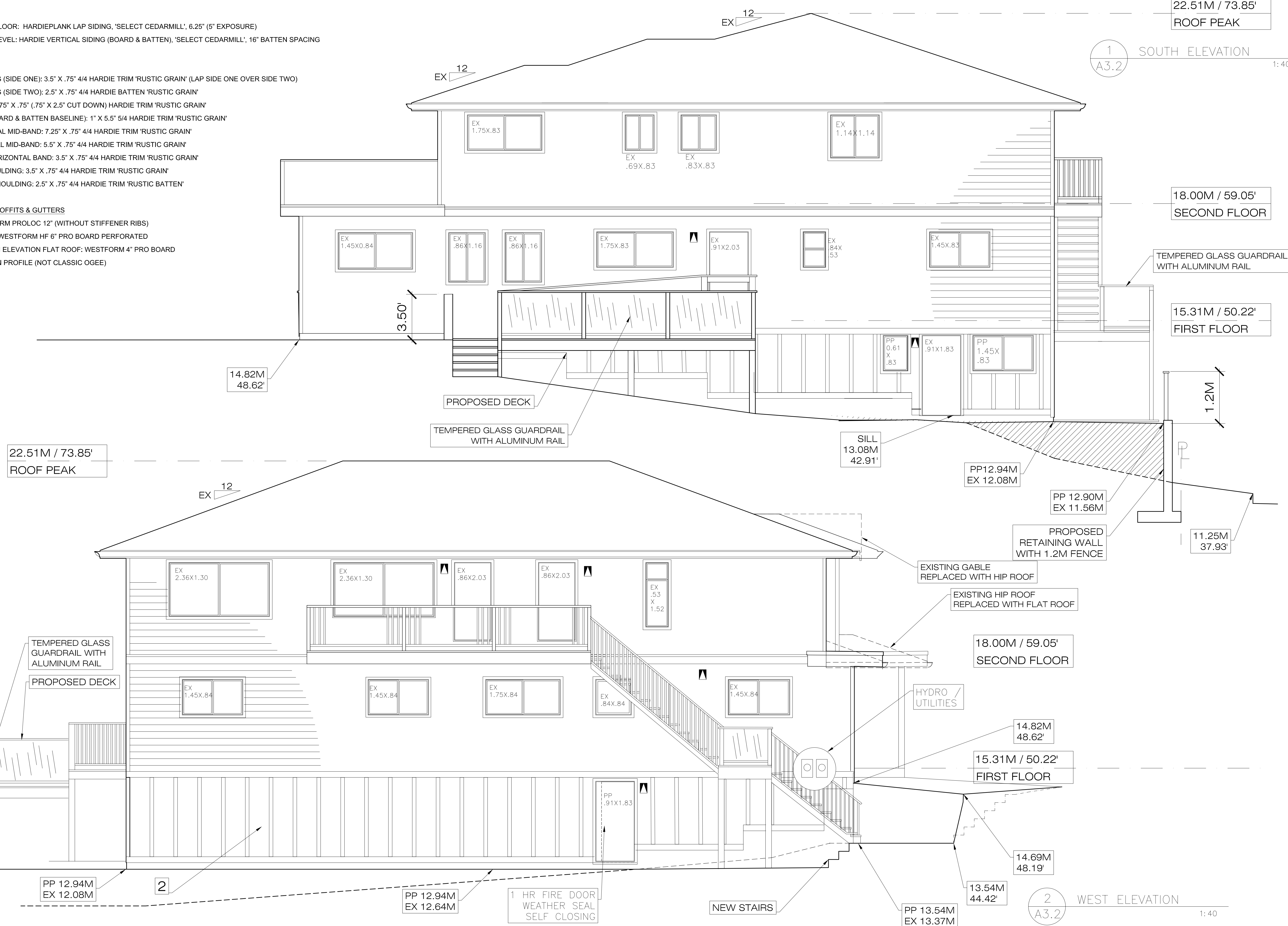
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 DRAWING NO.

A3.1

CLADDING
 FIRST & SECOND FLOOR: HARDIEPLANK LAP SIDING, 'SELECT CEDARMILL', 6.25" (5" EXPOSURE)
 LOWER GROUND LEVEL: HARDIE VERTICAL SIDING (BOARD & BATTEN), 'SELECT CEDARMILL', 16" BATTEN SPACING

TRIM BOARDS
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 SOFFITS TYPICAL: WESTFORM HF 6" PRO BOARD PERFORATED
 SOFFITS AT NORTH ELEVATION FLAT ROOF: WESTFORM 4" PRO BOARD
 GUTTERS: MODERN PROFILE (NOT CLASSIC OGEE)



22.51M / 73.85'
 ROOF PEAK

1 SOUTH ELEVATION
 A3.2 1:40

18.00M / 59.05'
 SECOND FLOOR

15.31M / 50.22'
 FIRST FLOOR

22.51M / 73.85'
 ROOF PEAK

2 WEST ELEVATION
 A3.2 1:40

REVISIONS

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 - SOFFIT LIGHT

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PROJECT TITLE
 721 WINN ROAD
 TOWN OF GIBSONS

DRAWING TITLE
 ELEVATIONS
 NORTH AND EAST

PROJECT NO.

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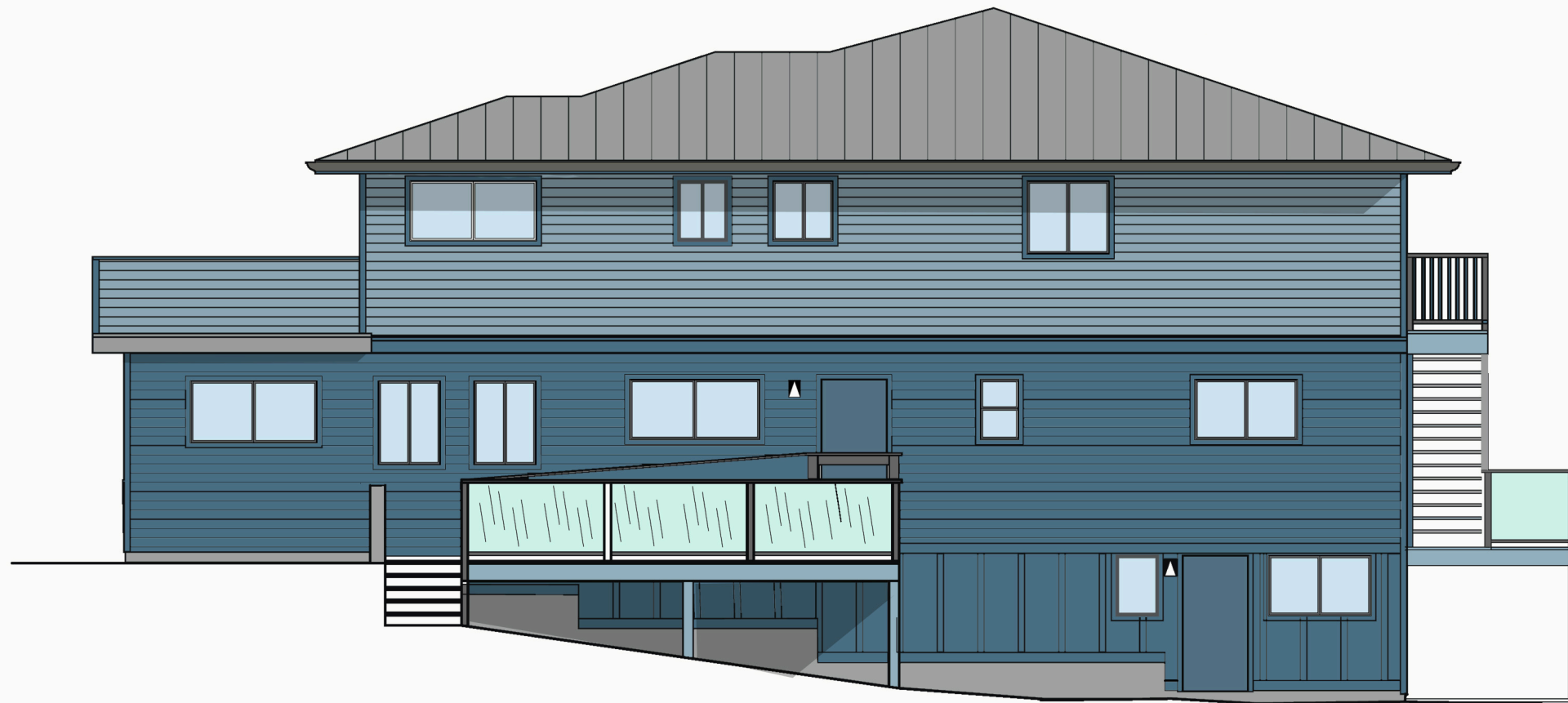
DATE:
 APRIL 16, 2020

SCALE:

DRAWING #:
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DRAWING OF DRAWING NO.

A3.2



COLOURS

VERTICAL SIDING: HARDIE 'BLUE MOON'
 FIRST FLOOR LAP SIDING: HARDIE 'BLUE MOON'
 SECOND FLOOR LAP SIDING: HARDIE 'BLUE OVERALLS'
 SECOND FLOOR INSIDE CORNER LAP SIDING TRIM: HARDIE 'BLUE OVERALLS'
 FIRST FLOOR INSIDE CORNER LAP SIDING TRIM: HARDIE 'BLUE MOON'
 ALL REMAINING HARDIE TRIM: HARDIE 'BLUE MOON'

METAL ROOFING: WESTFORM 'REGENT GREY'
 FLAT ROOFS, BALCONY & LANDING WRAPS, DRIP & FASCIA FLASHINGS:
 GENTECK 'SLATE'
 TYPICAL SOFFITS: WESTFORM CAMBRIDGE WHITE
 SOFFITS AT NORTH ELEVATION FLAT ROOFS: WESTFORM 'ACORN' WOOD GRAIN
 DROP FLASHINGS: WESTFORM 'SLATE BLUE'

GUTTERS: GENTECK 'SLATE'
 DOWNSPOUTS: GENTECK 'COASTAL BLUE'

WOODEN DECK & RAMP: SIKKENS 'MINERAL GREY' OR EQUIV.
 WOODEN GARBAGE & RECYCLING ENCLOSURE: SIKKENS 'MINERAL GREY' OR EQUIV
 BALCONIES & LANDINGS DECKING VINYL: TUFDEK 'SUPREME GRAPHITE'
 WOODEN STAIR STRINGERS: BENJAMIN MOORE CC-782 'GEORGIAN BAY'
 UNDERSIDES OF STAIR STRINGERS (WHERE REQUIRED), BALCONY & LANDINGS:
 HARDIE 'BLUE MOON'
 RAILINGS & GUARDRAILS FOR APARTMENTS & SECOND FLOOR EXIT STAIRS:
 DARK GREY POWDER COATED ALUMINUM

ALL EXTERIOR ENTRY DOORS & JAMBS: BENJAMIN MOORE CC-782 'GEORGIAN BAY'
 NON-RATED REPLACEMENT WINDOWS: DARK GREY METAL FINISH
 RATED REPLACEMENT WINDOWS: DARK GREY METAL FINISH
 WINDOW & DOOR CASING MOULDINGS: HARDIE 'BLUE MOON'



REVISIONS		
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KEY

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Architecture Inc.
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 NORTH VANCOUVER, BC
 V7R 3S7

PROJECT TITLE
 721 WINN ROAD
 TOWN OF GIBSONS

DRAWING TITLE
 ELEVATION
 COLOURS

PROJECT NO.

DRAWN BY

CHECKED

DATE:
 APRIL 15, 2020

SCALE:

DRAWING #:
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DRAWING OF
 DRAWING NO.

A4.1



Planning Department
 474 South Fletcher Road | Box 340, Gibsons, BC V0N 1V0
 Phone: 604-886-2274 | Fax: 604-886-9735 www.gibsons.ca

DEVELOPMENT PERMIT AREA NUMBERS 3-8 AND 10 APPLICATION FORM

Please read the attached Development Permit Application Guide before filling out this application form. If you have any questions or require assistance in filling out this form, contact the Planning Department. The processing of your application will be delayed if it is incomplete. Mail or deliver the completed application form, fee, plans and supporting material to the Town of Gibsons Planning Department and make your fee payable to the Town of Gibsons. Contact the Town of Gibsons Planning staff for the current fee prior to submitting your application as fees may change annually, or consult the Development Procedures and Fees Bylaw.

- I am applying for a new Development Permit
- I am applying for a new Development Permit and a Development Variance Permit
- I am applying for an amendment to an existing Development Permit

SECTION 1: DESCRIPTION OF PROPERTY

Lot/Parcel 3 Plan VAP 4060 Block _____
 District Lot/Section 685 Range Group 1
 Other Description Street Address Except Those Portions In Plans 11040 And 13288
 Jurisdiction and Folio Number (From Property Assessment/Tax Notice) 524-TOWN OF GIBSONS 00035.000
 Parcel Identifier (PID) (From State of Title Certificate) 009-205-110

SECTION 2: APPLICANT/AGENT INFORMATION

Name <u>ORBIS ARCHITECTURE INC</u>	Name _____
Address <u>4577 LIONS AVENUE</u>	Address _____
City <u>NORTH VANCOUVER</u>	City _____
Province/State <u>BC</u>	Province/State _____
Postal/Zip <u>V7R 3S7</u>	Postal/Zip _____
Telephone <u>604 788 7597</u>	Telephone _____
Fax _____	Fax _____
Email <u>rlittmann@orbisarchitecture.com</u>	Email _____

This information is collected in compliance with the Freedom of Information and Protection of Privacy Act (FOIPPA). If you require further information regarding the FOIPPA please contact the FOI Coordinator at 604-886-2274 or the Information and Privacy Commissioner at 1-800-663-7867.

SECTION 3: PROPERTY OWNER INFORMATION

Name Blake MacLeod
Street Address 1014 Venture Way (PO Box 1034)
City Gibsons State/Province BC Postal/Zip V0N 1V7 (VONIVO)
Telephone 604-328-7331 Fax — Cell 604-328-7331
Email crisispilot@gmail.com

SECTION 4: PLANS AND SUPPORTING MATERIAL CHECKLIST

All applicants must provide one full scale (not less than 1:100 metric) detailed site plan, three reduced (letter sized, 8.5" x 11") sets of the drawings, and one set of high resolution digital copies (in PDF, EPS, TIFF or JPEG format). Detailed requirements and supporting materials required vary by Development Permit Area (DPA). If you are unsure which DPA applies to your application, please contact Planning staff.

Tick the Development Permit Area(s) that your property is within (see Appendices in the Official Community Plan for maps):

- No. 3 Upper Gibsons Commercial Area
- No. 4 Multi-family Land Uses
- No. 5 Gibsons Landing
- No. 6 Service Commercial/ Light Industrial
- No. 7 Live/ work
- No. 8 Intensive Residential
- No. 10 Gospel Rock Village

SECTION 4A: REQUIRED PLANS AND SUPPORTING MATERIAL FOR FORM AND CHARACTER DPAS

If you are applying for a Development Permit within DPAs No. 3, 4, 5, 6, 7, 8 and 10 which establish form and character guidelines and promote commercial revitalization, please submit the following plans and materials (check each box to indicate the requested document is enclosed):

A detailed site plan including:

- Existing and proposed uses on parcel
- Dimensions and/or floor areas (each floor) of all existing and any proposed buildings on the property
- Parking areas including numbered parking stalls, aisle widths, stall dimensions (where applicable)
- Setbacks for all existing and proposed buildings to property lines, natural boundary of sea, watercourses and cliffs
- Location of roads, lanes, walkways, and park dedications
- Height of existing and proposed buildings/additions
- Locations and dimensions of all legal easements, covenant areas, and utility corridors on the property
- Exterior lighting location and design
- Location of all Municipal services (storm, water, sewer etc.) on and off site

Supporting materials required:

- Scaled building sections and elevations
- Floor plans indicating uses and functions within building(s)
- Access, and parking layout details
- Scaled building design and siting plans to specify building materials, exterior finish, colour scheme and other architectural details
- Preliminary engineering plans for water, sanitary and storm sewer services
- Plans prepared by a Landscape Architect showing existing vegetation and proposed landscaping to the standard of the Town's Landscape Policy

Supporting materials:

- A project summary sheet outlining gross site area, net density, number of dwelling units, site coverage, heights, setbacks and other relevant data.

ADDITIONAL INFORMATION

If the space provided below for each section is not sufficient, please attach additional information using a Microsoft Word, Microsoft Excel, Text or a separate PDF Document.

SECTION 5: DESCRIBE THE CURRENT USE(S) OF THE LAND AND STRUCTURE(S) ON THE PROPERTY

First Floor has existing office space.
Second floor has existing four unit apartment.

SECTION 6: DESCRIBE THE PROPOSED DEVELOPMENT

Minor changes to front elevation - remove gable at North (street) elevation above second floor to hip roof.
Remove hip roof at first floor entrance and across front elevation for proposed flat roof.
Proposed fire exit stairways from second floor to grade at East and West elevations.

SECTION 7: APPLICATION COMPLETION

Initial or check each of the following:

- I have completed all sections of this application form
- I have included detailed site plans and elevation drawings as required in Section 4 of this application form
- I have included the additional documentation and reports required in Section 4 of this application form
- I have included recent State of Title Certificate (not more than 30 days old). The Town can obtain this for a fee.
- I have included copies of all covenants registered against this title
- All owners listed on the title have signed the application
- I have included the correct fee

Please Note: Your application will not be considered complete and cannot be processed unless it contains all of the information above. Please also review all relevant bylaws including the Official Community Plan (Bylaw 985 and associated amendments), and the Development Procedures and Fees Bylaw.

SECTION 8: OWNER'S CONSENT AND AUTHORIZATION

To process the application the signature of all registered owners is required. For additional owners, including Strata Corporations, attach a separate sheet.

In order to assist the Town of Gibsons in the review and evaluation of my application, by signing below, I authorize the Planner(s) assigned to this application to enter onto the land at reasonable times, after making reasonable efforts to arrange to schedule a convenient time for such a visit, to inspect the land. I acknowledge a right, if a convenient time can be scheduled, to accompany the Planner on the site visit.

By signing below, I authorize the Applicant named in Section 2 of this application to represent this application:

Blake MacLeod
Owner One, Full Name


Authorization Signature

April 9th, 2020
Date

Owner Two, Full Name

Authorization Signature

Date

TITLE SEARCH PRINT

2020-03-31, 12:23:42

File Reference:

Requestor: Blake MacLeod

Declared Value \$665000

****CURRENT AND CANCELLED INFORMATION SHOWN****

Land Title District

VANCOUVER

Land Title Office

VANCOUVER

Title Number

CA5308271

From Title Number

CA4662

Application Received

2016-06-30

Application Entered

2016-07-05

Registered Owner in Fee Simple

Registered Owner/Mailing Address:

BLAKE ALEXANDER MACLEOD, RENOVATIONS CONTRACTOR
BOX 1034
GIBSONS, BC
V0N 1V0

Taxation Authority

North Shore - Squamish Valley Assessment Area
Gibsons, Town of

Description of Land

Parcel Identifier:

009-205-110

Legal Description:

LOT 3, EXCEPT THOSE PORTIONS IN PLANS 11040 AND 13288, DISTRICT LOT 685
PLAN 4060

Legal Notations

NONE

Charges, Liens and Interests

Nature:

MORTGAGE

Registration Number:

CA4663

Registration Date and Time:

2004-05-28 09:57

Registered Owner:

SUNSHINE COAST CREDIT UNION
INCORPORATION NO. F1125

Cancelled By:

CA5405050

Cancelled Date:

2016-08-05