

Agenda

Town of Gibsons

Regular Meeting of Council

October 15, 2019 at 7:00pm

Council Chambers
Town Hall, 474 South Fletcher Road, Gibsons
604-886-2274 - www.gibsons.ca

Council



Mayor Bill Beamish
Councillor David Croal
Councillor Annemarie De Andrade
Councillor Aleria Ladwig
Councillor Stafford Lumley



**Regular Meeting of
Council
AGENDA OF
October 15, 2019
Council Chambers, 7:00pm
474 South Fletcher Road, Gibsons, BC**

1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

2.1 Regular Council Agenda - October 15, 2019

RECOMMENDATION(S)

THAT the Regular Business Agenda of October 15, 2019 be adopted.

3. ADOPTION OF MINUTES

3.1 Minutes of the Special Council Meeting - October 1, 2019 7 - 8

RECOMMENDATION(S)

THAT the minutes of the Special Council meeting held October 1, 2019 be adopted.

3.2 Minutes of the Regular Council Meeting - October 1, 2019 9 - 18

RECOMMENDATION(S)

THAT the minutes of the Regular Council meeting held October 1, 2019 be adopted.

4. BUSINESS ARISING FROM THE MINUTES

5. INQUIRIES

6. COMMITTEE REPORTS

6.1 Special Committee-of-the-Whole Meeting - October 1, 2019

6.1.1 Special Committee-of-the-Whole Meeting Minutes 19 - 20

RECOMMENDATION(S)

THAT the minutes of the Special Committee-of-the-Whole meeting held October 1, 2019 be received.

6.1.2 **Single-Use Plastics Regulation Bylaw**

RECOMMENDATION(S)

THAT the "Town of Gibsons Single-Use Plastic Regulation Bylaw No. 1274, 2019" be forwarded to Council for First Reading as amended below:

- remove the word "plastic" from the bylaw description so that it reads "A bylaw to regulate distribution of single-use items by businesses."
- Section 5.1 - change "Plastic Bags" to "certified biodegradable Plastic Bags" and include the definition of "certified biodegradable" in the Definitions section;

AND THAT that there be an education campaign through our website and in concert with the Sunshine Coast Regional District on single-use item reduction;

AND FURTHER THAT Council invite the District of Sechelt to partner on a harmonized approach to regulate distribution of single-use plastic items by businesses.

6.2 **Committee-of-the-Whole Meeting - October 15, 2019**

A recommendation from the October 15, 2019 Committee-of-the-Whole meeting forwarded directly to the October 15, 2019 Regular Council meeting.

6.2.1 **Coles Beach Boat Cradle Removal**



RECOMMENDATION(S)

THAT the Town remove the boat cradle from Coles Beach for a cost of \$5200 to be paid by the Town of Gibsons.

7. **ADMINISTRATION REPORTS**

7.1



Director of Planning - Application for Gospel Rock Village Form and Character Development Permit (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses) and DP-2018-26 (Hotel)

21 - 71

RECOMMENDATIONS

THAT the report titled Application for Gospel Rock Village Form and Character Development Permit (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-2018-26 (Hotel) be received;

AND THAT Council authorizes the issuance of DP-2018-24 (Apartments);

AND THAT Council authorizes the issuance of DP-2018-25 (Townhouses);

AND FURTHER THAT Council authorizes the issuance of DP-2018-26 (Hotel).

8. COUNCIL REPORTS

9. CORRESPONDENCE

9.1 Council Correspondence

73 - 76

RECOMMENDATION(S)

THAT the Council reading file for the weeks ending September 27, 2019 and October 7, 2019 be received.

10. BYLAWS

10.1 2020-2023 Permissive Property Tax Exemption Bylaw 1273

77 - 79

RECOMMENDATION(S)

THAT "Town of Gibsons 2020-2023 Permissive Property Tax Exemption Bylaw No. 1273, 2019" be adopted.

11. NEW BUSINESS

12. NOTICE OF MOTION

13. INQUIRIES

14. MOTION TO CLOSE

RECOMMENDATION(S)

THAT the meeting be closed in accordance with section(s)90(1)(a),(g),(i) of the *Community Charter*:

90 (1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;

(g) litigation or potential litigation affecting the municipality;

(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose.

15. REOPEN TO THE PUBLIC

16. NEXT MEETING

- 16.1 The next Regular meeting of Council to be held on Tuesday, November 5, 2019 in the Town Hall Council Chambers at 7:00pm.

17. ADJOURNMENT



Special Council

MEETING MINUTES

Tuesday, October 1, 2019

Council Chambers, 4:00pm

Municipal Hall, 474 South Fletcher Road, Gibsons, BC

PRESENT:

Mayor Bill Beamish
Councillor David Croal
Councillor Annemarie De Andrade
Councillor Aleria Ladwig
Councillor Stafford Lumley

STAFF:

Emanuel Machado, Chief Administrative Officer
Lindsey Grist, Director of Corporate Services
Lesley-Anne Staats, Director of Planning

CALL TO ORDER

The Mayor called the meeting to order at 4:11pm.

APPROVAL OF THE AGENDA

R2019-309 Special Council Agenda - October 1, 2019

MOVED by Councillor Ladwig
SECONDED by Councillor Lumley

THAT the Special Business Agenda of October 1, 2019 be adopted.

CARRIED

MOTION TO CLOSE

R2019-310 MOVED by Councillor Croal SECONDED by Councillor Lumley

THAT the meeting be closed in accordance with section(s)90(1)(e)(k) of the *Community Charter*:

90 (1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

Regular Council Meeting Minutes - Tuesday, October 1, 2019

(e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;

(k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public.

CARRIED

REOPEN TO THE PUBLIC

The meeting reopened to the public at 4:50pm.

NEXT MEETING

The next Regular meeting of Council to be held on Tuesday, October 1, 2019 in the Town Hall Council Chambers at 7:00pm.

ADJOURNMENT

R2019-311 MOVED by Councillor Lumley
 SECONDED by Councillor Croal

THAT the meeting be adjourned at 4:50pm.

CARRIED

Lindsey Grist, Corporate Officer

William Beamish, Mayor



Regular Council

MEETING MINUTES

Tuesday, October 1, 2019

Council Chambers, 7:00pm

Municipal Hall, 474 South Fletcher Road, Gibsons, BC

PRESENT:

Mayor Bill Beamish
Councillor David Croal
Councillor Annemarie De Andrade
Councillor Aleria Ladwig
Councillor Stafford Lumley

STAFF:

Emanuel Machado, Chief Administrative Officer
Lindsey Grist, Director of Corporate Services
David Newman, Director of Infrastructure Services
Lesley-Anne Staats, Director of Planning
Lorraine Coughlin, Manager of Financial Services
Tracy Forster, Recording Secretary

CALL TO ORDER

The Mayor called the meeting to order at 7:00pm.

APPROVAL OF THE AGENDA

R2019-312 Regular Council Agenda - October 1, 2019

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT the Regular Business Agenda of October 1, 2019 be adopted as amended to include item 12.1 - The George Gibsons Development Ltd's Environmental Appeal Board Result.

CARRIED

Regular Council Meeting Minutes - Tuesday, October 1, 2019

ADOPTION OF MINUTES

R2019-313 Minutes of the Special Council Meeting - September 17, 2019

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT the minutes of the Special Council meeting held September 17, 2019 be adopted.

CARRIED

R2019-314 Minutes of the Regular Council Meeting - September 17, 2019

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT the minutes of the Regular Council meeting held September 17, 2019 be adopted.

CARRIED

BUSINESS ARISING FROM THE MINUTES

R2019-315 Public Hearing - 749 School Road

MOVED by Councillor Croal
SECONDED by Councillor De Andrade

THAT the Public Hearing for 749 School Road be set for October 17, 2019 at 6pm at the Gibsons Legion, 747 Gibsons Way.

CARRIED

PROCLAMATIONS

Fair Employment Week

Colin Gilker, Federation of Post-Secondary Educators of BC, was in attendance to receive the proclamation declaring that October 7-11, 2019 be known as Fair Employment Week in the Town of Gibsons.

INQUIRIES

The Mayor provided an opportunity for members of the public to comment on the October 1, 2019 Regular Council Agenda.

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COMMITTEE REPORTS

Planning & Development Committee Meeting - September 17, 2019

R2019-316 Planning & Development Committee Meeting Minutes

MOVED by Councillor Lumley
SECONDED by Councillor Ladwig

THAT the minutes of the Planning & Development Committee meeting held September 17, 2019 be received.

CARRIED

R2019-317 Application for Gospel Rock Village Form and Character Development Permit (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), DP-2018-26 (Hotel) and Parking Variance DVP-2019-09

MOVED by Councillor Croal
SECONDED by Councillor Lumley

THAT Greenlane Homes Ltd. be requested to retain natural vegetation (such as Arbutus and Douglas Fir trees) adjacent to park and public spaces through use of restrictive covenants where feasible;

AND THAT the issuance of the Gospel Rock Village Form and Character Development Permits (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), DP-2018-26 (Hotel) be subject to:

- a. meeting parking requirements;
- b. changing the colour palette (less browns and greys);
- c. identifying accessibility, energy efficiency, and green building designs;
- d. softening the vertical lines;
- e. lightening the experience to reflect Gibsons' small-town character; and
- f. providing a lighting plan that minimizes light spill and sky glow to lessen the impact on wildlife and dark skies.

CARRIED

Regular Council Meeting Minutes - Tuesday, October 1, 2019

R2019-318 Development Permit for Form and Character (DPA 4) for 749 School Road

MOVED by Councillor Croal
SECONDED by Councillor Lumley

THAT the issuance of DP-2019-12 for the Supportive Housing building be supported subject to:

- adding timber frame features
- changing the colour palette (less brown)
- providing a more welcoming entrance
- enhancing the window design to make it more homey; and
- Adoption of OCP amendment bylaw 985-23, 2019 and zoning amendment bylaw 1065-49, 2019.

CARRIED

ADMINISTRATION REPORTS

R2019-319 Amended Terms of Reference for Youth Representative to Council

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT the Director of Corporate Services report titled Youth Representative to Council Amended Terms of Reference be received.

CARRIED

R2019-320 Amended Terms of Reference for Youth Representative to Council

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT the amended Youth Representative to Council Terms of Reference be adopted as amended with a reduced term from September to June and to include consent to photograph and video Youth Councillors.

CARRIED

Regular Council Meeting Minutes - Tuesday, October 1, 2019

R2019-321 Sunshine Coast Affordable Housing Society's Key Partner Funding Request

MOVED by Councillor Ladwig
SECONDED by Councillor Croal

THAT the Interim Director of Finance's report titled SC Affordable Housing Society's Key Partner Funding Request be received for Council's consideration.

CARRIED

R2019-322 Sunshine Coast Affordable Housing Society's Key Partner Funding Request

MOVED by Councillor Ladwig
SECONDED by Councillor Croal

THAT the previously adopted Resolution No. R2018-097 be amended to read:

THAT the Director of Planning's report titled Affordable Housing Options for Franklin Road/Harmony Lane Site be received;

AND THAT the Town enter into a 99-year lease with the Sunshine Coast Affordable Housing Society (SCANS) for the purpose of leasing the Franklin Road/Harmony Lane lot to the SCAHS subject to the following conditions:

- a. The SCAHS is approved to build a single-family dwelling with a secondary suite and a garden suite on the property;
- b. The SCAHS is required to rent the single-family dwelling and secondary suite at approximately 25% below market-value;
- c. A reverter clause, as determined by a legal counsel, be applied to the land to ensure that the property is used for affordable housing purposes only and that in the event the property is not used for affordable housing purposes, all right, title, and interest in the property reverts to the Town;

AND THAT the Town contribute \$20,000 from the Affordable Housing Reserve Fund to the Sunshine Coast Affordable Housing Society to further support the project for servicing the lot or contributions towards construction fees;

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AND FURTHER THAT the Town contribute \$30,000 from the Affordable Housing Reserve Fund to the Sunshine Coast Affordable Housing Society to support operational requirements of projects within the Town of Gibsons, subject to the SCAHS providing documentation that this contribution would go directly to support Town related projects.

CARRIED

R2019-323 Sunshine Coast Affordable Housing Society's Key Partner Funding Request

MOVED by Councillor Lumley
SECONDED by Councillor De Andrade

THAT effective for the 2020 budget year, that the Town contribute \$50,000.00 from the Affordable Housing Reserve Fund to the Sunshine Coast Affordable Housing Society to support operational requirements of projects within the Town of Gibsons, subject to the SCAHS providing documentation that this contribution would go directly to support Town-related projects.

CARRIED

R2019-324 Minutes of the 571 Shaw Road Public Hearing - September 19, 2019

MOVED by Councillor Croal
SECONDED by Councillor De Andrade

THAT the minutes of the Public Hearing for 571 Shaw Road held September 19, 2019 be received.

CARRIED

R2019-325 749 School Road (Supportive Housing) - DP-2019-12 Revised Submission

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT the Director of Planning's report titled 749 School Road (Supportive Housing) — DP-2019-12 Revised Submission be received.

CARRIED

Regular Council Meeting Minutes - Tuesday, October 1, 2019

R2019-326 749 School Road (Supportive Housing) - DP-2019-12 Revised Submission

MOVED by Councillor Lumley
SECONDED by Councillor Ladwig

THAT revised plans be brought forward to a future Council meeting showing added timber feature elements, incorporating Squamish Nation carvings/design elements, providing colour samples and a more detailed rendering.

CARRIED

COUNCIL REPORTS

- Councillor Croal spoke of the Union of BC Municipalities Convention, Firesmart booklet, the tugboat sinking in Howe Sound, ICET & Beachcombers project, Active Transportation & Plug it in BC.
- Councillor Ladwig Spoke of the Union of BC Municipalities Convention, Climate Strike, meeting with the Minister of Transportation & Infrastructure regarding hourly & passenger ferry service and Highway 101 upgrades.
- Mayor Beamish spoke of the Union of BC Municipalities Convention, meeting with the Minister of Transportation & Infrastructure regarding hourly & passenger ferry service and Highway 101 upgrades, Solicitor General's Police Services Staff, District of Sechelt, Sunshine Coast Regional District regarding the Shishalh Nation Foundation Agreement, logging truck protests, climate action caucus, Green Party Caucus & BC Framework for Accessibility Legislation

R2019-327 British Columbia Framework for Accessibility Legislation

MOVED by Mayor Beamish
SECONDED by Councillor Croal

THAT Councillor Croal look into available funding to host an Independent Community Meeting to explore methods to improve access for people with disabilities within the Town of Gibsons.

CARRIED

- Councillor Lumley spoke of the Gibsons Public Market Gala and wanted to thank Pam, Colin, the GPM Staff & volunteers at the event, Darren Entwistle, Bill Longman, Jay Thomas & Michelle from Thomas Heating and Electric, David & Arlene Longman from Longman Developments and Bob and Susan Hoy from Gibsons IGA.

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- Mayor Beamish Spoke of the Sunshine Coast Salmonid Society's Silent Auction
- Councillor Croal thanked the volunteers the Gibsons Public Market Gala and spoke of the Sunshine Coast Emergency Planning Committee .
- Mayor Beamish congratulated Councillor Croal for being awarded the Canadian Coast Guard Auxiliary National Award for Administrative Excellence Medal.

CORRESPONDENCE

R2019-328 Council Correspondence

MOVED by Councillor Croal
SECONDED by Councillor De Andrade

THAT the Council reading file for the weeks ending September 16, 2019 and September 24, 2019 be received.

CARRIED

BYLAWS

R2019-329 2020-2023 Permissive Property Tax Exemption Bylaw 1273

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT "Town of Gibsons 2020-2023 Permissive Property Tax Exemption Bylaw No. 1273, 2019" be given second and third reading.

CARRIED

R2019-330 Official Community Plan Amendment Bylaw No. 985-22

MOVED by Councillor Lumley
SECONDED by Councillor Ladwig

THAT "Official Community Plan Amendment Bylaw No. 985-22, 2019" be given third reading.

CARRIED

Regular Council Meeting Minutes - Tuesday, October 1, 2019

R2019-331 Zoning Amendment Bylaw 1065-48

MOVED by Councillor De Andrade
SECONDED by Councillor Croal

THAT "Zoning Amendment Bylaw No. 1065-48, 2019" be given third reading.

CARRIED

R2019-332 Loan Authorization Bylaw 1265 Capital Improvement Financing - Results of AAP

MOVED by Councillor Croal
SECONDED by Councillor Lumley

THAT the Director of Corporate Services report titled Results of Alternative Approval Process – Zone 3 Aquifer Expansion and General Watermain Replacements be received.

CARRIED

R2019-333 Loan Authorization Bylaw 1265 Capital Improvement Financing - Results of AAP

MOVED by Councillor Croal
SECONDED by Councillor Ladwig

THAT "Loan Authorization Bylaw No. 1265, 2019 Capital Improvement Financing Bylaw" be adopted.

CARRIED

NEW BUSINESS

R2019-334 The George Gibsons Development Ltd. & Environmental Appeal Board Decision

MOVED by Councillor De Andrade
SECONDED by Councillor Ladwig

THAT the Town requests a copy of Keystone Environmental Ltd's Report on Findings – Detailed Site Investigation regarding the George Gibsons Development Ltd. dated July 2019 from the Ministry of Environment and Climate Change Strategy.

CARRIED

Regular Council Meeting Minutes - Tuesday, October 1, 2019

INQUIRIES

- *Donna Thomas - Aquifer*
- *Gibsons Resident - Aquifer & Accessibility for the Disabled*
- *Dennise Dombroski - The George Development*
- *Judy Bonkoff - The George Development*
- *Linda Atkins - Homelessness*
- *Lisa Wah - Supportive Housing*
- *Kerry Leow - Supportive Housing*
- *Gibsons Resident - Conflict of Interest Guidelines*

NEXT MEETING

The next Regular meeting of Council to be held on Tuesday, October 15, 2019 in the Town Hall Council Chambers at 7:00pm.

ADJOURNMENT

R2019-335 MOVED by Councillor Croal
 SECONDED by Councillor De Andrade

THAT the meeting be adjourned at 8:59pm.

CARRIED

Lindsey Grist, Corporate Officer

William Beamish, Mayor



Special Committee-of-the-Whole

MEETING MINUTES

Tuesday, October 1, 2019

Council Chambers, 3:00pm

Municipal Hall, 474 South Fletcher Road, Gibsons, BC

A Special Committee-of-the-Whole meeting was held in Council Chambers, 474 South Fletcher Road, Gibsons, on Tuesday, October 1, 2019 at 3:00pm

PRESENT:

Mayor Bill Beamish
Councillor David Croal
Councillor Annemarie De Andrade
Councillor Aleria Ladwig
Councillor Stafford Lumley

STAFF:

Emanuel Machado, Chief Administrative Officer
Lindsey Grist, Director of Corporate Services
Elizabeth Quayle, Communications Coordinator
Lisa Howard, Recording Secretary

CALL TO ORDER

The Mayor called the meeting to order at 3:00pm.

APPROVAL OF THE AGENDA

The October 1, 2019 Special Committee-of-the-Whole Committee meeting agenda was approved as presented.

REPORTS

Single-Use Plastics Regulation Bylaw

The report from the Chief Administrative Officer regarding Single-use Plastics Regulation Bylaw was received.

RECOMMENDATION(S)

THAT the "Town of Gibsons Single-Use Plastic Regulation Bylaw No. 1274, 2019" be forwarded to Council for First Reading as amended below:

- remove the word "plastic" from the bylaw description so that it reads "A bylaw to regulate distribution of single-use items by businesses."
- Section 5.1 - change "Plastic Bags" to "certified biodegradable Plastic Bags" and include the definition of "certified biodegradable" in the Definitions section

AND THAT that there be an education campaign through our website and in concert with the Sunshine Coast Regional District on single-use item reduction;

AND FURTHER THAT Council invite the District of Sechelt to partner on a harmonized approach to regulate distribution of single-use plastic items by businesses.

INQUIRIES

The Mayor provided an opportunity for public input. There were no inquiries.

NEXT MEETING

The next Regular Committee-of-the-Whole meeting to be held on Tuesday, October 15, 2019 in the Town Hall Council Chambers at 3pm.

ADJOURNMENT

The meeting adjourned at 4:04pm.

Lindsey Grist, Corporate Officer

William Beamish, Mayor



STAFF REPORT

TO: Council **MEETING DATE:** October 15, 2019

FROM: Lesley-Anne Staats, MCIP, RPP **FILE NO:** 3220-Chaster-Block 7
Director of Planning

SUBJECT: Application for Gospel Rock Village Form and Character Development Permit (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-2018-26 (Hotel)

RECOMMENDATIONS

1. **THAT the report titled Application for Gospel Rock Village Form and Character Development Permit (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-2018-26 (Hotel) be received;**
 2. **AND THAT Council authorizes the issuance of DP-2018-24 (Apartments);**
 3. **AND THAT Council authorizes the issuance of DP-2018-25 (Townhouses);**
 4. **AND FURTHER THAT Council authorizes the issuance of DP-2018-26 (Hotel);**
-

BACKGROUND / PURPOSE

In October, 2018, the zoning amendment to allow a mix of commercial and 360 residential units in the form of apartments, townhouses, and single-family dwellings on an approximately 47-acre parcel located on Block 7 off Chaster Road, was approved by Council. The development proposal includes a 10% park dedication and protected conservation area on 23 acres with a 'green lane' designed to tie the neighborhood and park together.

Prior to the adoption of the zoning amendment application, in July, 2018, Council adopted an OCP amendment to include form and character development permit area (DPA) design guidelines, known as DPA No. 10 for Gospel Rock Village, per the Gospel Rock Neighbourhood Plan.

On November 26, 2018, three form and character development permit applications were received, which are the subject of this report. The applications under review includes a 50-room hotel, a 49-unit apartment, and a 48-unit townhouse development. The 60-lot subdivision for future single-family residential homes is outside the scope of this development permit application.

Staff Report to Council – October 15, 2019

Application for Gospel Rock Village Form and Character Development Permit
(DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-
2018-26 (Hotel)

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The [previous staff report](#) with a full analysis is available on the September 17, 2019 Planning and Development Committee agenda.

The purpose of this report is to provide an overview of the revised renderings and obtain a Council decision on the three (Apartment, Townhouse, and Hotel buildings) form and character development permit applications.



Figure 1: Overview image of Gospel Rock development site (rendering provided by Greenlane), showing development context with 'village plaza' hotel, apartment, townhouses and commercial uses, within Crescent Road. Surrounding the village centre are future single-family development properties (60 in total). 49% of the site is to be retained in a natural state.

COUNCIL RESOLUTION

On September 17, 2019, the Planning and Development Committee reviewed the form and character application and made a recommendation to Council. On October 1, 2019, Council passed the following Resolution:

R2019-317 Application for Gospel Rock Village Form and Character Development Permit (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), DP-2018-26 (Hotel) and Parking Variance DVP-2019-09

THAT Greenlane Homes Ltd. be requested to retain natural vegetation (such as Arbutus and Douglas Fir trees) adjacent to park and public spaces through use of restrictive covenants where feasible;

AND THAT the issuance of the Gospel Rock Village Form and Character Development Permits (DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), DP-2018-26 (Hotel) be subject to:

- a. meeting parking requirements;*
- b. changing the colour palette (less browns and greys);*
- c. identifying accessibility, energy efficiency, and green building designs;*
- d. softening the vertical lines;*
- e. lightening the experience to reflect Gibsons' small-town character; and*
- f. providing a lighting plan that minimizes light spill and sky glow to lessen the impact on wildlife and dark skies.*

The developer intends to utilize a proposed car-share provision in the zoning bylaw by adding six new car share vehicles to the development, in addition to utilizing the shared parking provision. With this, the developer intends to build 239 parking spaces to meet the zoning bylaw's parking requirements.

Enclosed are the following documents received from the developer, as Attachment A:

- letter from architect outlining response to PDC recommendation
- revised plans
- Schematic lighting plan
- Dark sky (night) renderings
- Lighting details

DISCUSSION

Council Authority

The Local Government Act provides Council with the authority to designate development permit areas (DPA) in an Official Community Plan (OCP) for the purpose of establishing objectives for the form and character of commercial, industrial, or multi-family residential development (Section 488(1)(f)). The DPA outlined in the OCP must

- describe the special conditions or objectives that justify the designation; and
- specify guidelines respecting the manner by which the special conditions or objectives will be addressed.

Only in accordance with the guidelines outlined in the DPA, Council may, by resolution, issue a development permit that:

- varies or supplements a land use regulation bylaw;
- includes requirements and conditions or sets standards;
- imposes conditions respecting the sequence and timing of construction.

Section 491(7) states “for form and character DPAs, a development permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.”

Section 491(8) states “for land within a development permit area designated under section 488(1)(f), a development permit may include requirements respecting the character of the development, as referred to in subsection (7) of this section, but only in relation to the general character of the development and not to particulars of the landscaping or of the exterior design and finish of buildings and other structures.”

Development Permit No. 10 Gospel Rock Village Form and Character Guidelines

Council’s role is to decide if the project sufficiently meets the DP guidelines outlined in the OCP’s DPA No.10 for Gospel Rock Village, enclosed as Attachment E. The main objective of the guidelines is to “ensure high quality, pedestrian-oriented development within the Gospel Rock Neighborhood and enhance the appearance of development for the benefit of visitors, residents and businesses.” Figure 2 shows the area under consideration.

The following is an excerpt from the OCP that justifies the guidelines:

The form and character of commercial and multi-family residential buildings within the Gospel Rock Village are important for the long-term success of the larger Gospel Rock Neighbourhood Plan.

New development should seek to enhance the public realm. Buildings should be oriented to and relate to the public realm. Where a development includes multiple buildings, they should be grouped in such a way as to form usable open spaces for the enjoyment of residents and visitors.

Building façades should be designed in ways that express individual identity. Street trees and planting also improve the character, aesthetics, and enjoyment of the pedestrian, bicycle and vehicular realms of the streetscape.

Staff Report to Council – October 15, 2019

Application for Gospel Rock Village Form and Character Development Permit
(DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-
2018-26 (Hotel)

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Figure 2: Area within scope of DPA No. 10 outlined in red

Below are before and after renderings as well as dark sky renderings for each development permit application.

DP-2018-24 – APARTMENT BUILDING



Figure 3: Apartment building - original rendering

Staff Report to Council – October 15, 2019

Application for Gospel Rock Village Form and Character Development Permit
(DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-
2018-26 (Hotel)

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Figure 4: Apartment building - revised rendering



Figure 5: Apartment Building - night time rendering



Figure 6: Apartment Building - before and after comparison

The revisions from the original apartment rendering includes:

- colours of the building changed from brown tones to grey tones
- gable ends changed to craftman style
- window frames changed from black to white
- timber features are reduced
- softened and lightened the look and feel

Staff considers the revisions an improvement in the form and character of the apartment building, and recommends issuance of DP-2018-24 (Attachment B).

DP-2019-25 – TOWNHOUSE BUILDINGS



Figure 7: Townhouse renderings comparing before and after - Building A



Figure 8: Townhouse Renderings comparing before and after – Buildings B and C



Figure 9: Townhouse Renderings comparing before and after - Building D

The revisions from the original townhouse renderings include:

- reduced brown colour tones on the buildings – this also reduces contrasting colour expression
- lightened the end unit colour on Building A

Staff considers the revisions a subjective preference in the colour, which neither improves nor worsens the form and character of the townhouse buildings. Staff recommends issuance of DP-2018-25 (Attachment C).

DP-2019-26 – HOTEL



Figure 10: Original rendering of Hotel



Figure 11: Revised Rendering of Hotel

Staff Report to Council – October 15, 2019

Application for Gospel Rock Village Form and Character Development Permit
(DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-
2018-26 (Hotel)

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Figure 12: before and after comparison of Hotel building

The revisions from the original hotel rendering includes:

- simplified roof trusses
- reduced window size
- recessed amenity room to reduce roof size
- smaller, broken balconies
- timber features are reduced
- gable ends changed to craftman style

Staff considers the revisions an improvement in the form and character of the hotel building, however, suggests that it could be further softened. Council may issue DP-2018-26 (Attachment D), refer this back to the Planning and Development Committee for additional comments, or request further revisions.

Figures 12-14 show night time renderings of the development.

Staff Report to Council – October 15, 2019

Application for Gospel Rock Village Form and Character Development Permit
(DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-
2018-26 (Hotel)

Page 12 of 15



Figure 13: Hotel and Townhouse buildings at night



Figure 14: Village Plaza at night

Staff Report to Council – October 15, 2019

Application for Gospel Rock Village Form and Character Development Permit
(DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-
2018-26 (Hotel)

Page 13 of 15

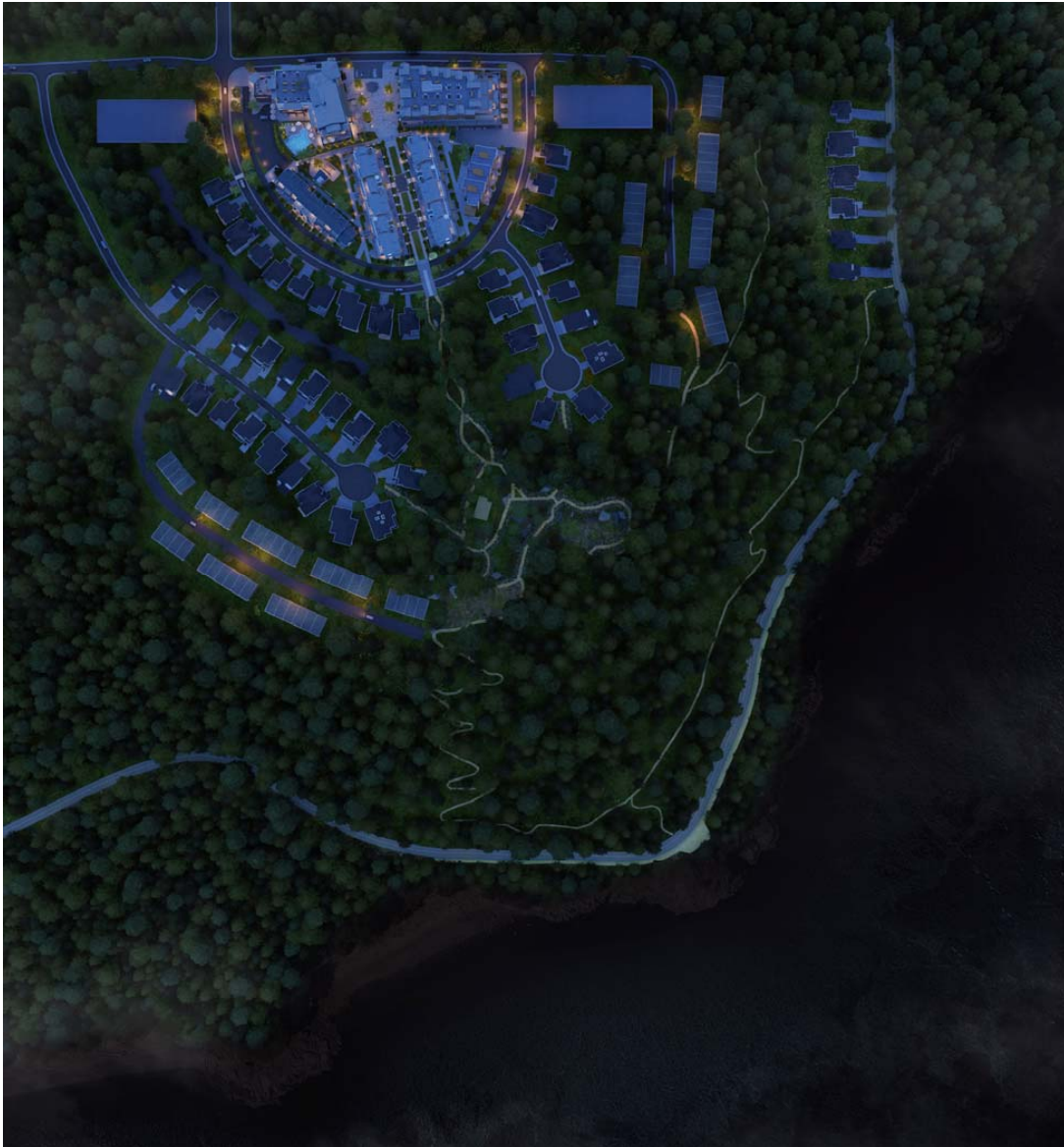


Figure 15: Rendering of Gospel Rock development at night

Official Community Plan

Staff considers that the overall design of the Gospel Rock Village development is mostly aligned with the OCP's form and character guidelines, except for a few key components:

- Where feasible, minimizing site grading and retaining natural vegetation is encouraged – village grading will not retain natural landscape and vegetation within the village centre.
- The form and character should support and enhance the Gibsons small-town character – the proposal provides for a west coast mountain experience. The guidelines reference “west coast seaside design” features such as: emphasis on natural light and orientation of buildings to views, indoor/outdoor relationships, use of natural building materials and exposed timber, and use of natural colours. Staff considers the features have been incorporated.
- To the extent possible, locally sourced materials should be used to reduce transportation impacts and reflect the local climate, light, history and culture – this is unknown due to the timing of construction and availability of products at that time.
- Public art details are unknown at this time.
- Natural landscapes, including significant trees, should be incorporated into site development when feasible – staff have had discussions with the developer on protecting some remaining arbutus trees, and the developer supports a covenant on rear yards fronting the park to protect significant trees. However, this is mostly in the single-family dwelling areas, outside of the scope of this Development Permit review.
- Signage details are unknown at this time. Future sign permits may be obtained at time of building permit.

NEXT STEPS

In advance of proceeding with this development, Greenlane Homes Ltd. is required to obtain several development permits. Relevant Development Permit requirements that apply to this site include:

- DPA No.1 Geotechnical Hazards – to be reviewed and authorized by staff, prior to approval of subdivision;
- DPA No. 2 Environmentally Sensitive Areas – to be reviewed and authorized by staff, prior to approval of subdivision;
- DPA No. 9 Gibsons Aquifer – to be reviewed and authorized by staff, prior to Building Permit, if excavation exceeds 1.5 m in depth on 6 lots at northeast corner of Block 7;
- DPA No. 10 Gospel Rock Village Form and Character – reviewed by staff and Planning and Development Committee, and to be authorized by Council, per this report.

Staff Report to Council – October 15, 2019

Application for Gospel Rock Village Form and Character Development Permit
(DPA No. 10) – DP-2018-24 (Apartments), DP-2018-25 (Townhouses), and DP-
2018-26 (Hotel)

Page 15 of 15

Upon receipt of a Council resolution authorizing the issuance of the form and character Development Permits, the developer will continue to complete the subdivision requirements before obtaining a Building Permit to commence construction.

RECOMMENDATIONS / ALTERNATIVES

Staff recommendations are listed on page 1. Alternatively, Council may refer one or all development permit applications back to the Planning and Development Committee for more comments, or request further revisions:

AND THAT the revised plans for _____ be referred to the Planning and Development Committee for additional comments;

THAT the applicant for Gospel Rock Village be requested to revise _____ [the form and character] in order to address _____ [the objective].

Attachments

- Attachment A – Developer's submission with letter outlining response to PDC recommendation, revised plans, schematic lighting plan, night renderings, and lighting details
- Attachment B – Draft DP-2019-24 (Apartment)
- Attachment C – Draft DP-2019-25 (Townhouses)
- Attachment D – Draft DP-2019-26 (Hotel)
- Attachment E – DPA No. 10 Form and Character Guidelines

Respectfully Submitted,



Lesley-Anne Staats, MCIP, RPP
Director of Planning

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I have reviewed the report and support the recommendation(s).



Emanuel Machado
Chief Administrative Officer



ATTACHMENT A

**GOSPEL ROCK VILLAGE
VILLAGE CENTRE DEVELOPMENT PERMITS APPLICATION
REVISIONS TO DPC RECOMMENDATIONS
OCTOBER 9, 2019**



**Design Response to Recommendations of DPC
for Issuance of DP-2018-14, DP-2018-25, and DP-2018-26 for Gospel Rock Village**

Prepared by
JYW Architecture Inc.
P+A (Landscape Architect)
Jarvis Engineering Ltd. (Electrical Engineer)
Updated October 8, 2019

Recommendations from the Town of Gibsons (ToG):

- ***Changing the colour palette (less browns and greys)***
- ***Softening the vertical lines***
- ***Lightening the experience to reflect Gibsons’s small-town character***

To address the above recommendations, we have made the following changes:

1. Hotel:

- On the two principal façades of the Hotel, the five larger wood “King” posts are eliminated. Structural posts are set behind the continuous balconies, to create horizontal expression.
- Added few s“French balconies” to further break down the façade. Enhance the small town building character.
- The wood column stain colour has been changed to a deeper shade to differentiate between the wood colour to the Apartment building.
- The upper floor of corner “tower” at Plaza and Village High have recessed inward to reduce the roof size and the overhang. The wood gable’s trusses form is simplified. The balcony is narrowed made like it has been inserted to the horizontal band. The corner “tower” looks thinner with above change.
- The upper floor window shape is changed. It is now smaller proportionally to the reduced roof.

2. Apartment:

- To differentiate between the sloped roof appearance of the Hotel and Apartment building, the wood King truss gable ends have been changed to a Craftsman’s style. The roof shapes are now unique to the Apartment, yet articulated to fit in with the overall West Coast style;
- The “brown” siding colour has been changed to a lighter colour - one shade up from the background colour, “Light Mist.” This subtle shade difference between the building façade at the front and back not only emphasizes the building volume articulation, but also lightens the overall colour;
- The brick veneer colour has been changed to a lighter and slightly yellow-toned colour, from “Redondo Grey” to “Sea Grey.”
- All window trims have been changed to “white” to support, “lightening the building” as the objective.
- All balcony frames’ configuration and colours have been changed to differentiate between those of the Hotel.

3. Townhouses:

- The Village Crescent street the Darker brown (Timber Bark) colour are toned down to “ Woodstock Brown”. Townhouse colour scheme in the Greenlane is consistent with the Plaza where symmetry is reinforced from an urban design point of view.
- The end unit colour of Building A has also been changed from “Timber Bark” to “Light Mist” to lighten up the building.
- The Building A and Buildings D’ Brown colour is also toned down to lightening the building .

Please see the attached revised building elevations for your reference (Attachment A). In this set, we have removed the black lines to give a better illustration of the building colour.

We believe that the above changes to all three buildings have increased the variety of building expressions for the Village Centre. Considering the future of the Gospel Rock Neighbourhood development in a larger picture, the Plaza and Greenlane have maintained the concept of “urban rooms” by lightening the building façades and having coherent colour pallets. This is critical for the overall experience of this first phase of neighbourhood development.

Recommendations from ToG:

- ***identifying accessibility, energy efficiency, and green building designs***

To address the above recommendations, we have made the following changes:

1. Accessibility:

Apartment common areas are accessible, and all apartment dwelling units are accessible to the entrance doors. Although it is not required by the B.C. Building Code, we have overcome the difficulties of the natural grade differences and now have 10 of the Townhouse dwellings accessible to the entrance doors. Therefore, a total of 60% of the dwelling units is accessible to the entrance door.

Inside the dwelling units, we have carried on the Adaptable Housing design philosophy to enable dwellings to adapt to the needs of the occupants and visitors; that is:

- Entrance door opening into dwelling unit provides at least 865mm of clear opening width, with two peep holes at 1067mm and 1524mm above the floor, and door opening hardware without a tight grasp or twisting action with a force of not more than 38 N;
- Beveled door thresholds not more than 13mm above floor;
- All doors within the dwelling unit to provide at least 800mm of clear opening width, and doors to have opening hardware without a tight grasp or twisting action with a force of 22 N or less;
- All hallways to have a minimum of 900mm width;
- Stairs inside unit to have a minimum of 915mm width;
- Kitchens have lever faucets on the sinks, and have the lower waste pipes below sinks to allow for lowering of counters no greater than 305mm above floor;

- Washbasins to be lever-type faucets without a tight grasp or twisting action;
- Electrical, telephone, cable and data outlets in dwelling units to be located between 450mm and 1200mm above the floor, except to facilitate equipment and appliances;
- Controls for building services or safety devices, electrical switches, thermostats and intercoms in a dwelling unit to be located no more than 1200mm above the floor, except where the lower controls could be deemed a hazard in the lower position;
- One window in the living room to have a windowsill no higher than 800mm above the finished floor.

2. Energy Efficiency and Green Building Design:

We will take the lowest cost strategies to achieve the goal of low greenhouse gas emissions:

- Design for a lower overall window-to-wall ratio;
- Higher building R-values, minimum effective R-10 for walls and effective R-20 for roofs;
- Improve window performance, using double-glazed windows with lower U-values;
- Reduce thermal bridging;
- Take advantage of natural light to reduce lighting load;
- Increase airtightness by installing a continuous air barrier to minimize heat loss through the building envelope. Seal off residential units from each other and from other building uses;
- Specify highly energy-efficient mechanical systems. Consider using electricity-based systems that reduce greenhouse gas emissions.

Solar panels will be installed over the Hotel roof and Solar panel rough-ins will be installed to where suitable for the Townhouses.

Electric vehicle charging stations will be installed in the Hotel Parking and Visitor Parking Stalls for the Apartment building and Townhouses. All parking stalls for the Apartment and Townhouse residents are roughed-in with electric vehicle charging.

Recommendations from ToG:

- ***Minimize Light Spill and Sky Glow to Lessen the Impact on Wildlife and Dark Skies***

1. Landscape Lighting and Wildlife:

The design team will approach the application of landscape lighting in a sensitive manner to help balance both the needs of nature and people by minimizing the impact of lighting on local wildlife, while providing safety for the residents.

Design approaches will include the implementation of the best practices, including the selection of warmer colour temperatures that will be less harmful to wildlife (less blues and bright whites), as documented in

recent research such as the study entitled, "Rapid Assessment of Lamp Spectrum to Quantify Ecological Effects of Light at Night."

Additionally, fixtures will employ a variety of control methods including dark sky compliant fixtures, partial and full cut-off to minimize back lighting and spill as well as timers to shut off lighting systems in the landscape when not needed.

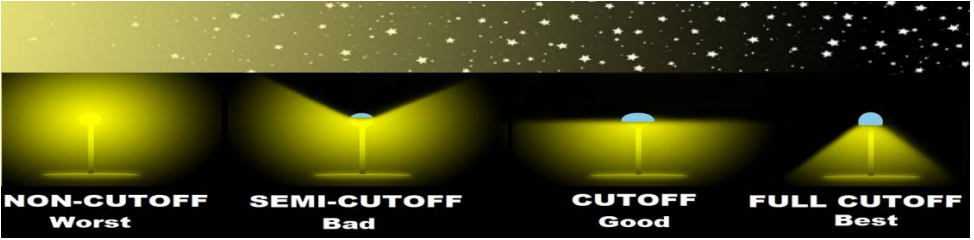
The design team will work with progressive lighting suppliers and manufacturers to ensure that fixtures are selected to employ these 'best practice' strategies so that a thoughtful and measured approach to landscape lighting will be achieved in all of the outdoor spaces throughout the development.

2. As for the Buildings' Outdoor Lighting Concepts:

Outdoor lighting meets but does not exceed the levels specified in IES-recommended practices for night-time safety, utility, security, productivity, enjoyment, and commerce.

- Minimize adverse offsite impacts of lighting such as light trespass, and obtrusive light
- Curtail light pollution, reduce sky glow and improve the nighttime environment for astronomy by ensuring outdoor luminaires are designed to provide 100% full cutoff - of any light emission (see diagram attached) above the horizontal plane (i.e., all exterior lighting will be downlighting only)
- Help protect the natural environment from the adverse effects of night lighting
- Conserve energy and resources to the greatest extent possible.

The illustration below indicates the four typical light concepts. We will use the full cutoff in all exterior applications where public safety and the Building Code allow.



We have also attached a list of light fixture cut sheets to illustrate the concepts (but not limited to) for your reference. (Attachment D)

Professional night scene renderings providing a better illustration of the concepts are attached. (Attachment C). Also the Schematic Lighting Plan is attached. (Attachment B)

Recommendations from ToG:

- ***meeting parking requirements***

Off-street parking will meet Town of Gibsons new parking by-law. Shared parking stalls will be provided for the Village Centre.

ATTACHMENT A



JYW ARCHITECTURE INC.
201-211 Columbia Street, Vancouver, B.C. Canada, V6A 2P6
Tel: 604-689-3166 Email: jyw@jywarch.com

No Date (Y/M/D)

VILLAGE CENTRE INN
ELEVATION REVISIONS

GOSPEL ROCK VILLAGE

BLOCK 7, GIBSONS, BC
PROJECT NUMBER: 1603

ASK1



BEFORE



AFTER



JYW ARCHITECTURE INC.
 701-411 Columbia Street, Vancouver, B.C. Canada, V6A 2P6
 Tel: 604-689-3168 Email: jyw@jywarch.com

No. Date (Y/M/D)

VILLAGE CENTRE
 APARTMENT
 ELEVATION REVISIONS

GOSPEL ROCK VILLAGE

BLOCK 7, GIBSONS, BC
 PROJECT NUMBER: 1603

ASK2

BEFORE



TOWNHOUSE BUILDING A

AFTER



No	Date (Y/M/D)

VILLAGE CENTRE
TOWNHOUSE A
ELEVATION REVISIONS

GOSPEL ROCK VILLAGE
BLOCK 7, GIBSONS, BC
PROJECT NUMBER: 1603

ASK3

BEFORE



TOWNHOUSE BUILDING B&C

AFTER



JYW ARCHITECTURE INC.
201-211 Columbia Street, Vancouver, B.C. Canada, V6A 2P6
Tel: 604-683-3166 Email: jyw@jywarch.com

No Date (Y/M/D)

VILLAGE CENTRE
TOWNHOUSE B&C
ELEVATION REVISIONS

GOSPEL ROCK VILLAGE

BLOCK 7, GIBSONS, BC
PROJECT NUMBER: 1603

ASK4

BEFORE



TOWNHOUSE BUILDING D

AFTER



JYW ARCHITECTURE INC.
201-211 Columbia Street, Vancouver, B.C. Canada, V6A 2P6
Tel: 604-683-3168 Email: jyw@jywarchitect.com

No. Date (Y/M/D)

VILLAGE CENTRE
TOWNHOUSE D
ELEVATION REVISIONS

GOSPEL ROCK VILLAGE

BLOCK 7, GIBSONS, BC
PROJECT NUMBER: 1603

ASK5

ATTACHMENT B

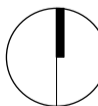
3	Re-issued for DP	2019/08/19
2	Issued for DP	11/23/2018
1	Issued for Review	2018/11/02
Revision No.		Date

COPYRIGHT RESERVED
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Client:
Greenlane Homes Ltd.


Project Title:
Gospel Rock Village


Drawing Title:
Schematic Lighting Plan


Project North:	Drawn By:	TT
	Checked By:	JM
Scale:	Job No.:	18-044
1:300		
Sheet No.:		


L1.1


LEGEND


 Post Light

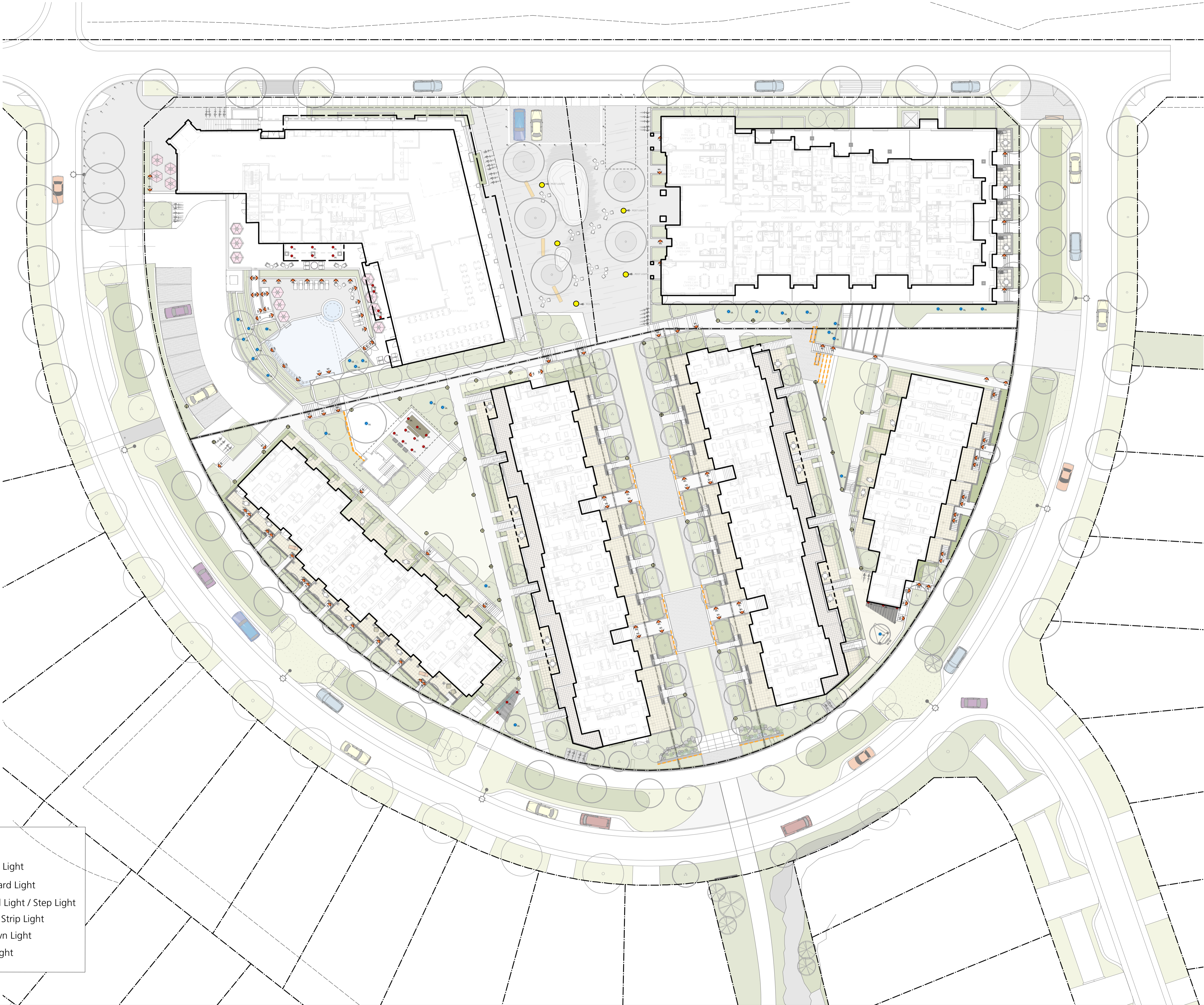
 Bollard Light

 Wall Light / Step Light

 LED Strip Light

 Down Light

 Uplight



ATTACHMENT C









ATTACHMENT D



EC18705
Specification Sheet
Exterior Flush Mount



TYPE 1b
Ceiling-mounted
for balcony

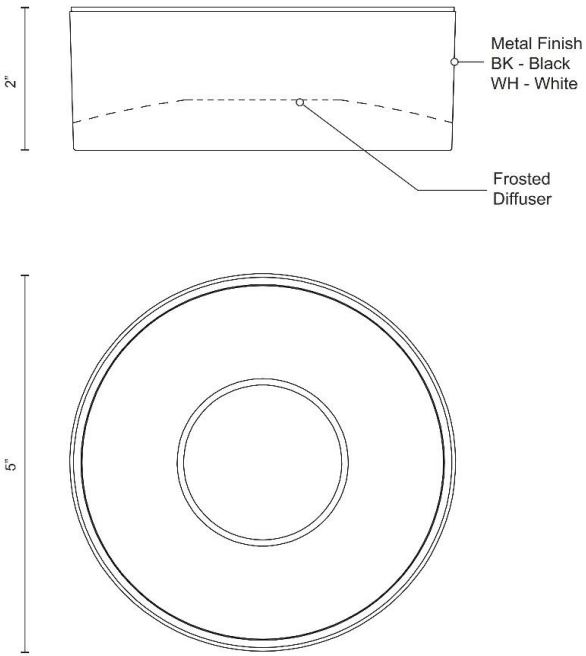


Product Descriptions
Cast cylindrical aluminum housing and ceiling mount.
Finely textured achromatic powder-coat finish.
Frosted diffuser. Down light distribution.

Product Details
High system efficacy. Low total
life cycle cost. ETL Listed.
5-years warranty.
Complete warranty terms located at:
www.kuzcolighting.com/warranty
Utilizes our LED Driver Light Engine.
LED Driver within fixture.
Dimmable with ELV dimmer (not included)
Custom options available.

PROJECT					
DATE		TYPE		L5	
Voltage	Watt	LED Lumens	Delivered Lumens	Finish(es)	Color Temp 3000K CRI(Ra) >90 Dimming 100%-10% Rated Life 50,000 hours
120V	14W	1100lm	824lm	BK - Black	
120V	14W	1100lm	846lm	WH - White	

*Preliminary figures



Canopy dimensions:
N/A

Comments:



C-SERIES COLLECTION

C-Series 5000K 1150Lm Slim Wall Pack Textured Architectural Bronze
16236AZT50 (Textured Architectural Bronze)



TYPE 2
Wall-mounted
for balcony

Project Name: _____
Location: _____
Type: _____
Qty: _____
Comments: _____

Certifications / Qualifications

Certifications/Qualifications	
Location Rating	CSA UL Listed Wet
www.kichler.com/warranty	

Dimensions	
Extension	4.00"
Weight	6.30 LBS
Height	9.00"
Width	7.00"

Electrical	
Supply Wire (Degrees)	75

Mounting/Installation	
Interior/Exterior	Exterior
Mounting Style	8" - 10"

Photometrics	
Color Rendering Index	80
Delivered Lumens	1150
Kelvin Temperature	5000K

Primary Lamping	
Expected Life Span	60000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	10W
# of Bulbs/LED Modules	1
Max Wattage/Range	10W

Product/Ordering Information	
SKU	16236AZT50
Finish	Bronze
Style	Other
UPC	783927556798

Specifications	
Diffuser Description	High Impact Resistant Tempered Glass
Material	ALUMINUM

Additional Finishes	
	Textured Architectural Bronze

Kichler
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010
Toll free: 866.558.5706 or kichler.com

Notes:
1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

KICHLER®

Custom Lighting Design
& Manufacturing

3611 Commercial Street
Vancouver, BC V5N 4G1

T. 604.872.5503
F. 604.872.5560



IP55-616613

Project:	Type:	QTY:
Product Code:		

Product Code

IP55 - 616613 -	COLOR	LAMP	VOLT	OPTION
<input type="checkbox"/> B =Black	<input type="checkbox"/> 12W3K=3000K	<input type="checkbox"/> 120=120V	<input type="checkbox"/> CPMK=Concrete	
<input type="checkbox"/> G =Grey	<input type="checkbox"/> 12W4K=4100K	<input type="checkbox"/> 277=277V	<input type="checkbox"/> Pour	
<input type="checkbox"/> W =White	<input type="checkbox"/> 12W5K=5500K	<input type="checkbox"/> 347=347V	<input type="checkbox"/> Mounting	
<input type="checkbox"/> A =Aluminum			<input type="checkbox"/> Kit	
<input type="checkbox"/> CC=Custom Color				

Features + Specifications

Intended Use:

- Building interior
- Building exterior

Construction:

- Heavy weight die cast aluminum front face plate
- Die cast aluminum inner fixture body
- Galvanized steel back box with optional concrete pour mounting kit
- Stainless steel fasteners
- Frosted PMMA lens (High Impact)
- Extruded silicone gasket

Finish:

- Sand textured powder coat paint finish

Optical System:

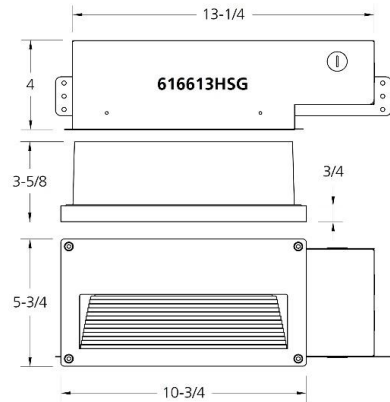
- 12W LED engine with 100+ lumens per LED watt, 80CRI, 50000 hrs L70

Electrical System:

- 120V AC standard, optional 277V & 347V AC

Accessories:

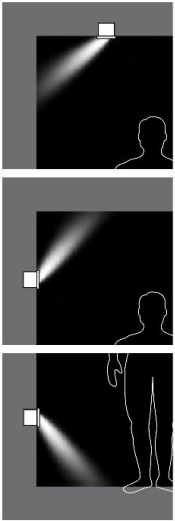
- Use with recessed housing number **IP00-616613HSG**



Certified to CSA C22.2 No.250.0 Conformed to UL 1598
Certification Marks (where applicable) will be found on our luminaires and its components



TYPE 3
Exterior
wall-mounted
for ramp and
stairs



www.iplighting.com

Light of Your World



Date: _____ Customer: _____
Project: _____
Type: _____ Qty: _____



Inula Bollard LED



TYPE 4

free stand for
path and ramps

Order Code: IBL - - - - -

IBL	Series							IBL Inula Ballard LED
Height	1.5 1.5 ft. (consult factory)	2 2 ft. (consult factory)	2.5 2.5 ft.	3 3 ft.	3.5 3.5 ft.	4 4 ft.		
Light Engine	1Q ¹ 7.6w/577 lm	2Q90 14.1w/1156lm	2Q180 14.1w/1156 lm	3Q 20.5w/1689 lm	4Q5 27.2w/2246 lm	4QD 27.2w/2246 lm		*Based on 5000K CCT, 120 277V †Not available with EM
CCT	AM ^{2, 15} Amber	3Q ² 3000K	40 4000K	50 5000K				†DA Approved For other CCT please consult factory
Finish	WH White	BK Black	BL Semi-Matte Black	BZ Bronze	SV Silver	SP Specify Premium Color		
Voltage	UNV 120-277V	120 120V	208 208V	240 240V	277 240V	347 ^{3, 16} 347V	480 ^{3, 16} 480V	*50 or 60 Hertz †Requires step down transformer, 60 Hertz Only
Options	DM Dimming (0-10V)	HL30 ^{4, 7, 10, 12} Hi-Lo Switching 100-300%	REC ^{5, 6} GFCI Receptacle w/ weather- proof cover	REC2 ^{5, 6} GFCI Recepta- cle w/ padlockable in-use cover	EM ^{8, 9, 12, 13} USB & Duplex Emergency Battery Pack 10 - 20C	PC ¹¹ Photocell		‡20 277V Only ‡20V Only †Not available in 2.5" height †Not available at 208V. †Not available with IG ‡20V or 277V only †Not available with DM Option †Not available at 480V †Not available with EM option †Not available with PC or LP option *Not available with H, B, S or HP options *For IG, 20v and 30 please consult factory
	LP12, 14, 15 Lower Power Version Increases Light Out- put By 60%	HP ¹² High Power Version In- creases Light Output By 100%	REC3 USB & Duplex Receptacle w/ weather- proof cover	REC4 USB & Duplex Receptacle w/ weather- proof padlockable in use cover				

Product Modifications

Please list modification requirements for review by factory:



Selux Corporation © 2019, T 845-834-1400, 800-735-8927, F 845-834-1401, www.selux.us
In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

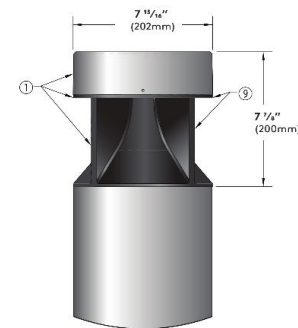
Approvals

Date:

Page 1 of 9
(Rev. 08/2019)
IBL_ss_v3.0

Inula Bollard LED

IBL



Net Weight (35lbs)

Specifications

1. Fixture Housing - Die cast low-copper and low-iron aluminum fixture body provide corrosion resistance in marine environments.

2. Gasketing - (not shown) Continuous gaskets provide weather-proofing, dust, and insect control between castings.

3. LED Light Engine - (not shown) High efficiency LED light engine equipped with brand-name LEDs, available in 3000K, 4000K, 5000K CCT tolerance within a 3-step MacAdams ellipse, and Amber CCT. Suitable for max ambient temperatures up to 45°C.

4. Optics - (not shown) Proprietary vandal and UV resistant acrylic optic provides optimal light blending between quadrants.

5. Surge Protector - (not shown) Designed to protect luminaire from electrical surge (10kA).

6. Hi-Lo Switching Option - (not shown)
Controlled switching between 100% and 30% power. See wiring diagrams for additional details.

7. Low Power Option - (not shown) 60% decrease in Lumen output in same physical package.

8. High Power Option - (not shown) 100% increase in Lumen output in same physical package.

9. Light Chamber - Castings around Light Engine are painted with special matte black light absorbing powder coat paint. Meets International Dark-Sky Association (IDA) requirements B0, U0, and G0 BUG ratings at 3000K CCT. Powers 2Q90, 2Q180, 3Q, or 4Q configurations (refer to lumen matrix on page 3).

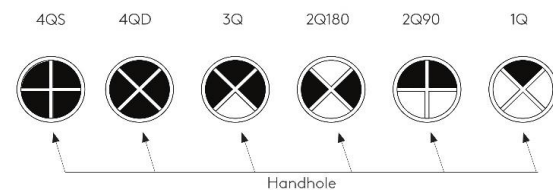
10. Low-Temperature Emergency Battery Pack Option - (not shown) Provide 90 minutes of constant-power egress lighting when external power is lost. -20°C to +55°C ambient temperature operation.

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultraviolet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI.

Standard exterior colors are White (WH), Black (BK), Semi-Matte Black (BL), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide.

selux

LED Light Engine Distribution Guide



5 Year Limited LED Luminaire Warranty -
Selux offers a 5 Year Limited Warranty to the original purchaser that the Inula Bollard LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED array when installed and operated according to Selux instructions. For details, see "Selux Terms and Condition of Sale."

Listings and Ratings: Tested to INRTL Wet Location and IESNA LM-79-08 standards. LED tested to LM-80 standards.

Luminaire tested to IK10 standard, IDA
Approved and Lighting Facts Certified.

Luminaire and LED tested at 25°C (77°F) ambient temperature.

LED LIFE - LED light engine provides a reported lumen maintenance of 93% at 36,000 hours. L70 calculated greater than 100,000 hours. NRTL Listed (i.e. UL, CSA)

Visit selux.us for our LED End of Life recycling policy.

Selux Corporation © 2019, T 845-834-1400, 800-735-8927, F 845-834-1401, www.selux.us
In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supercede all other printed or electronic versions.

Page 2 of 9
(Rev. 08/2019)
IBL_ss_v3.0



Urban
UrbanScape
MPTC Post Top



Lumec UrbanScape LED post top luminaire features flexible, robust energy-saving solutions for modern-styled urban architectural lighting. With its slightly rounded hood, the post top model comes with a flat lens to highlight the thinness of the LEDs. The luminaire provides attractive lighting at night, adding appeal to the surroundings and promoting safe use of the environment. Includes Service Tag.innovative way to provide assistance throughout the life of the product.

Project:

Location:

Cat.No:

Type:

Lamps: Qty:

Notes:

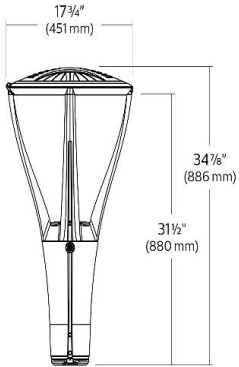
MPTC UrbanScape LED Post Top

Urban Luminaire

TYPE 5

for post top

Dimensions



EPA: 17 sq ft
Weight: 32.2 lbs (14.6 kg)

Motion Response* (must be ordered as a separate item) Example: ACC-120-MR4PGI-BKTX

Series	Voltage	Motion Response module	Finish
ACC			
ACC Accessory	120 120 volt 277 120 volt	MR4PG1 Single grey MR4PG2 Double grey MR4PW1 Single white MR4PW2 Double white	Consult Lumec's Color Chart for complete specifications.

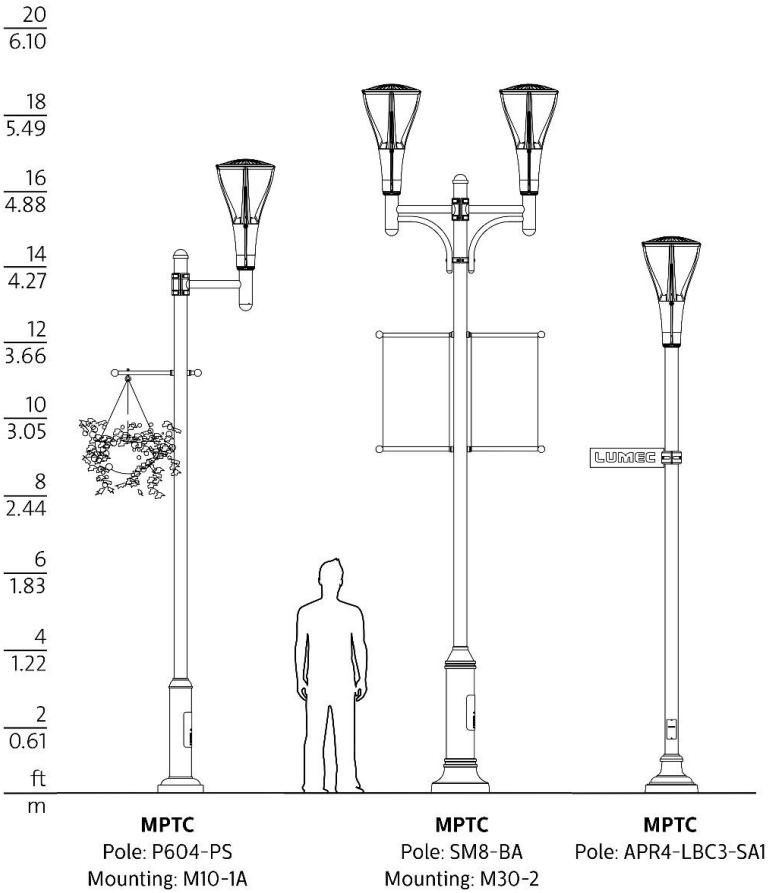
*OVR option is required for Motion Response Accessory

MPTC UrbanScape LED Post Top

Urban Luminaire

Specifications (continued)

Poles



Consult [Signify.com/outdoorluminaires](https://www.signify.com/outdoorluminaires) for details and the complete line of Signify poles and brackets.



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UrbanScape-MPTC-spec 01/19 page 5 of 5

Signify North America Corporation
200 Franklin Square Drive
Somerset, NJ 08873
Telephone 855-486-2216

Signify Canada Ltd.
281 Hillmount Road
Markham, ON, Canada L6C 2S3
Telephone 800-668-9008

www.lumec.com



ATTACHMENT B

DRAFT DEVELOPMENT PERMIT

FILE NO: DP-2019-24 (Apartment)
(Form and Character)

TO: Mr. Ji Yan (Greenlane Homes Ltd., Inc. No. BC1085102)
c/o Yijin Wen, JYW Architecture

ADDRESS: Suite 211 - 211 Columbia Street
Vancouver, B.C. V6A 2R5
(Permittee)

- 1) This Development Permit is issued subject to compliance with all of the Bylaws of the Town of Gibsons applicable thereto, except those specifically varied or supplemented by this Permit.
- 2) The Development Permit applies to those "lands" within the Town of Gibsons described below:

Parcel Identifier: 010-827-200
Legal Description: BLOCK 7 DISTRICT LOT 842 PLAN 6755
Civic Address: Block 7, Chaster Road, Gibsons
(Lands)

- 3) These lands are within Development Permit Area No. 10 of the Town of Gibsons Official Community Plan, Bylaw 985, 2005. This permit applies to Development Permit Area No. 10 (Form and Character – Gospel Rock Village) for the purpose of ensuring high quality, pedestrian-oriented development within the Gospel Rock Neighborhood and enhancing the appearance of development for the benefit of visitors, residents and businesses.
- 4) The "land" described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit, and to specifications in the plans attached to and forming part of this Permit;
- 5) The building form and character for the apartment building is required to conform to the following plans:

a)	Development Plans	Gospel Rock Village, Village Centre Development Permits Application, dated August 19, 2019, last revised October 8, 2019
b)	Landscape Plans	Village Centre Landscape Design, dated November 23, 2018
c)	Landscape Cost Estimate	Gospel Rock Landscape Cost Estimate, dated October 9, 2019 by Perry and Associates

- 6) This Development Permit applies to the form and character on the site. For details shown in off-site areas the plans may be subject to change following the provisions of a Servicing Agreement.
 - a) The Servicing Agreement shall include a detailed landscape plan for the Stewart

Road access, including but not limited to planting a minimum of eight trees and landscaping the retaining walls and to the satisfaction of the Director of Planning; and

- b) The Servicing Agreement shall include a detailed landscape plan for the Stewart Road pathway to the satisfaction of the Director of Planning.
- 7) Minor changes to the aforesaid drawings that do not affect the intent of this Development Permit or the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Director of Planning.
- 8) If the Permittee does not commence the development permitted by this Permit within twenty-four months of the date of this Permit, this Permit shall lapse.
- 9) This Permit is NOT a Building Permit.
- 10) As a condition of the issuance of the Building Permit, the Permittee shall provide security for the following values:

Apartment Building: **\$ 176,760.00**

to ensure that the on-site landscaping component of the development is carried out in accordance with the terms and conditions set out in this permit.

- a) The condition of the posting of the security is that, should the Permittee fail to carry out the development hereby authorized according to the terms and conditions of this Development Permit within the time provided, the Town may carry out the development or any part of it by its servants, agents or contractors and deduct from the security all costs of so doing, it being understood that the surplus, if any, shall be paid over to the Permittee.
- b) If on the other hand, the Permittee carries out the landscaping component of the development permitted by this Development Permit within the time set out herein, the security shall be returned to the Permittee.
- c) Prior to issuance of a Building Permit, the Permittee is to file with the Town an irrevocable Letter of Credit or Certified Cheque as security for the installation of hard and soft landscaping in accordance with approved plans, such Letter of Credit to be submitted to the Town at the time of the Building Permit application.
- d) The Permittee shall complete the landscaping works required by this permit within six (6) months of issuance of the Building Permit.
- e) If the landscaping is not approved within this twelve (12) month period, the Town has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Town or its agents have the irrevocable right to enter into the property to undertake the required

landscaping for which the security was submitted.

- f) Upon completion of the landscaping, a holdback of 10% of the original security, plus any deficiencies, will be retained for a 3-year period, to be returned upon written final approval from the Landscape Architect.
- g) The following standards for landscaping are set:
 - i. All landscaping works and planters and planting materials shall be provided in accordance with the landscaping as specified on the Site Plan and Landscaping Plan which forms part of this Permit.
 - ii. All planting materials that have not survived within one year of planting shall be replaced at the expense of the Permittee.

AUTHORIZING RESOLUTION _____ PASSED BY COUNCIL THE ____ DAY
OF _____, 2019.

ISSUED THIS ____ DAY OF _____, 2019.

Bill Beamish, Mayor

Lindsey Grist, Corporate Officer



ATTACHMENT C

DRAFT DEVELOPMENT PERMIT

FILE NO: DP-2019-25 (Townhouses)
(Form and Character)

TO: Mr. Ji Yan (Greenlane Homes Ltd., Inc. No. BC1085102)
c/o Yijin Wen, JYW Architecture

ADDRESS: Suite 211 - 211 Columbia Street
Vancouver, B.C. V6A 2R5
(Permittee)

- 1) This Development Permit is issued subject to compliance with all of the Bylaws of the Town of Gibsons applicable thereto, except those specifically varied or supplemented by this Permit.
- 2) The Development Permit applies to those "lands" within the Town of Gibsons described below:

Parcel Identifier: 010-827-200
Legal Description: BLOCK 7 DISTRICT LOT 842 PLAN 6755
Civic Address: Block 7, Chaster Road, Gibsons
(Lands)

- 3) These lands are within Development Permit Area No. 10 of the Town of Gibsons Official Community Plan, Bylaw 985, 2005. This permit applies to Development Permit Area No. 10 (Form and Character – Gospel Rock Village) for the purpose of ensuring high quality, pedestrian-oriented development within the Gospel Rock Neighborhood and enhancing the appearance of development for the benefit of visitors, residents and businesses.
- 4) The "land" described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit, and to specifications in the plans attached to and forming part of this Permit;
- 5) The building form and character for the townhouse buildings must conform to the following plans:

a)	Development Plans	Gospel Rock Village, Village Centre Development Permits Application, dated August 19, 2019, last revised October 8, 2019
b)	Landscape Plans	Village Centre Landscape Design, dated November 23, 2018
c)	Landscape Cost Estimate	Gospel Rock Landscape Cost Estimate, dated October 9, 2019 by Perry and Associates

- 6) This Development Permit applies to the form and character on the site. For details shown in off-site areas the plans may be subject to change following the provisions of a Servicing Agreement.
 - a) The Servicing Agreement shall include a detailed landscape plan for the Stewart

Road access, including but not limited to planting a minimum of eight trees and landscaping the retaining walls and to the satisfaction of the Director of Planning; and

- b) The Servicing Agreement shall include a detailed landscape plan for the Stewart Road pathway to the satisfaction of the Director of Planning.
- 7) Minor changes to the aforesaid drawings that do not affect the intent of this Development Permit or the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Director of Planning.
- 8) If the Permittee does not commence the development permitted by this Permit within twenty-four months of the date of this Permit, this Permit shall lapse.
- 9) This Permit is NOT a Building Permit.
- 10) As a condition of the issuance of the Building Permit, the Permittee shall provide security for the following values:

Townhouses: **\$ 905,885.00**

to ensure that the on-site landscaping component of the development is carried out in accordance with the terms and conditions set out in this permit.

- a) The condition of the posting of the security is that, should the Permittee fail to carry out the development hereby authorized according to the terms and conditions of this Development Permit within the time provided, the Town may carry out the development or any part of it by its servants, agents or contractors and deduct from the security all costs of so doing, it being understood that the surplus, if any, shall be paid over to the Permittee.
- b) If on the other hand, the Permittee carries out the landscaping component of the development permitted by this Development Permit within the time set out herein, the security shall be returned to the Permittee.
- c) Prior to issuance of a Building Permit, the Permittee is to file with the Town an irrevocable Letter of Credit or Certified Cheque as security for the installation of hard and soft landscaping in accordance with approved plans, such Letter of Credit to be submitted to the Town at the time of the Building Permit application.
- d) The Permittee shall complete the landscaping works required by this permit within six (6) months of issuance of the Building Permit.
- e) If the landscaping is not approved within this twelve (12) month period, the Town has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Town or its agents have the irrevocable right to enter into the property to undertake the required

landscaping for which the security was submitted.

- f) Upon completion of the landscaping, a holdback of 10% of the original security, plus any deficiencies, will be retained for a 3-year period, to be returned upon written final approval from the Landscape Architect.
- g) The following standards for landscaping are set:
 - i. All landscaping works and planters and planting materials shall be provided in accordance with the landscaping as specified on the Site Plan and Landscaping Plan which forms part of this Permit.
 - ii. All planting materials that have not survived within one year of planting shall be replaced at the expense of the Permittee.

AUTHORIZING RESOLUTION _____ PASSED BY COUNCIL THE ____ DAY
OF _____, 2019.

ISSUED THIS ____ DAY OF _____, 2019.

Bill Beamish, Mayor

Lindsey Grist, Corporate Officer



ATTACHMENT D

DRAFT DEVELOPMENT PERMIT

FILE NO: DP-2019-26 (Hotel)
(Form and Character)

TO: Mr. Ji Yan (Greenlane Homes Ltd., Inc. No. BC1085102)
c/o Yijin Wen, JYW Architecture

ADDRESS: Suite 211 - 211 Columbia Street
Vancouver, B.C. V6A 2R5
(Permittee)

- 1) This Development Permit is issued subject to compliance with all of the Bylaws of the Town of Gibsons applicable thereto, except those specifically varied or supplemented by this Permit.
- 2) The Development Permit applies to those "lands" within the Town of Gibsons described below:

Parcel Identifier: 010-827-200
Legal Description: BLOCK 7 DISTRICT LOT 842 PLAN 6755
Civic Address: Block 7, Chaster Road, Gibsons
(Lands)

- 3) These lands are within Development Permit Area No. 10 of the Town of Gibsons Official Community Plan, Bylaw 985, 2005. This permit applies to Development Permit Area No. 10 (Form and Character – Gospel Rock Village) for the purpose of ensuring high quality, pedestrian-oriented development within the Gospel Rock Neighborhood and enhancing the appearance of development for the benefit of visitors, residents and businesses.
- 4) The "land" described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit, and to specifications in the plans attached to and forming part of this Permit;
- 5) The building form and character for the hotel is required to conform to the following plans:

a)	Development Plans	Gospel Rock Village, Village Centre Development Permits Application, dated August 19, 2019, last revised October 8, 2019
b)	Landscape Plans	Village Centre Landscape Design, dated November 23, 2018
c)	Landscape Cost Estimate	Gospel Rock Landscape Cost Estimate, dated October 9, 2019 by Perry and Associates

- 6) This Development Permit applies to the form and character on the site. For details shown in off-site areas the plans may be subject to change following the provisions of a Servicing Agreement.
 - a) The Servicing Agreement shall include a detailed landscape plan for the Stewart Road access, including but not limited to planting a minimum of eight trees and

landscaping the retaining walls and to the satisfaction of the Director of Planning;
and

- b) The Servicing Agreement shall include a detailed landscape plan for the Stewart Road pathway to the satisfaction of the Director of Planning.
- 7) Minor changes to the aforesaid drawings that do not affect the intent of this Development Permit or the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Director of Planning.
- 8) If the Permittee does not commence the development permitted by this Permit within twenty-four months of the date of this Permit, this Permit shall lapse.
- 9) This Permit is NOT a Building Permit.
- 10) As a condition of the issuance of the Building Permit, the Permittee shall provide security for the following values:

Hotel: **\$ 539,986.75**

to ensure that the on-site landscaping component of the development is carried out in accordance with the terms and conditions set out in this permit.

- a) The condition of the posting of the security is that, should the Permittee fail to carry out the development hereby authorized according to the terms and conditions of this Development Permit within the time provided, the Town may carry out the development or any part of it by its servants, agents or contractors and deduct from the security all costs of so doing, it being understood that the surplus, if any, shall be paid over to the Permittee.
- b) If on the other hand, the Permittee carries out the landscaping component of the development permitted by this Development Permit within the time set out herein, the security shall be returned to the Permittee.
- c) Prior to issuance of a Building Permit, the Permittee is to file with the Town an irrevocable Letter of Credit or Certified Cheque as security for the installation of hard and soft landscaping in accordance with approved plans, such Letter of Credit to be submitted to the Town at the time of the Building Permit application.
- d) The Permittee shall complete the landscaping works required by this permit within six (6) months of issuance of the Building Permit.
- e) If the landscaping is not approved within this twelve (12) month period, the Town has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Town or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

- f) Upon completion of the landscaping, a holdback of 10% of the original security, plus any deficiencies, will be retained for a 3-year period, to be returned upon written final approval from the Landscape Architect.
- g) The following standards for landscaping are set:
 - i. All landscaping works and planters and planting materials shall be provided in accordance with the landscaping as specified on the Site Plan and Landscaping Plan which forms part of this Permit.
 - ii. All planting materials that have not survived within one year of planting shall be replaced at the expense of the Permittee.

AUTHORIZING RESOLUTION _____ PASSED BY COUNCIL THE ____ DAY
OF _____, 2019.

ISSUED THIS ____ DAY OF _____, 2019.

Bill Beamish, Mayor

Lindsey Grist, Corporate Officer

16.11 Gospel Rock Village Development Permit Area No. 10

Purpose

The Gospel Rock Village Development Permit Area (DPA) is designated under Section 488(1)(f) of the *Local Government Act* for establishing form and character objectives for multi-family residential, commercial, and mixed-use development.

The main objective of the Gospel Rock Village DPA is to ensure high quality, pedestrian-oriented development within the Gospel Rock Neighbourhood and enhance the appearance of development for the benefit of visitors, residents, and businesses.

Area

The Gospel Rock Village DPA is shown as DPA No. 10 on Schedule E: Form & Character DPAs. It applies to multi-family residential, commercial, and mixed-use development in the Gospel Rock Neighbourhood Plan area.

Justification

The form and character of commercial and multi-family residential buildings within the Gospel Rock Village are important for the long-term success of the larger Gospel Rock Neighbourhood Plan.

New development should seek to enhance the public realm. Buildings should be oriented to and relate to the public realm. Where a development includes multiple buildings, they should be grouped in such a way as to form usable open spaces for the enjoyment of residents and visitors.

Building façades should be designed in ways that express individual identity. Street trees and planting also improve the character, aesthetics, and enjoyment of the pedestrian, bicycle and vehicular realms of the streetscape.

Guidelines

Development permits issued in this area shall be in accordance with the following guidelines:

General Form and Character of Development

To create a high quality, visually appealing development with a safe, comfortable pedestrian environment, the following guidelines shall apply:

- *Where feasible, minimizing site grading and retaining natural vegetation is encouraged.*
- *Significant landscaping adjacent to public roadways and integrated within the site, use of both architectural and landscape features to provide a "gateway" or distinct entrance.*
- *The form and character should support and enhance the Gibsons small-town character, including a mix of building masses and open spaces reflective of more incremental development.*
- *Provide a clear distinction between private and public realms through subtle cues in materials, pathway edges, grade and/or landscape design elements.*
- *Each dwelling unit in a residential or mixed-use project shall incorporate direct access to a usable private outdoor space such as a patio, balcony, and/or upper-level terrace.*
- *West Coast seaside design features should be incorporated in the design, including:*

- *The emphasis on natural light through the significant glazing and orientation of buildings to views and/or other significant natural features.*
- *Consideration of indoor/outdoor relationships and flexibility within open-plan layouts.*
- *The use of natural building materials and exposed timber (structural) features.*
- *The use of natural colours with a variety of complementary colours used as accents to promote visual interest.*
- *Low Impact Development techniques for stormwater management is encouraged – including swales or other landscape features that alleviate impacts of storm runoff from impervious surfaces, including roofs and surface parking areas; green roofs and permeable parking areas are encouraged.*
- *Design lighting to minimize light spill, glare and sky glow by using non-glare full cutoff fixtures.*
- *Recycling facilities are required for all commercial, multi-family residential, and mixed-use buildings.*
- *To the extent possible, locally sourced materials should be used to reduce transportation impacts and reflect the local climate, light, history, and culture. Additionally, the following materials are encouraged:*
 - *Recycled materials or materials with a high-recycled content.*
 - *Concrete with at least 25% fly ash or slag.*
 - *Wood products certified CSA Sustainable Forest Management Standard or equivalent.*
 - *Interior finishes and installation methods with low toxic emissions.*
- *To the extent possible, buildings should be designed to reduce energy usage by incorporating standards such as solar ready and LEED.*
- *Opportunities for the inclusion of public art should be explored in public space, especially plazas and other public open space to enhance the overall open space network.*
 - *Opportunities to display Skwxwú7mesh art, language and culture in public space are especially encouraged.*

Building Form, Scale, and Massing

To encourage varied building forms and to avoid creation of a commercial strip image, the following guidelines respecting massing and scale shall apply:

- *Varied building forms will be encouraged.*
- *Large areas of blank wall are not acceptable on a face with a pedestrian or residential area orientation.*
- *Long, unbroken building lines and rooflines should be avoided.*
- *Wall lines should be off-set and modulated to create visual interest.*
- *Pitching, stepping down, and/or varying rooflines should be incorporated to vary height in the roofscapes of buildings.*
- *On sloped sites, building forms should step down with the natural grade of the site to avoid imposing masses on the downhill slopes.*
- *Where commercial development incorporates a residential or multi-unit use on upper floors, a graded transition in the building height is desired to ensure adjacent properties are not faced with a massive wall.*
- *Longer frontages of townhomes will articulate "clusters" of not more than three homes in order to avoid repetitive forms.*
- *Building form and character will create visual interest through the subtle articulation of massing, roof forms and changes in materials and colours.*

- *Street-facing units and units fronting a public space / green street should utilize a layering of elements – including but not limited to street-facing stairs, stoops, porches, patios, and landscaping to transition between private-use and the public realm:*
 - *ground floor units should be elevated between 0.5-1 metre above the street. If the ground floor is not elevated, other means of separation and/or buffering for privacy should be utilized.*
 - *gates, railings, walls and landscaping providing a buffer from the street and creating a clear distinction between the public and private realm shall be provided.*
 - *Landscape buffer elements should be 0.9-1.2 metres tall.*

Siting of Building and Structures

To maintain a strong street presence while also framing the interior open space (Village Green and Greenlane), the following guidelines respecting siting of buildings shall apply:

- *Buildings should be sited with the entrance to the buildings facing the public street and the internal open space (Village Green and/or Greenlane) to activate public spaces and signal access and priority for pedestrians.*
- *Buildings situated along the Village portion of the Greenlane are intended to represent a higher degree of formal design to help frame the Village Greenlane and signal a transition from the Lookout Park to the Village.*
- *Natural landscapes, including significant trees, should be incorporated into site development when feasible.*

Residential / Commercial Buffers

Effective transitions between commercial areas and adjacent residential properties can be achieved by:

- *Fencing, combined with a broad area of landscape plantings (tree, shrubs).*
- *Dense shrubbery or hedges capable of impeding travel through to adjacent properties, and which is not visually transparent to adjacent properties.*
- *Creating a transition zone to complement the scale of the development, not less than 3.0 metres in width.*
- *Minimizing the potential for overlook to neighbouring windows and private spaces.*
- *Careful positioning of lighting, parking, and access points to minimize impacts on adjacent properties.*

Amenity Space / Private Areas (for multi-unit residential buildings)

The location and size of outdoor spaces such as patios and balconies have a considerable effect on the sense of privacy. New residential buildings should be designed to provide privacy for each resident; through windows, private outdoor spaces or balconies, or through changes in grade or elevation as follows:

- *An outdoor living space/patio terrace of minimum 2.3 metres depth for townhouses and minimum size of 10 m² (110 ft²) is recommended.*
- *Where yards are accommodated, a minimum 5 metres depth and a minimum area of 30 m² (325 ft²) is recommended.*
- *Apartments should have a minimum 1.5 metres depth terrace or balcony, sufficiently large to create a usable outdoor "room". Balconies should be at least half enclosed in order to give the occupant privacy, security and weather protection.*
- *Changes in grade can provide for private areas between street edges and the development units.*

Pedestrian Environment

The design of Gospel Rock Village is intended to prioritize the pedestrian within the central open spaces whereby vehicle access is largely accommodated at the outer edge of the Neighbourhood. The following guidelines further define building design responses to support a pedestrian-friendly environment:

- *Buildings shall emphasize a human-scale and pedestrian orientation within the Neighbourhood by presenting 1-2-storey façade elements to engage pedestrian edges. Single storey elements are preferred. This may be achieved by:*
 - *well-marked building entrances*
 - *architectural features*
 - *an emphasis on the fenestration (the arrangement and positioning of windows)*
 - *weather protection through the use of awnings, arcades and canopies along commercial storefronts and building entries. Weather protection must be integral to the building form, and the materials and colors used should be consistent with the façade.*
- *Pedestrian facilities shall link to form an interconnected network of sidewalks and trails, linking individual buildings to semi-public and public open space and parks.*
- *Buildings and open spaces should be wheelchair accessible.*
- *To provide small commercial frontages, commercial retail bays should be no wider than 10 metres in order to create a fine-grained pattern of shops. A maximum spacing of 8 metres for entrances is desired along the key pedestrian-oriented high streets. A larger retailer may combine bays internally; however, the external bay articulation should be maintained.*
- *Commercial retail buildings shall be oriented towards, and shall meet the sidewalk at grade, and are encouraged to be built to the property line so that a continuous commercial street frontage and positive street definition are maintained.*
- *Commercial retail frontages should engage and enliven the pedestrian realm through visual access (maximized glazing) and by way of distinguished display materials, signage, and lighting.*

Landscaping

Landscaping of commercial and multi-family areas in the Gospel Rock Village is key to situating development within its landscape context. Site planning and landscaping contribute to neighbourhood character and aesthetics, livability, and environmental sustainability. Site planning should strive to minimize building coverage, preserve natural features and minimize rainwater run-off.

For all developments:

- *A detailed landscape plan shall be prepared by a BC Registered Landscape Architect.*
- *Trees, shrubs and ground covers should be drought tolerant, low maintenance varieties suitable to the local growing conditions and climate, and complimentary to the native dryland forest ecosystem.*
- *Native plant materials are preferred and shall include a mix of coniferous and deciduous species. Invasive species are prohibited.*
- *Landscape structures – such as of arbors, archways, or pergolas – are encouraged to transition between indoor and outdoors places. An encroachment permit may be supported for trellises encroaching up to 1.8 metres onto the sidewalk provided they are not less than 2.75 metres above the sidewalk and there is no conflict with street trees or streetscape elements, such as lighting and signage.*

- *The retention of natural tree stands is encouraged.*

Parking

Parking in the Gospel Rock Village DPA shall comply with the following guidelines:

- *Off-street parking shall be provided underground with the exception of a small number of short-term convenience surface parking stalls.*
- *Parkade entrances and associated components (such as doorways, ramps, etc.), whether accessed from the street or lane, should be architecturally integrated into the building so as to minimize its exposure.*
- *Where off-street parking is provided, it should not visually dominate a development. Parking areas should incorporate significant landscaped areas within the lot. No more than 10 parking stalls in a row should be allowed without a landscaping break.*
- *Where surface parking is required, provide pedestrian amenities (such as benches, shelters, alcoves, seating, walls, trellises and arbors) as a buffer between the sidewalk and the building or parking edge and pathways to the adjacent businesses.*
- *Electric Vehicle charging stations shall be provided.*
- *Low, dense screening of street fronting stalls is required. This can be achieved through the use of landscape materials or a combination of landscape features such as arbors or trellises which run the length of the parking area.*
- *Support service facilities and structures such as loading bays, refuse containers, storage areas, and utility services should be located and screened with walls, fencing, hedging, planting, other screening materials or a combination of these materials to minimize visibility from public areas.*

Signage

Signage in the Gospel Rock Neighbourhood DPA shall comply with the following guidelines:

- *All signs should be architecturally integrated within the overall design of buildings and landscape and may require modification of corporate or franchise design elements:*
 - *Freestanding signs should be restricted to a maximum height of 4.5 metres above grade.*
 - *Freestanding signs should reflect a West Coast character by using elements of wood and/or stone.*
- *Multi-unit buildings are encouraged to have an attractive, simple, single entry sign rather than multi-tenant signs which create a cluttered appearance.*
- *Changeable illuminated copy signs shall not be permitted.*
- *Internally illuminated (backlit box) signs shall not be permitted.*
- *External lighting for fascia and wall signs should be directed downward which may be achieved with the use of goose neck style lighting fixtures. An illumination design needs to ensure all wiring and conduits are concealed.*



Gospel Rock Village | Form & Character

The above illustration attempts to capture the intended outcomes of Development Permit Area (DPA) guidelines for form and character for Gospel Rock Village. Specifically, the above artistic rendering of the Village Green represents application of the following guidelines:

West Coast design elements are featured, including:

- 1 Emphasis of natural light through the significant glazing and orientation of buildings to views and/or other significant natural features.
- 2 Consideration of indoor/outdoor relationships and flexibility within open plan layouts.
- 3 The use of natural building materials and exposed timber (structural) features.
- 4 The use of natural colours with a variety of complementary colours used as accents to promote visual interest.
- 5 The use of a predominantly native plant palette and layered landscape transitions between public and private realms.

Additional guidelines represented include:

- 6 Effective transitions between commercial areas and adjacent residential properties.
- 7 Emphasize human-scale and pedestrian orientation by presenting 1-2-storey façade elements to engage pedestrian edges.
- 8 Pitching, stepping down, and/or varying rooflines should be incorporated to vary height in the roofscapes of buildings.
- 9 Native plant materials are preferred, and shall include a mix of coniferous and deciduous species. Invasive species are prohibited.
- 10 Small commercial frontages should be no wider than 10 metres in order to create a fine-grained pattern of shops.
- 11 Off-street parking shall be provided underground with the exception of a small number of short-term convenience surface parking stalls.



Town of Gibsons

MEMORANDUM

TO: Mayor and Council

FROM: Tracy Forster, Administrative Assistant II

DATE: September 27, 2019

SUBJECT: **Correspondence for the Week Ending September 27, 2019**

Please note: *Only correspondence indicated has been forwarded to staff. If you have any questions, or would like staff to follow up with items on the CRF, please contact Lindsey as items do not need to wait for a Council meeting to be actioned.*

1. Time Sensitive Material

- 2019-09-24 Maureen Matkin, Arrowhead Clubhouse Society re Mental Health Day Celebration - Oct 10, 130pm-3pm
- 2019-09-27 Sunshine Coast Tourism AGM & Board Nominations - Save the Date - Nov 13 4-630pm

2. Regular Correspondence (Including Emails)

- 2019-09-23 UBCM re Convention Day 1 - Money Laundering, Strong Fiscal Futures
- 2019-09-24 Coast Along Theatre Society re The Nutcracker Fundraising 2019
- 2019-09-24 UBCM Convention Day 2 - Cannabis Revenue Sharing, Rural Dividend Fund, Permanent Transit Funding
- 2019-09-25 BC School Trustees Association re September 2019 News and Highlights for a New School Year
- 2019-09-25 Safe Water Drinking Team re Questions About the Effects of Temperature
- 2019-09-25 UBCM Convention Day 3 - Resolution Decisions; Community Excellence Award Winners, Action on Short Term Rentals
- 2019-09-26 22(1) FOIPPA re Strategic Plan
- 2019-09-26 22(1) FOIPPA re Supportive Housing
- 2019-09-27 Office of the Seniors Advocate Research Rounds
- 2019-09-27 UBCM Convention Day 5 - Resolution Decisions



Town of Gibsons

MEMORANDUM

TO: Mayor and Council

FROM: Tracy Forster, Administrative Assistant II

DATE: October 7, 2019

SUBJECT: **Correspondence for the Week Ending October 7, 2019**

Please note: Only correspondence indicated has been forwarded to staff.
If you have any questions, or would like staff to follow up with items on the CRF,
please contact Lindsey as items do not need to wait for a Council meeting to be
actioned.

1. Time Sensitive Material

- 2019-10-07 Sunshine Coast Tourism Member News - Save the Date - AGM - Nov 13 4-630pm

2. Regular Correspondence (Including Emails)

- 2019-09-20 22(1) FOIPPA re Goosebird Creek
- 2019-09-27 22(1) FOIPPA - Minutes September 17, 2019 - Regular Council Meeting
- 2019-09-28 22(1) FOIPPA re Strategic Plan
- 2019-09-29 22(1) FOIPPA re GDEU
- 2019-09-30 Kirsten Rawkins re Thank You and Climate Friday Follow Up
- 2019-09-30 Olga Chnara re Art Crawl
- 2019-09-30 SCR D News Release re SCR D Annual Backroad Trash Bash a Success
- 2019-09-30 UBCM Convention Bulletin 6
- 2019-10-01 22(1) FOIPPA re Strategic Plan
- 2019-10-01 22(1) FOIPPA Supportive Housing - Housing First
- 2019-10-01 22(1) FOIPPA re Strategic Plan
- 2019-10-01 FCM Communique Rural Platform Highlights - Election 2019
- 2019-10-01 Isobel Mackenzie Statement from BC Seniors Advocate
- 2019-10-01 22(1) FOIPPA re Strategic Plan
- 2019-10-01 SCR D October Coast Current
- 2019-10-02 22(1) FOIPPA re Strategic Plan - Better Fields Initiative
- 2019-10-02 ICLEI Canada re Livable Cities Forum Conference Program
- 2019-10-02 Mayor Bill Beamish re Thank you Kirsten Rawkins for ToG Climate Act-In Initiative
- 2019-10-02 UBCM Convention Resolutions and Evaluation
- 2019-10-02 Vicki Dobbyn, Chair, Sunshine Coast Community Foundation re 2019 Vital Signs - Vital Brief
- 2019-10-03 Donna McMahon re Elphinstone News - September 2019
- 2019-10-03 FCM & ICELI - Achievement Award for Town of Gibsons - Milestone Four of Partners for Climate Protection Program

- 2019-10-05 Michael Darling re Aboriginal Information - Tribal Entities - Identity Theft Situation
- 2019-10-05 ^{22(1) FOIPPA} re Strategic Plan
- 2019-10-05 Tracey Saxby, Exec Dir, My Sea to Sky re Reviewable Projects Regulation
- 2019-10-07 Hon Katrine Conroy, Minister of Children & Family Development re Foster Family Month
- 2019-10-07 TBuck Suzuki Foundation - BC Coastal Community Survey

TOWN OF GIBSONS

Bylaw No. 1273, 2019

A Bylaw to permissively exempt certain properties from taxation

WHEREAS the Council of the Town of Gibsons deems it necessary and appropriate to permissively exempt certain properties from taxation;

AND WHEREAS section 224, sub-section 2 (a) (f) (h) & (j) of the *Community Charter* gives Council general authority for permissive exemption for land, improvements or both;

NOW THEREFORE the Council of the Town of Gibsons, in open meeting assembled, enacts as follows:

SECTION 1 GENERAL PROVISIONS

1.1 SHORT TITLE

This Bylaw may be cited as "Town of Gibsons 2020-2023 Permissive Property Tax Exemption Bylaw No. 1273, 2019".

1.2 PURPOSE

To permissively exempt from property taxation for the taxation years 2020, 2021, 2022, 2023, the properties listed in Schedule A.

1.3 BYLAW SCHEDULES

Attached as an integral part of the Bylaw is the following Schedule:

Schedule "A" 2020 - 2023 Permissive Property Tax Exemptions.

READ a First time this the 17th day of September, 2019

READ a Second time this the 1st day of October, 2019

READ a Third time this the 1st day of October, 2019

ADOPTED this the day of XXXX, 2019

William Beamish, Mayor

Lindsey Grist, Corporate Officer

SCHEDULE "A" TO BYLAW 1273, 2019
2020 - 2023 Permissive Property Tax Exemptions

Folio	PID	Legal Description	Civic Address	Name of Exempt Entity	Exemption
00007.000	011-557-044	Lot 8 Except Part in Plan BCP14063, DL 684, Group 1 New Westminster District Plan 4438	585 Shaw Road	Good Samaritan Canada	75% of total assessed value
00114.010	010-917-098	Lot 1, Block 4 of Blocks B & C, DL 685, Plan 6318	Legal not built.	Christ the King Community Church of Gibsons	100% of total assessed value
00114.015	010-917-110	Lot 2, Block 4 of Blocks B & C, DL 685, Plan 6318	599 Gower Point Road	Christ the King Community Church of Gibsons	100% of total assessed value
00349.000	010-914-528	Lot C, Block 22 to 27, DL 685, Plan 4856	473 Gower Point Road	Gibsons Community Building Society	100% of total assessed value
00587.000	013-116-215	Lot 9, Block 2, DL 686, Plan 3130	730 School Road	Pentecostal Assemblies of Canada	100% of total assessed value
00588.000	007-747-888	Lot 1 Except: Firstly; Part in Plan 18884 Secondly; Part Subdivided by Plan LMP41746, Block 2, DL 686, Group 1 New Westminster District Plan 14760	747 Gibsons Way	Gibsons (Pacific 109) Branch of the Royal Canadian Legion	100% of Class 8 assessment only
00588.010	024-500-381	Lot H, Block 2, DL 686, Group 1 New Westminster District Plan LMP 41746	Legal not built.	Gibsons (Pacific 109) Branch of the Royal Canadian Legion	100% of total assessed value
00680.000	008-899-045	Lot F, DL 686, Plan 3130	431 Marine Drive	Gibsons Public Art Gallery	100% of total assessed value
00681.000	008-906-777	Lot 1, Block G, DL 686, Plan 6486	Legal not built.	Gibsons Public Art Gallery	100% of total assessed value
00878.023	007-957-203	Lot S, DL 688, Plan 14025	731 North Road	Sunshine Coast Community Services Society	100% of total assessed value
00878.154	018-715-508	Lot D, Except Part in Plan LMP32480, DL, 688, Group 1 New Westminster District Plan LMP16164	659 North Road	The Parish of St. Aidan & St. Bartholomew, Gibsons	100% of total assessed value
00878.195	005-693-454	Strata Lot 1, DL 688, Strata Plan VR. 730, together with an interest in the common property in proportion to the unit entitlement of the Strata Lot as shown on Form 1.	840 Kiwanis Way	Sunshine Coast Kiwanis Village	100% of total assessed value
00881.000	003-266-273	Lot 2, DL 688, Plan 19127	805 North Road	The Trustees of the Gibsons Congregation of Jehovah's Witnesses	100% of total assessed value
00955.005	016-547-918	Lot 5, Block 6, DL 689, Plan 23014	711 Park Road	Calvary Baptist Church of Gibsons	100% of total assessed value
00959.001	023-748-982	Lot 1, Blocks 7 & 8, DL 689, Group 1 New Westminster District Plan LMP33000	956 Gibsons Way	Roman Catholic Archbishop of Vancouver	100% of total assessed value

