



Figure 1: Final Parkland Subdivision, showing proposed lots 37 and 38 requesting to be rezoned from R-3 to RCL

The purpose of this report is to obtain the Committee's recommendation to Council on the proposed Zoning Amendment to change the existing zone from Single-Family and Two-Family Residential Zone 3 (R-3) to Residential Cluster (RCL), and to obtain recommendations on the form and character of the proposed development in relation to Development Permit Area No. 8 (DPA 8).

SUMMARY

- The proposal consists of ten (10) buildings comprised of two three-unit townhouses, and eight four-unit townhouses. Five buildings (two three-unit and three four-unit) are on Lot 37, and five buildings (all four-unit) are on Lot 38. Renderings are shown in Figures 2 and 3.
- The proposal provides both two and three-bedroom dwelling units.
- Two buildings will be retained by the developer as rental buildings – one triplex and one fourplex.
- The Zoning Amendment proposes to change the zoning from the current R-3 zone to the RCL zone. This change is consistent with the Official Community Plan.
- The subject property falls under form and character Development Permit Area 8 (DPA 8) – Intensive Residential.

BACKGROUND

In 2009, the Reed Road Development began subdividing the Upper Gibsons properties to create the Parkland Subdivision. At that time, 15% of the green space was provided to the Town, well over the 5% required, as a community amenity contribution. The developer built the extensive trail network which now provides active transportation routes to shopping, medical centers, schools and recreation facilities.

Proposal

The final phase of the parkland subdivision is currently being registered to create 38 new lots. Most of the lots will remain in the R-3 zone to build out single family dwellings and/or duplexes, and proposed Lots 37 and 38 are planning cluster townhouses. These lots are adjacent to the trail network and tennis courts.

Proposed Lot 37 is approximately 4,520 m² (1.12 acres), and proposed Lot 38 is approximately 4,970 m² (1.23 acres). Both lots are vacant and part of Parkland's phase four subdivision in Upper Gibsons. The new lots will front the newly named and dedicated Celia Crescent, as shown in Figure 1 above. The property is currently zoned Single-Family and Two-Family Residential Zone 3 (R-3), which permits a single-family dwelling with a secondary suite, or a duplex with a secondary suite in each unit.

The proposal is to construct ten (10) buildings, comprised of two three-unit townhouses, and eight four-unit townhouses, creating 38 new dwelling units. On proposed Lot 37 there will be five buildings with a total of 18 units: two three-unit buildings and three four-unit buildings. On proposed Lot 38 there will be five four-unit buildings for a total of 20 units. The renderings, elevations, and site plans are shown below in Figures 2-7. Development plans are enclosed as Attachment A.

The proposal provides both two and three-bedroom dwelling units. The developer has indicated that these multi-family cluster designs are a more affordable option than single family homes that are currently under construction in Parkland phase 4.

As a community amenity contribution, the developer is offering to contribute \$124,000, which is

based on the Town's draft Community Amenity Contribution Policy. The offer letter is attached.

The applicant has applied to rezone to Cluster Residential (RCL) as per the intent of the OCP's Low Density Residential 2 land use designation and a Development Permit under DPA 8.

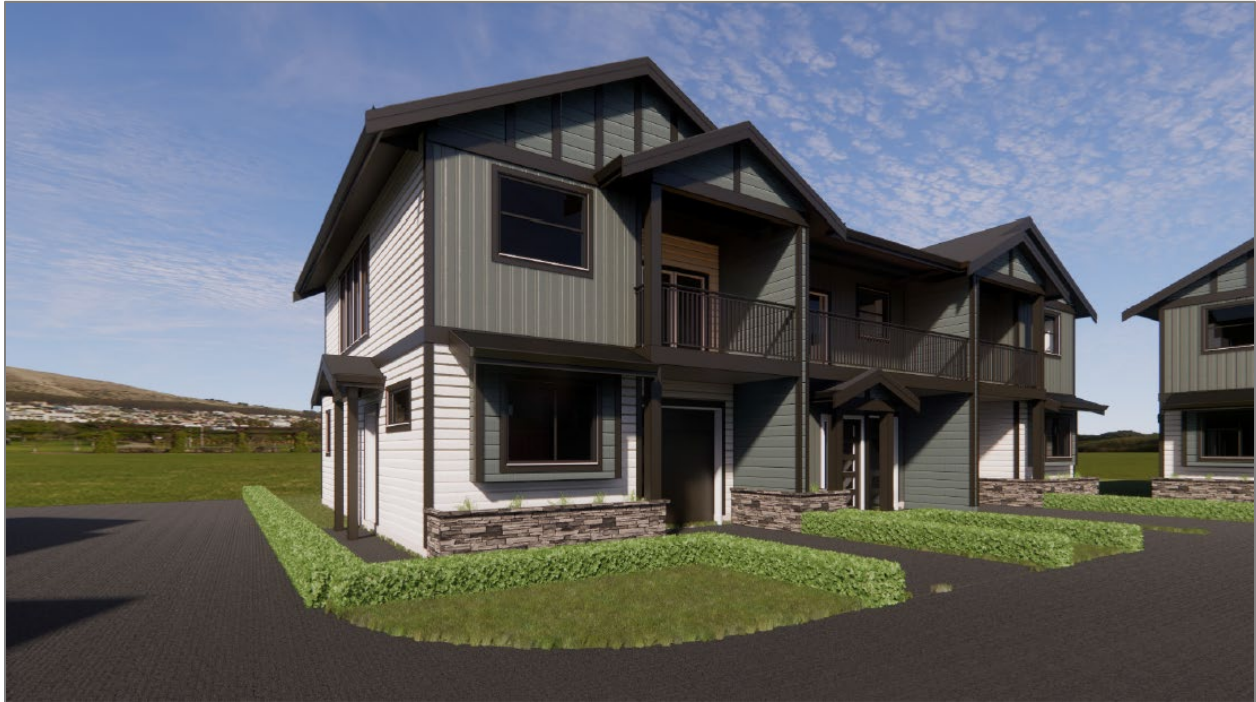


Figure 2: Rendering of 3-unit building on Lot 37



Figure 3: Rendering of 4-unit building on Lot 38



Figure 4: Front elevation of 3-unit building



Figure 5: Front elevation of 4-unit building



Figure 6: Proposed Lot 37 Site Plan showing two three-unit townhouses and three four-unit townhouses

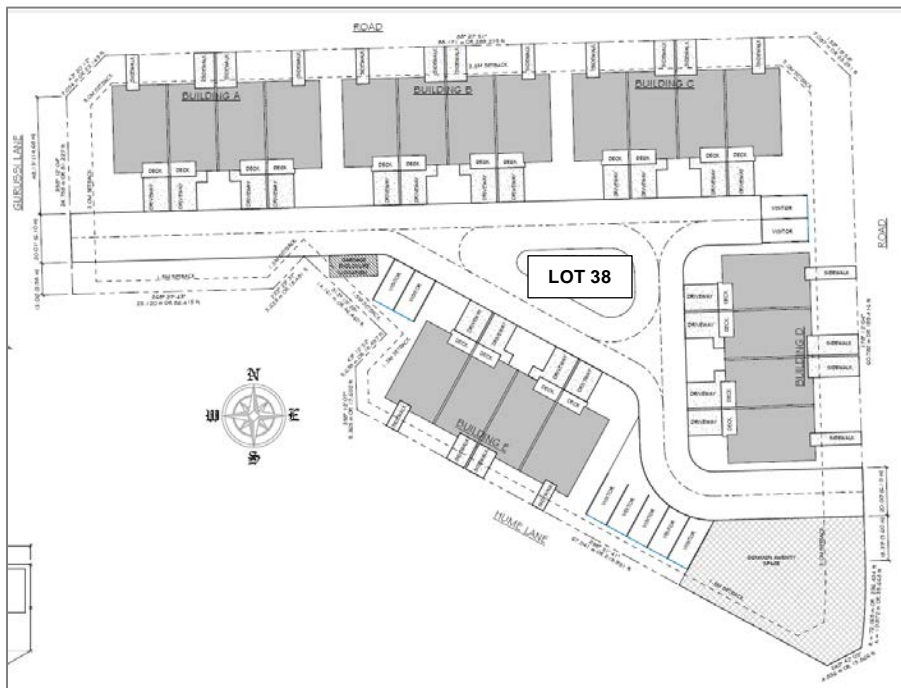


Figure 7: Proposed Lot 38 Site Plan showing five four-unit townhouses

Surrounding Uses

Table 1 summarizes the existing land uses, zoning and OCP Land Use designations for the immediate surrounding area.

Table 1: Surrounding Existing Uses, Zoning, and OCP designations

	Existing Land Use	Existing Zoning	OCP Land Use Designation
Subject Property	vacant	Single-Family and Two-Family Residential 3 (R-3)	Low Density Residential 2
North	vacant	Single-Family and Two-Family Residential 3 (R-3)	Low Density Residential 2
South	Cluster single-family dwellings	Small Lot Cottage Residential (RC)	Low Density Residential 2 /Park
East	Strip of park, and single-family dwellings	Single-Family and Two-Family Residential 3 (R-3)	Low Density Residential 2 /Park
West	vacant	Single-Family and Two-Family Residential 3 (R-3)	Low Density Residential 2 /Detached Residential

DISCUSSION

Official Community Plan

Official Community Plan (OCP) land use designations, as mapped in the Land Use Plan (Schedule B of the OCP), provide the community vision for future land uses in the Town.



Figure 8: OCP Land Use Designation map

The properties are located within the Upper Gibsons Neighbourhood Plan Area, and are designated Low Density Residential 2. The intent of this designation is:

To permit small lot single-detached dwellings, duplexes, cluster housing, townhouses, and multi-unit housing in a single-detached building form with a FSR of 0.75 to a maximum FSR of 0.9 (generally 25 to 40 units per hectare).

Figure 8 shows a map with the OCP designations for the subject lot and surrounding properties.

This land use designation provides flexibility in the design and siting of cluster residential housing types. Further to this, the OCP elaborates on the Low Density Residential land use designation: “Given the predominance of detached family dwellings in Gibsons, there is a need to provide a range of other housing choices. Other low density forms of housing include small lot single-detached, cluster single detached, townhouses, multi-unit development in a single-detached form, granny cottages and suites over garages. All of these may provide compatible forms housing in new or existing neighbourhoods.”

Policy 9.2.4 states:

9.2.4 Encourage a range of ground oriented housing opportunities in areas designated Low Density Residential (Schedule B). Residential development in these areas may include small lot single-detached houses, semi-detached houses, duplexes, cluster housing, townhouses, fee-simple row housing, multi-unit development in a single-detached form, garden suites.

The Upper Gibsons Neighbourhood Plan (UGNP) looks to develop the area using Smart Growth principals. The land use objectives of the neighbourhood plan are outlined in Section 5.1 and listed as follows:

- Promote smart growth principles with all types of development.
- Promote a variety of housing types and forms including housing attainable to people of various ages, occupations, and lifestyles.
- Promote neighbourhood design schemes that impart a sense of community to the area.
- Encourage low impact residential development that combines open space, parks, habitat, and pedestrian circulation into a working whole.
- Promote a walkable and bikeable community at all scales of development.
- Provide buildable land for more than 500 residential units.
- Provide access to commercial, recreational, governmental, and educational services.
- Provide a vehicular circulation system that facilitates traffic flow and improves safety for both vehicles and pedestrians.
- Provide a pedestrian circulation system that utilizes both open space and streets and links residential areas to commercial, institutional, and recreational services.
- Provide a scheme for managing storm water that reduces peak discharges to local streams without relying on conventional structural controls.
- Promote high quality building design, energy conservation, and integration of building and landscape design concepts.
- Encourage creative and cost effective solutions to residential design that utilize performance concepts in development.

- Promote an approach to the planning, design and development of the Upper Gibsons Neighbourhood Area Plan that utilizes a comprehensive planning area framework.

The Housing Objectives are listed in Section 5.2 of the UGNP and listed as follows:

- Provide a range of housing types to meet the needs of a diverse small-town market.
- Provide an alternative to traditional subdivision housing while responding to the market need for more conventional housing.
- Encourage design themes and scales reminiscent of small-town character.
- Promote clustering of residential units within and among lots.
- Provide a reasonable range of flexibility to developers in terms of house styles, sizes, and motifs.
- Provide attractive small-town architecture, landscape design, and environmental settings.
- Provide energy-efficient buildings not only in forms of materials and heating and cooling systems, but in terms of building design, orientation, and landscaping.
- Provide pedestrian linkage to parks, schools, and other services.
- Promote site and building designs that respect seasonally wet site conditions.
- Provide adequate on-site space to exercise stormwater source control options.
- Provide lot and neighbourhood designs free of barriers to fire protection.

All zoning amendments must be consistent with the OCP. The proposed development is 40 units per hectare, provides multi-unit housing in a single-detached building form, in the form of cluster housing with 3- and 4-unit townhouses. Staff considers the proposal is consistent with the designation's intent, and with the land use and housing objectives in the UGNP.

Form and Character Development Permit

The subject properties are in a form and character Development Permit Area for Intensive Residential development (DPA 8). The developer will be required to obtain a Development Permit prior to obtaining a Building Permit. DPA 8 is for Intensive Residential development, which includes "Cluster Development", "Small Lot Development" and "Garden Suites".

This proposal is a cluster development as it is for construction of residential development in areas where the Zoning Bylaw (in the RCL zone and possible future other zones) allows for multiple dwelling units in a single detached form on larger lots (typically 1000 m² and up).

The objective of this Development Permit Area designation is to:

- Ensure that intensive residential development fits with the character of the Town and its neighbourhoods; and
- Provide for high quality, liveable forms of housing and provide residents with high quality affordable housing options.

Attachment C evaluates the proposal against DPA 8 guidelines. Staff considers the proposal to sufficiently align with the intent of the DPA 8 guidelines. Any additional recommendations of the Committee will be shared with Council to inform its decision on issuance of the Form and

Character Development Permit and zoning amendment. The Committee may consider the form and character recommendation from the Advisory Design Panel, which met on August 25, 2021:

AND THAT the Advisory Design Panel suggest the following changes prior to issuance of DP-2021-15:

1. *reduce massing of roof – could use skylights;*
2. *mute the visual party walls – use a different level of filigree (such as a softer wood panel) to make the building look more cohesive;*
3. *colour might help to differentiate the units; and,*
4. *change landscaping towards side doors to improve pedestrian access and circulation, such as use of trellises.*

The form and character Development Permit cannot be issued until the zoning is adopted, therefore staff are seeking preliminary comments from the Committee on the development permit.

Zoning Amendment

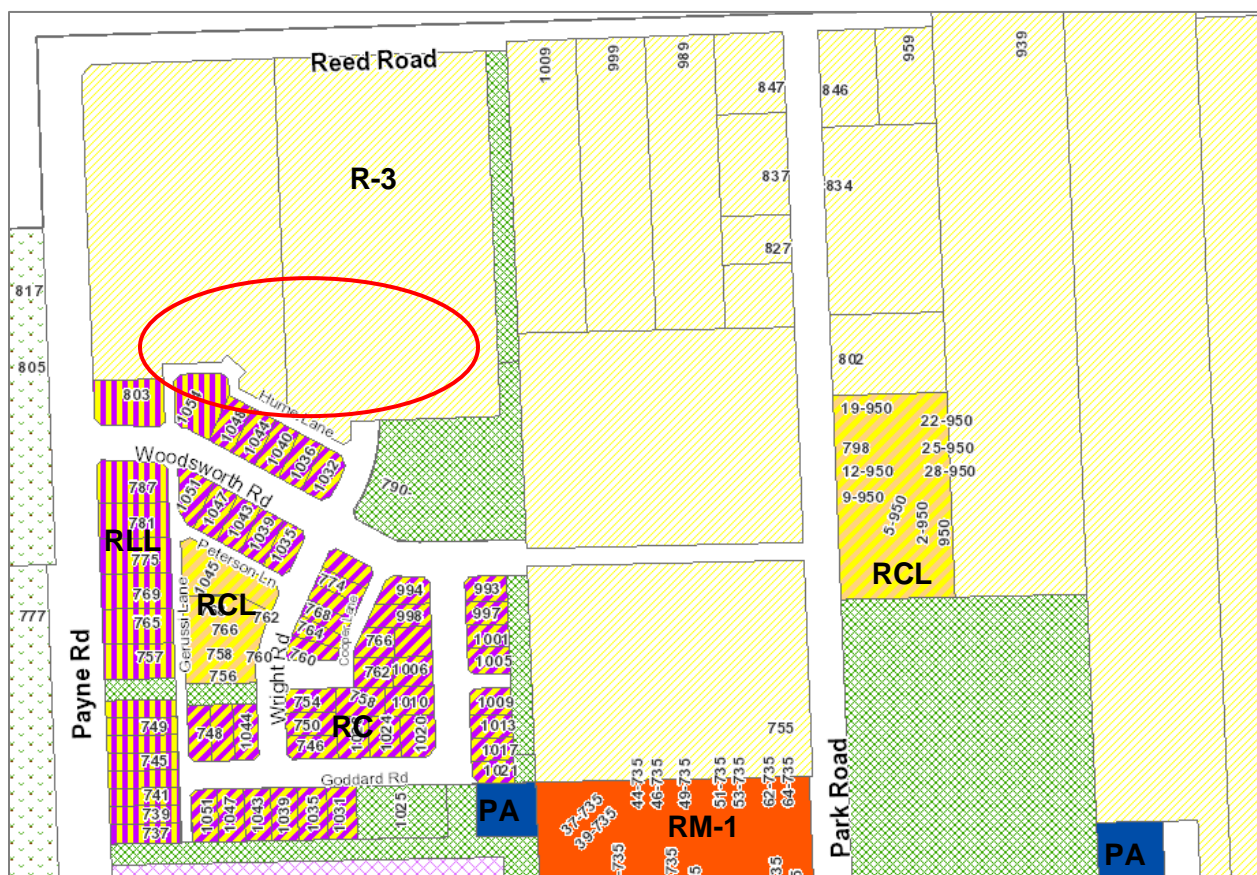


Figure 9: Existing Zoning map

The Zoning Amendment application proposes rezoning the two proposed lots from Single-Family and Two-Family Residential Zone 3 (R-3) to Residential Cluster (RCL). Draft Bylaw

1065-63 is enclosed as Attachment D. The intent of the RCL zone is to provide for a variety of building forms having single-family character and density between ten and forty units per hectare on lots not smaller than 1000 m².

The RCL zone allows for several building forms, including, single-family dwelling, duplexes, apartment buildings and townhouses. Staff have reviewed the application with the proposed zoning, as shown in Tables 2 and 3, and find that the proposal conforms to the RCL zone, apart from Section 9.79 (4) which states the following:

Principal Buildings: the maximum net floor area of the second floor is 80% of the net floor area of the first floor.

Staff note that the second storey 80% net floor area requirement is not met, due to the garage being excluded from the floor area calculation on the ground floor; however, if calculated by building floor area, this condition is met. Given that this regulation has created difficulty with all development proposals that use this zone, and that it is intended to regulate building form, staff recommend removing it. Form and Character development permits are already in place which provides the ability to regulate form on a case-by-case basis. See previous report on this agenda for detailed rationale for removing this provision in the zoning bylaw.

Table 2: Zoning review for development on Lot 38

Lot 38	RCL Zone	PROPOSED	MET?
FRONT SETBACK (East - Gerussi Lane)	3-5 m	> 3 m	Yes
REAR SETBACK (West - Wright Road)	5 m	> 5 m	Yes
EXTERIOR SIDE SETBACK (North - Celia Crescent)	3.5 m	3.5 m	Yes
INTERIOR SIDE SETBACK (South – Hume Lane)	1.5m	1.5 m	Yes
MASSING	Upper storey limited to 80% of net floor area of first storey	2 nd storey 100%	*No
HEIGHT	8 m	7.22 m	Yes
LOT COVERAGE	50%		
DENSITY	Min: 10 units/ hectare (4) Max: 45 units/hectare (22)	20	Yes
PARKING	Townhouse 1 space /unit (20) Visitor: 15% (3) Total: 23 spaces required	40 + 9 visitor	Yes

Table 3: Zoning review for development on Lot 37

Lot 37	RCL Zone	PROPOSED	MET?
FRONT SETBACK (East - Gerussi Lane)	3-5 m	> 3 m	Yes
REAR SETBACK (West - Wright Road)	5 m	> 5 m	Yes
EXTERIOR SIDE SETBACK (North - Celia Crescent)	3.5 m	3.5 m	Yes
INTERIOR SIDE SETBACK (South – Hume Lane)	1.5m	1.5 m	Yes
MASSING	Upper storey limited to 80% of net floor area of first storey	2 nd storey 100%	*No
HEIGHT	8 m	7.23 m	Yes
LOT COVERAGE	50%		
DENSITY	Min: 10 units/ hectare (4) Max: 45 units/hectare (20)	18	Yes
PARKING	Townhouse 1 space /unit (18) Visitor: 15% (3) Total: 21 spaces required	36 + 6	Yes

REFERRAL COMMENTS

Applications were referred to the following agencies on August 16th. The following comments were received:

Referral Agency	Comment
Skwxwú7mesh Úxwumixw (Squamish Nation)	No comments received
Advisory Design Panel	<p>THAT the Advisory Design Panel supports the proposed Zoning Amendment Bylaw No. 1065-63, 2021 as proposed;</p> <p>AND THAT the Advisory Design Panel suggest the following changes prior to issuance of DP-2021-15:</p> <ol style="list-style-type: none"> 1. reduce massing of roof – could use skylights; 2. mute the visual party walls – use a different level of filigree (such as a softer wood panel) to make the building look more cohesive; 3. colour might help to differentiate the units; and, 4. change landscaping towards side doors to improve pedestrian access and circulation, such as use of trellises.

Gibsons and District Volunteer Fire Department	Fire Code requirements to be met at time of Building Permit issuance.
Ministry of Transportation and Infrastructure	Preliminary Approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the <i>Transportation Act</i> .
Vancouver Coastal Health	No concerns
Town of Gibsons Finance Department	The change in zoning to enable increased density will result in an overall increase of taxable residential assessment value. Increased assessment value based taxes, as well as parcel taxes and utility user fees will be applied accordingly. In addition, the Town will benefit from any corresponding in-kind or financial Affordable Housing and/or Community Amenity contributions resulting from the rezoning and any future development of this property.
Town of Gibsons Infrastructure Services Department	Request driveway locations in relation to the approved civil design drawings.
Town of Gibsons Building Department	No concerns

COMMUNICATION

In accordance with the Local Government Act and the Town’s Development Application Procedures Bylaw 1166, the following have been completed to notify neighbours and the public of development applications:

- A sign notifying the public of the Zoning Amendment application was posted by the applicant on the site
- Details of the Zoning Amendment and Development Permit applications and proposal have been shared for public viewing on the Town’s website. This will be updated with staff reports and referral comments as they are received.

In addition, a Zoning Amendment must undertake public consultation as legislated by the Local Government Act. This includes notice to neighbouring properties within 100 m, notice in two consecutive newspapers and a statutory Public Hearing.

POLICY / PLAN IMPLICATIONS

Housing Needs

The Housing Needs Assessment Report identified the need for affordable housing, rental housing, special needs housing, housing for seniors, housing for families, and supports for individuals experiencing homelessness and housing insecurity. Staff considers this proposal would increase both the housing availability with added units, and the rental housing with the

proposed seven rental units. The two- and three-bedroom units could provide housing for seniors and families.

Strategic Plan Implications

This development would increase the housing stock with 38 new dwelling units, seven of which would be rental units. Therefore, staff considers this application aligns with Council's strategic priority to facilitate a range of housing types.

Financial Plan Implications

Development Cost Charges would be collected for the development and the additional 38 units would increase the property tax base in the Town.

NEXT STEPS

A Zoning Amendment must undertake public consultation as legislated by the Local Government Act. This includes notice to neighbouring properties within 100m, notice in two consecutive newspapers and a statutory Public Hearing.

Staff recommend that the Bylaw to be given first and second readings and that a virtual Public Hearing be scheduled for September 21, 2021, beginning at 6:00 pm.

Staff note that the form and character development permit can only be issued following the adoption of zoning amendment 1065-63.

RECOMMENDATIONS / ALTERNATIVES

Recommendations are listed on page one of this report. Alternatively, Council may request changes to the proposed bylaw amendment and/or form and character development permit application.

Attachments

- Attachment A – Development Proposal Drawings & CAC Letter
- Attachment B – Landscape Plans
- Attachment C – Form and Character DP application evaluation
- Attachment D – Draft Bylaw 1065-63

Respectfully Submitted,



Lesley-Anne Staats, MCIP, RPP
Director of Planning

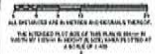
CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I have reviewed the report and support the recommendation(s).



Mark Brown
Chief Administrative Officer

SUBDIVISION PLAN OF:
REMAINDER OF LOT 31 EXCEPT PLANS BCP41771, BCP46718 AND EPP74987; AND
REMAINDER OF LOT 32 EXCEPT PLANS BCP41771, BCP46718, EPP68897 AND EPP74987;
BOTH OF BLOCKS 1 TO 4 DISTRICT LOT 689 GROUP 1 NWD PLAN 17211
TOWN OF OSOSNO
BC03 920.043



- LEGEND**
- EXISTING STRENGTH FOUR FOOT PLAZA
 - EXISTING STRENGTH FOUR FOOT PLAZA
 - EXISTING STRENGTH FOUR FOOT PLAZA
 - EXISTING STRENGTH FOUR FOOT PLAZA

THIS PLAN SHOWS THE PROPOSED SUBDIVISION OF THE REMAINDER OF LOT 31 AND THE REMAINDER OF LOT 32 EXCEPT PLANS BCP41771, BCP46718, EPP68897 AND EPP74987. THE PROPOSED SUBDIVISION IS SUBJECT TO THE JURISDICTION OF THE TOWN OF OSOSNO AND THE DISTRICT OF COLUMBIA. THE PROPOSED SUBDIVISION IS SUBJECT TO THE JURISDICTION OF THE DISTRICT OF COLUMBIA.

SECTION	AREA	PERCENTAGE
1	1.00	100%
2	1.00	100%
3	1.00	100%
4	1.00	100%

NOTE: FOR RECORD PURPOSES ONLY.



bennett
LAND SURVEYOR
1000 11th St NW
Washington, DC 20004
TEL: 202-331-1111
FAX: 202-331-1112
PLAN 17211 (2013) REVISION 1 FOR 10/18/2013

THIS PLAN IS APPROVED BY THE DISTRICT OF COLUMBIA DEPARTMENT OF GENERAL SERVICES, DIVISION OF LAND MANAGEMENT, ON 10/18/2013. THE DISTRICT OF COLUMBIA DEPARTMENT OF GENERAL SERVICES, DIVISION OF LAND MANAGEMENT, IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS PLAN. THE DISTRICT OF COLUMBIA DEPARTMENT OF GENERAL SERVICES, DIVISION OF LAND MANAGEMENT, IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS PLAN.

LEGAL DESCRIPTION

LOT 379

CIVIC ADDRESS

LOT 379 - HUME LANE, GIBSONS, B.C.

SITE RECONCILIATION

SITE AREA: 0.452 ha OR 4,520.269 sqm. OR 48,655.768 sqft.

ZONING: RCL

DENSITY CALCULATIONS:

45 UNITS PER HECTARE
45 X 0.452 = 20.34
MAX DENSITY = 20 UNITS
PROPOSED DENSITY = 18 UNITS

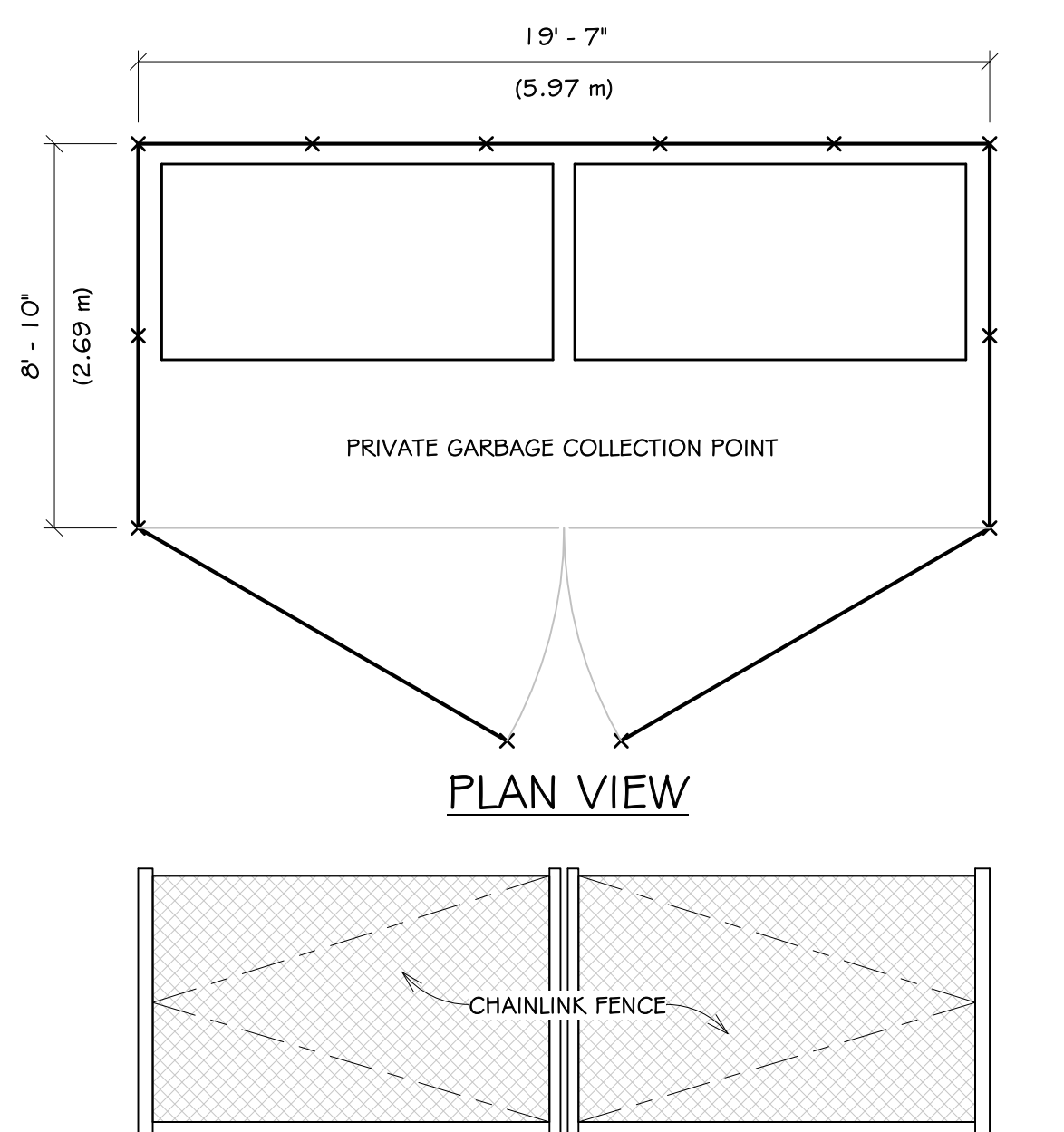
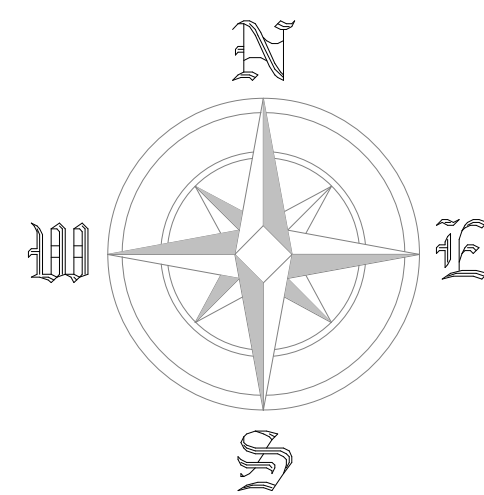
PARKING CALCULATIONS

REQUIRES:
TOWNHOUSE DEVELOPMENT REQUIRES 1 STALLS PER UNIT
18 UNITS X 1 = 18 STALLS
PROVIDED:
2 STALLS PER DWELLING UNIT
18 STALLS X 2 STALLS PER = 36 STALLS
1 STALL IN GARAGE
1 STALL IN DRIVEWAY

VISITOR PARKING STALLS REQUIRED = 15% OF REQUIRED STALLS
VISITOR PARKING STALLS PROVIDED = 6 STALLS

COMMON AMENITY SPACE:
PROVIDED: 255 sqm. OR 2,745 sqft.

BUILDING IS SPRINKLERED

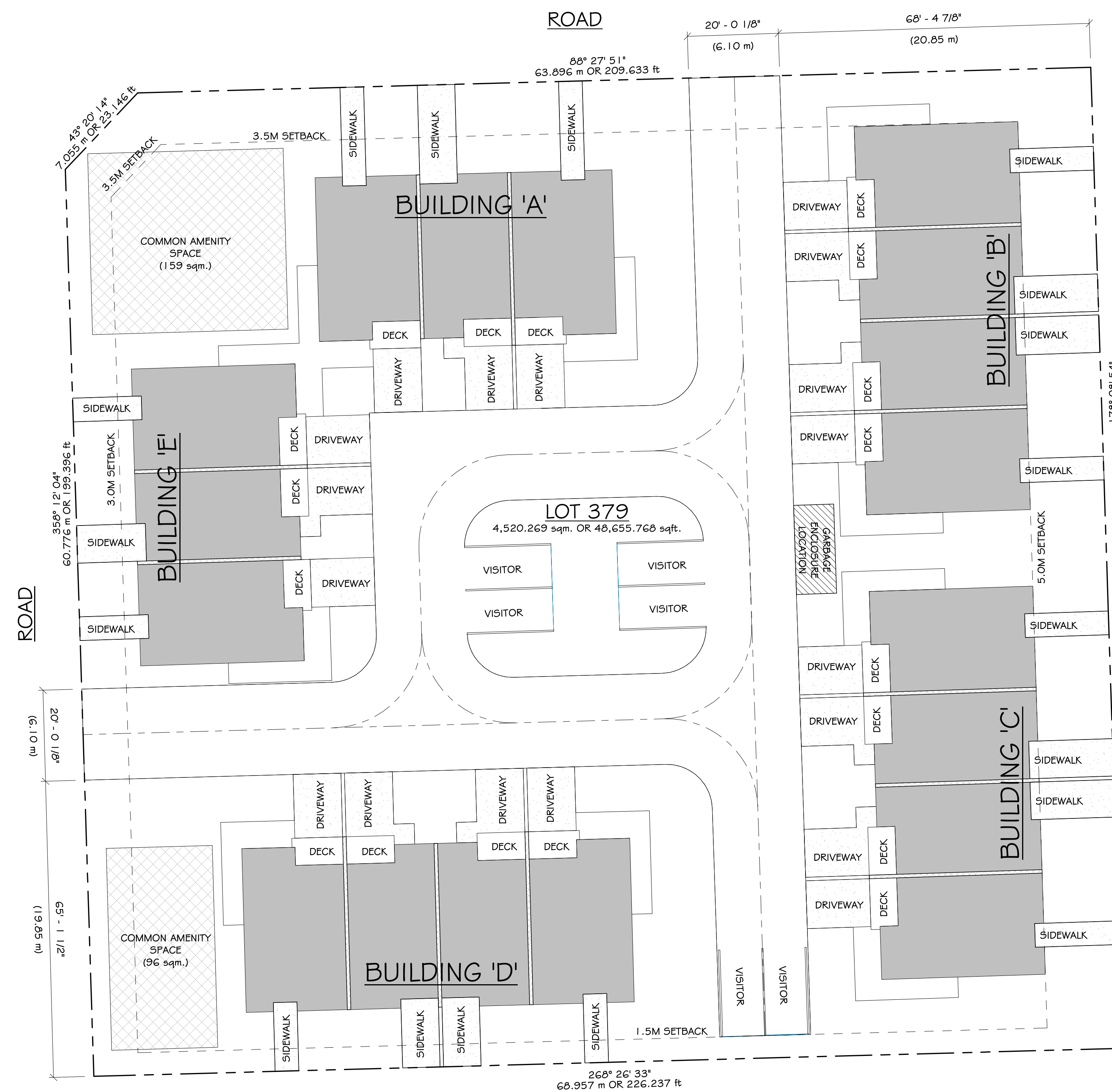


FRONT VIEW

SIDE VIEW

GARBAGE ENCLOSURE

SCALE: 1/4" = 1'-0"



NOTE:
ALL STRUCTURE TO BE SPECIFIED
BY STRUCTURAL ENGINEER

NOTE:
ALL RETAINING TO BE SPECIFIED
BY GEOTECHNICAL ENGINEER

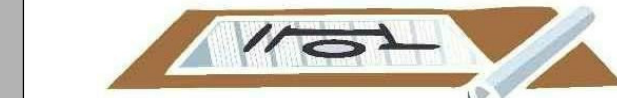
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ALL CHANGES & REVISIONS
TO ARCHITECTURAL & STRUCTURAL COMPONENTS
MUST BE REVIEWED BY JCR DESIGN.

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NO.	REVISION/ISSUE	DATE
1	ISSUED FOR REVIEW	02-03-2020
2	ISSUED FOR REVIEW	14-01-2021
3	ISSUED FOR REVIEW	28-04-2021
4	ISSUED FOR REVIEW	17-07-2021

512-45715 HOCKING AVE.
CHILLIWACK, B.C. V2P 6Z6
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EMAIL: INFO@JCRDESIGN.CA

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PROJECT NAME AND ADDRESS:

TOWNHOUSE COMPLEX

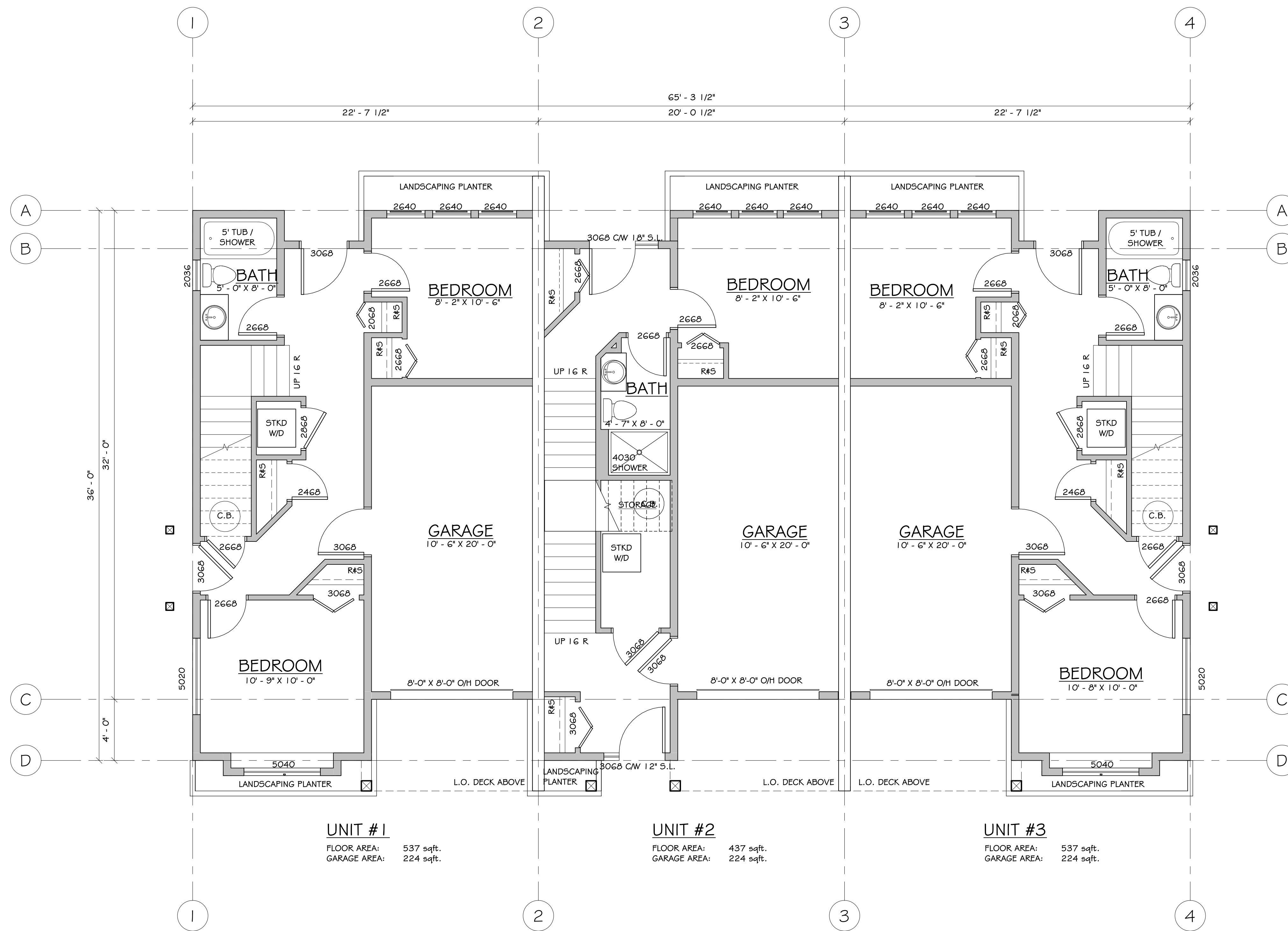
LOT 379 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:

SITE PLAN & NOTES

DRAWN:	A.H.	SHEET:
PROJECT #:	19437	
CHECKED:	J.C.R.	
DATE:	17 JULY, 2021	
SCALE:	1/8" = 1'-0"	

A1.1



UNIT #1
FLOOR AREA: 537 sqft.
GARAGE AREA: 224 sqft.

UNIT #2
FLOOR AREA: 437 sqft.
GARAGE AREA: 224 sqft.

UNIT #3
FLOOR AREA: 537 sqft.
GARAGE AREA: 224 sqft.

MAIN FLOOR PLAN

TOTAL MAIN GROSS FLOOR AREA: 2,183 sqft.
TOTAL SECOND GROSS FLOOR AREA: 1,743 sqft.
 $\frac{1,736}{2,183} = 79.54\%$ MAX ALLOWABLE = 80% NET FLOOR AREA
ZONING RCL: SECTION 9.79 (4) 'PRINCIPAL BUILDINGS: THE MAXIMUM NET FLOOR AREA OF THE SECOND FLOOR IS 80% OF THE NET FLOOR AREA OF THE FIRST FLOOR'

TYPICAL WINDOW NOTES:

- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 30' OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
- INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
- DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

TYPICAL NOTES:

- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
- ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
- ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
- ALL HAND RAILS AS PER B.C.B.C. 9.8.7
- ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
- ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
- ATTIC HATCHES TO BE WEATHERSTRIPPED

JCR DESIGN LTD

NO.	REVISION/ISSUE	DATE
1	ISSUED FOR REVIEW	21-01-2021
2	ISSUED FOR REVIEW	28-04-2021
3	ISSUED FOR REVIEW	17-07-2021

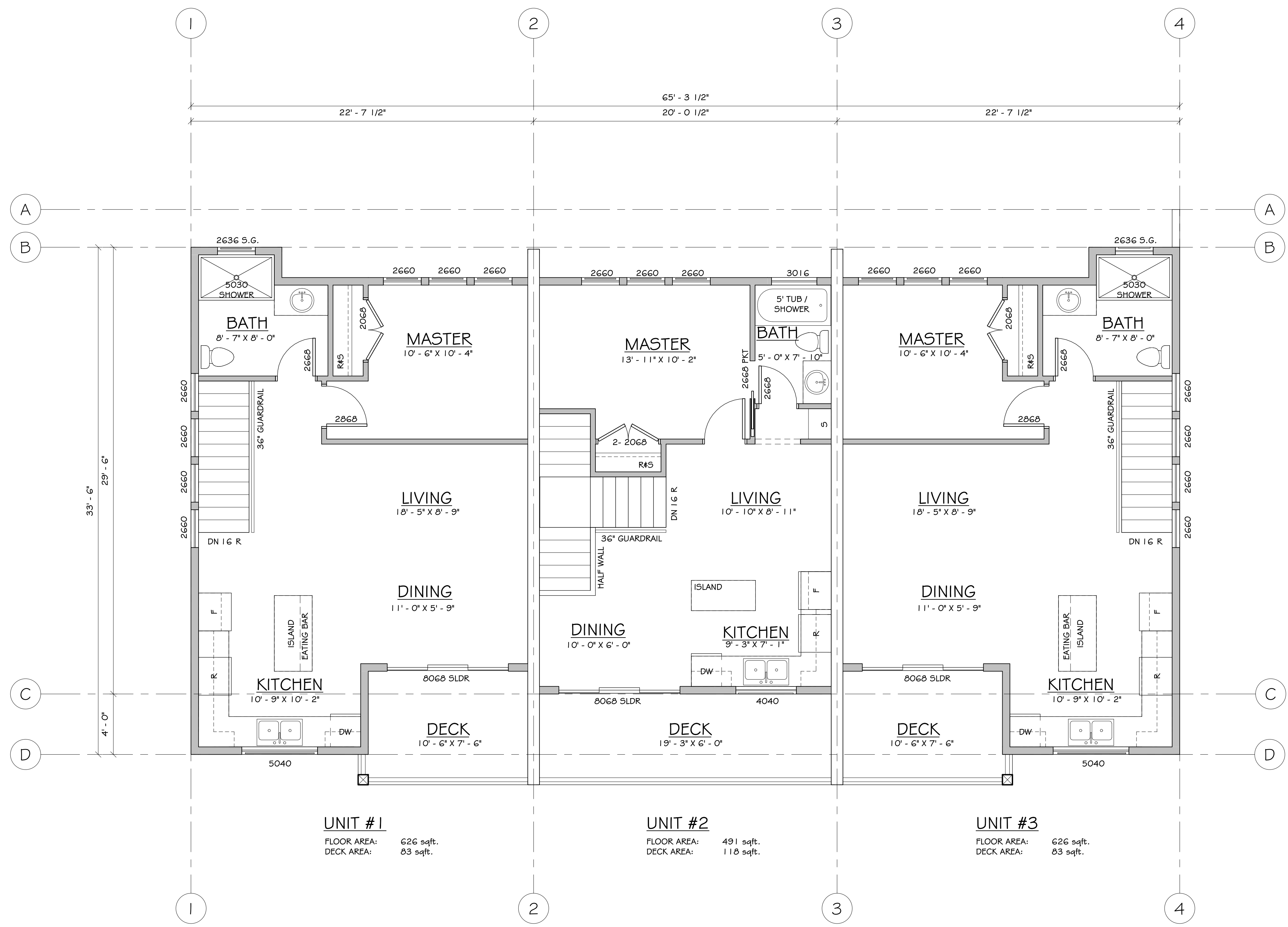
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PROJECT NAME AND ADDRESS:
TOWNHOUSE COMPLEX
LOT 379 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:
MAIN FLOOR PLAN

DRAWN:	AH	SHEET:
PROJECT #:	19437	A2.2
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	



UPPER FLOOR PLAN

UNIT #1
FLOOR AREA: 626 sqft.
DECK AREA: 83 sqft.

UNIT #2
FLOOR AREA: 491 sqft.
DECK AREA: 118 sqft.

UNIT #3
FLOOR AREA: 626 sqft.
DECK AREA: 83 sqft.

TOTAL MAIN GROSS FLOOR AREA: 2,183 sqft.
TOTAL SECOND GROSS FLOOR AREA: 1,743 sqft.
 $\frac{1,736}{2,183} = 79.54\%$ MAX ALLOWABLE = 80% NET FLOOR AREA
ZONING RCL: SECTION 9.79 (4) *PRINCIPAL BUILDINGS: THE MAXIMUM NET FLOOR AREA OF THE SECOND FLOOR IS 80% OF THE NET FLOOR AREA OF THE FIRST FLOOR*

- TYPICAL WINDOW NOTES:**
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- TYPICAL NOTES:**
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 - ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
 - ALL HAND RAILS AS PER B.C.B.C. 9.8.7
 - ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
 - ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
 - ATTIC HATCHES TO BE WEATHERSTRIPPED

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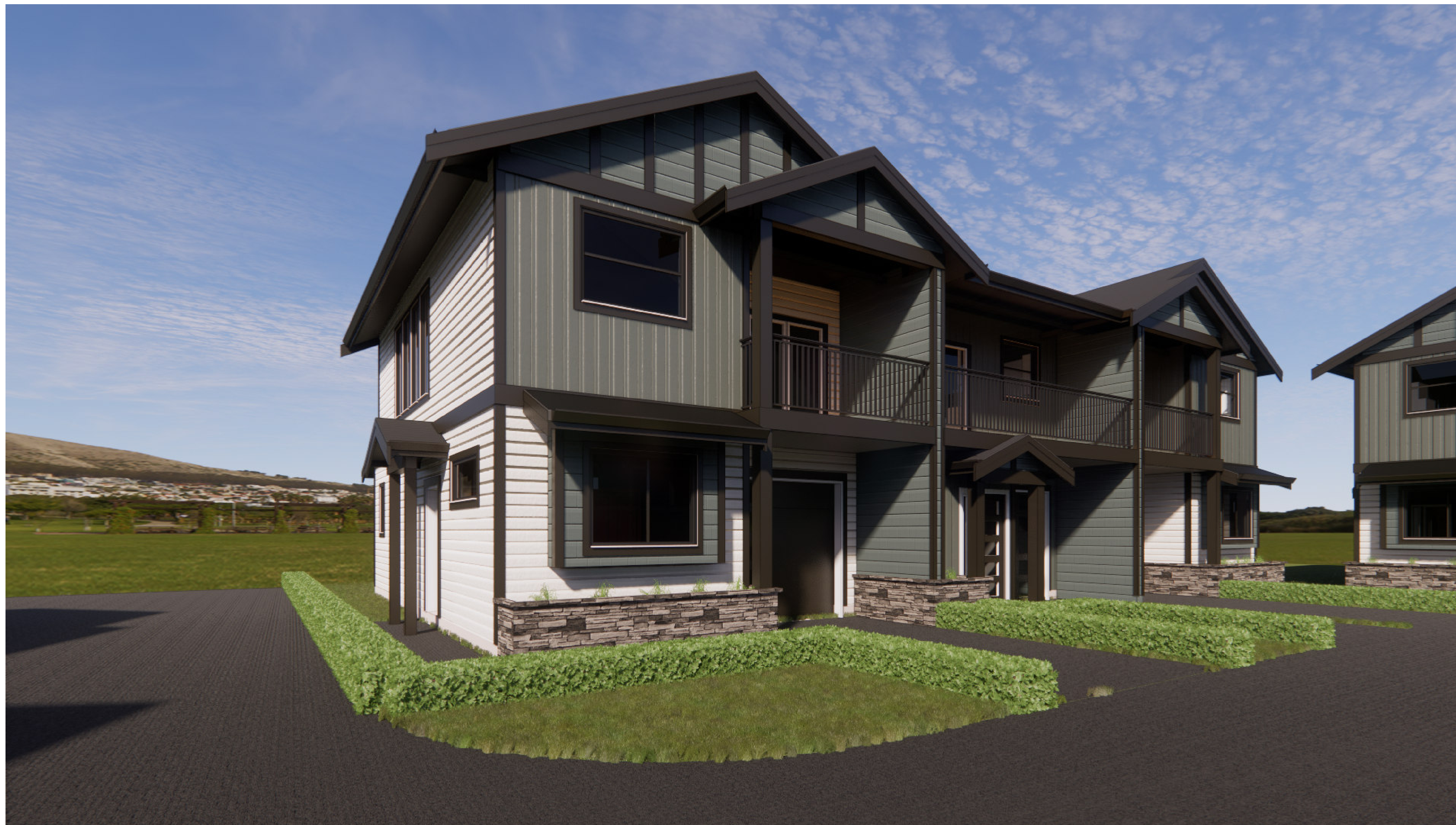
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1	ISSUED FOR REVIEW	21-01-2021
2	ISSUED FOR REVIEW	28-04-2021
3	ISSUED FOR REVIEW	17-07-2021

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CHILLIWACK, B.C. V2P 6Z6
PHONE: 604-858-0031
EMAIL: INFO@JCRDESIGN.CA
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PROJECT NAME AND ADDRESS:
TOWNHOUSE COMPLEX
LOT 379 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:
UPPER FLOOR PLAN

DRAWN:	AH	SHEET:
PROJECT #:	19437	A2.3
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	



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NO.	REVISION/ISSUE	DATE
3	ISSUED FOR REVIEW	17-07-2021

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PROJECT NAME AND ADDRESS:

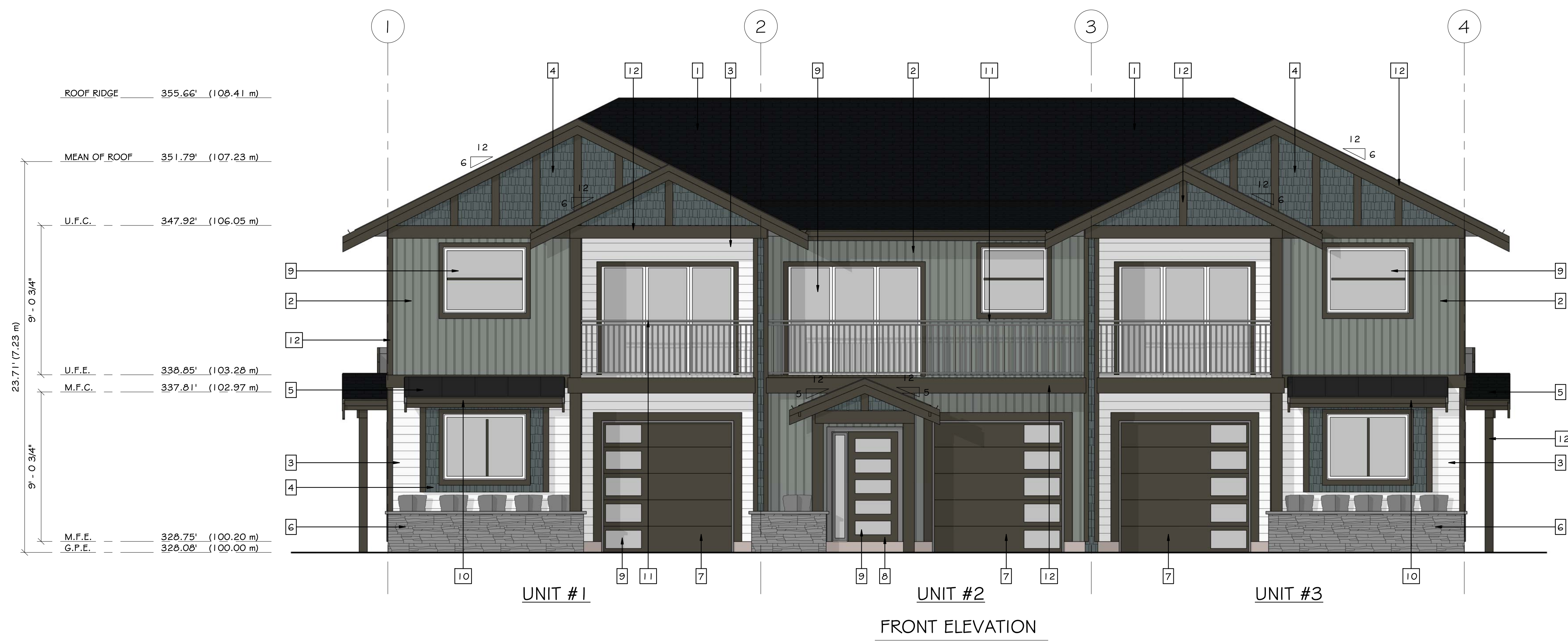
TOWNHOUSE COMPLEX

LOT 379 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:

PERSPECTIVE

DRAWN:	AH	SHEET:
PROJECT #:	19437	A3.0
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	N.T.S.	



TYPICAL WINDOW NOTES:

- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 3'0" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
- INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
- DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

TYPICAL NOTES:

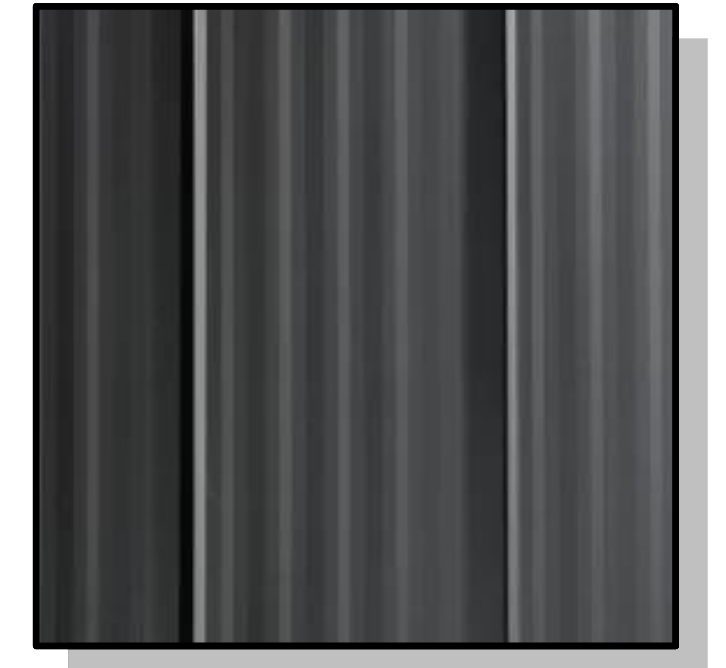
- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
- ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
- ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
- ALL HAND RAILS AS PER B.C.B.C. 9.8.7
- ALL GUARDRAILS AS PER B.C.B.C.9.8.7
- ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
- ATTIC HATCHES TO BE WEATHERSTRIPPED



ASPHALT SHINGLES - BLACK HARDIE BOARD & BATTEN - CHESAPEAKE GRAY HARDIE BOARD HORIZONTAL - SNOW WHITE HARIDE SHAKE - MIDNIGHT SURF BLUE

MATERIAL LEGEND

1 ASPHALT SHINGLES - BLACK	8 MAN DOOR - BLACK
2 HARDIE BOARD & BATTEN - CHESAPEAKE GRAY	9 GLAZING
3 HARDIE BOARD HORIZONTAL - SNOW WHITE	10 GUTTERS - BLACK
4 HARIDE SHAKE - MIDNIGHT SURF BLUE	11 RAILING - BLACK
5 METAL ROOF - BLACK	12 FASCIA, POSTS & TRIM - BLACK
6 CULTURED STONE	
7 GARAGE DOOR - BLACK	



METAL ROOF - BLACK



UNIT #3
RIGHT ELEVATION

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3	ISSUED FOR REVIEW	17-07-2021

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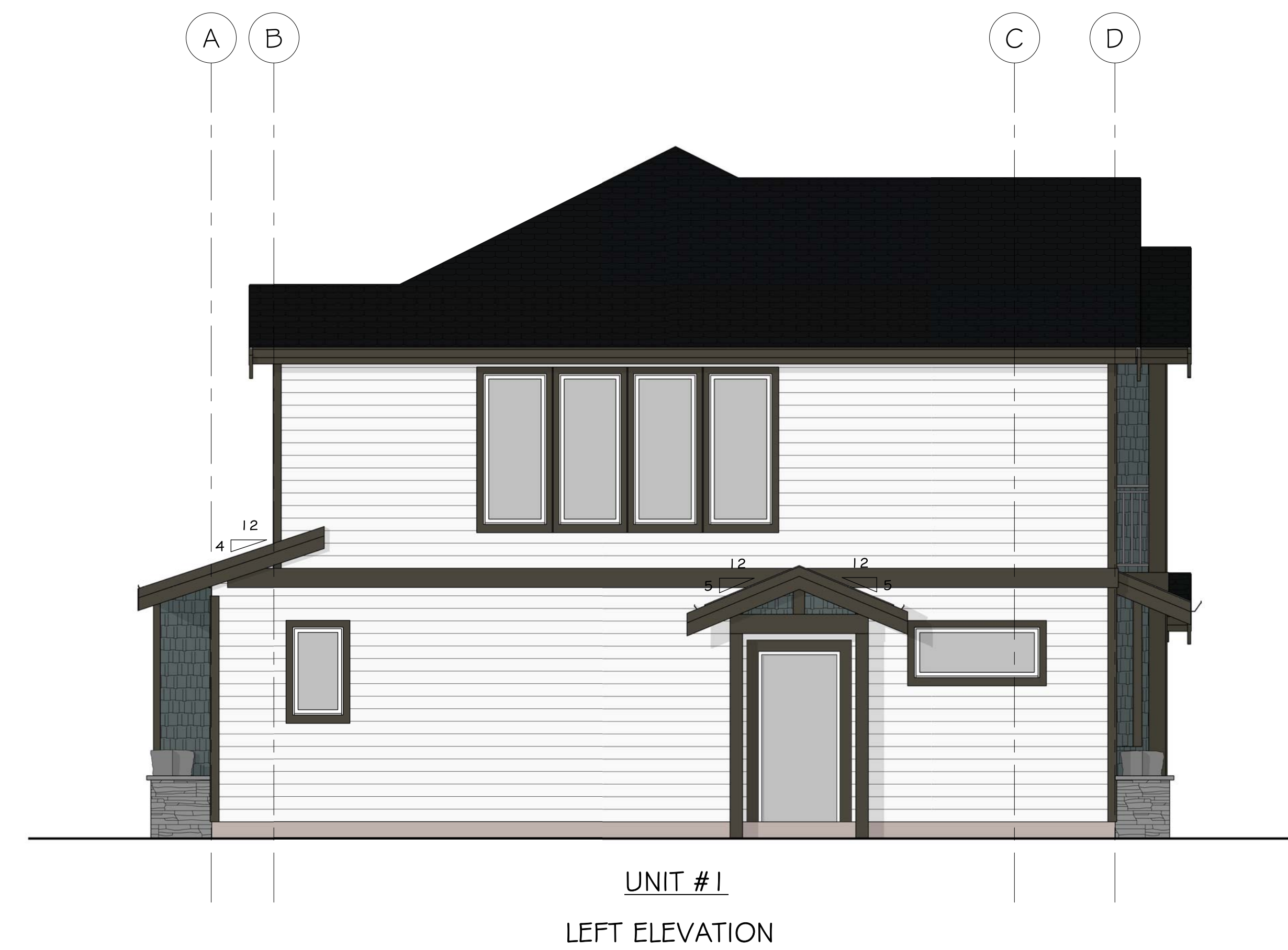
PROJECT NAME AND ADDRESS:

TOWNHOUSE COMPLEX
LOT 379 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:

FRONT & RIGHT ELEVATIONS

DRAWN:	AH	SHEET:
PROJECT #:	19437	A3.1
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	



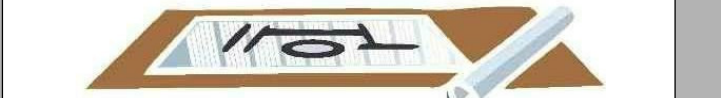
TYPICAL WINDOW NOTES:

- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 3'0" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
- INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
- DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

TYPICAL NOTES:

- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
- ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
- ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
- ALL HAND RAILS AS PER B.C.B.C. 9.8.7
- ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
- ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
- ATTIC HATCHES TO BE WEATHERSTRIPPED

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NO.	REVISION/ISSUE	DATE
1	ISSUED FOR REVIEW	21-01-2021
2	ISSUED FOR REVIEW	28-04-2021
3	ISSUED FOR REVIEW	17-07-2021

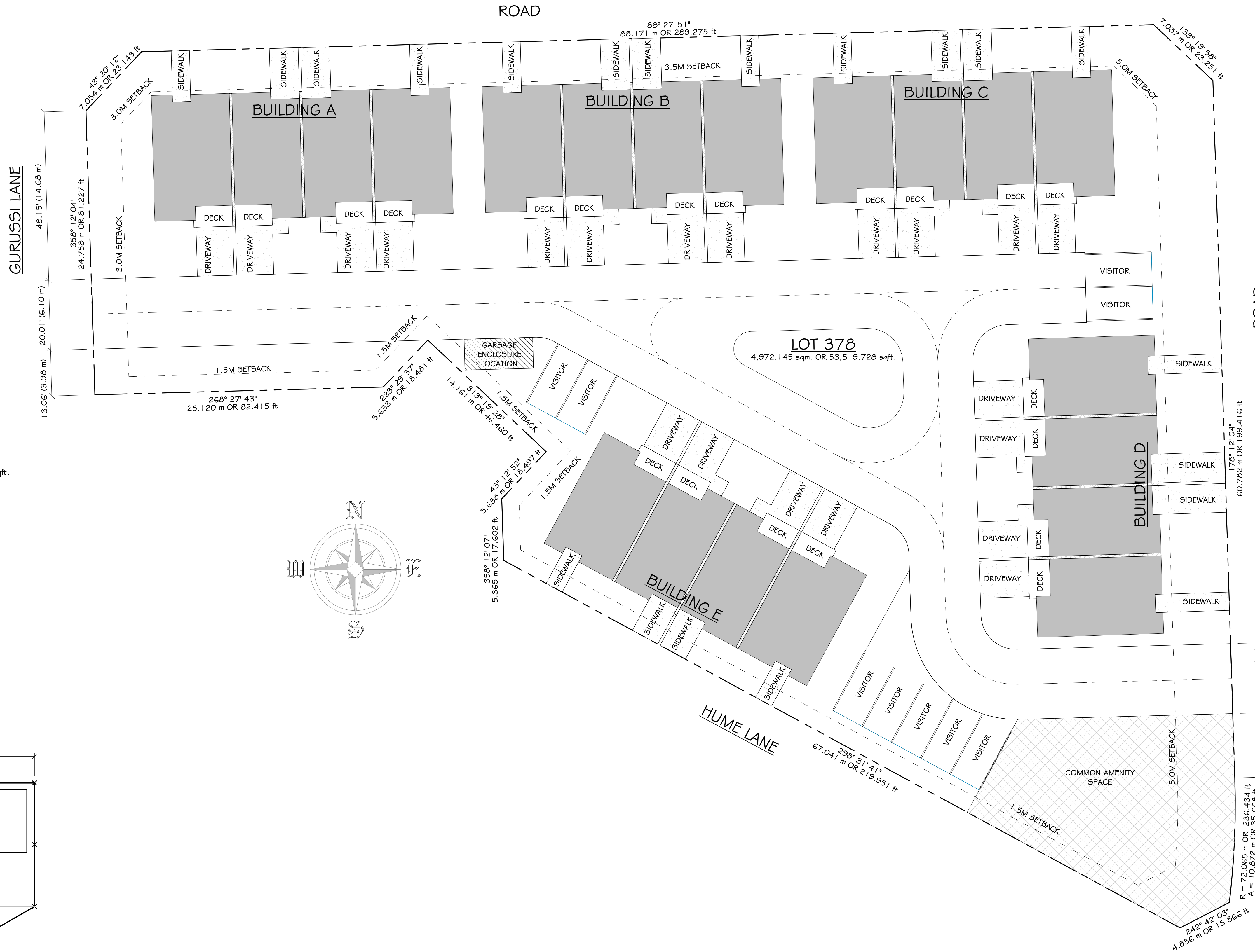
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PROJECT NAME AND ADDRESS:
TOWNHOUSE COMPLEX
LOT 379 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:
REAR & LEFT ELEVATIONS

DRAWN:	AH	SHEET:
PROJECT #:	19437	A3.2
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	



LEGAL DESCRIPTION

LOT 378

CIVIC ADDRESS

LOT 378 - HUME LANE, GIBSONS, B.C.

SITE RECONCILIATION

SITE AREA: 0.497 ha OR 4,972.145 sqm. OR 53,519.728 sqft.

ZONING: RCL

DENSITY CALCULATIONS:

45 UNITS PER HECTARE
45 X 0.497 = 22.37
MAX DENSITY = 22 UNITS
PROPOSED DENSITY = 20 UNITS

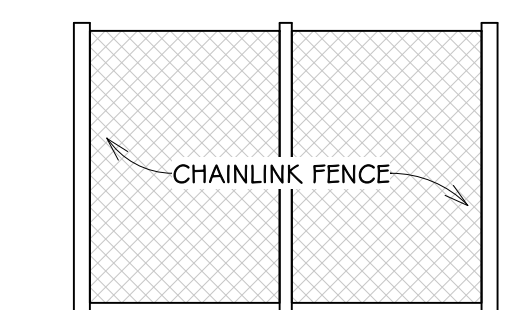
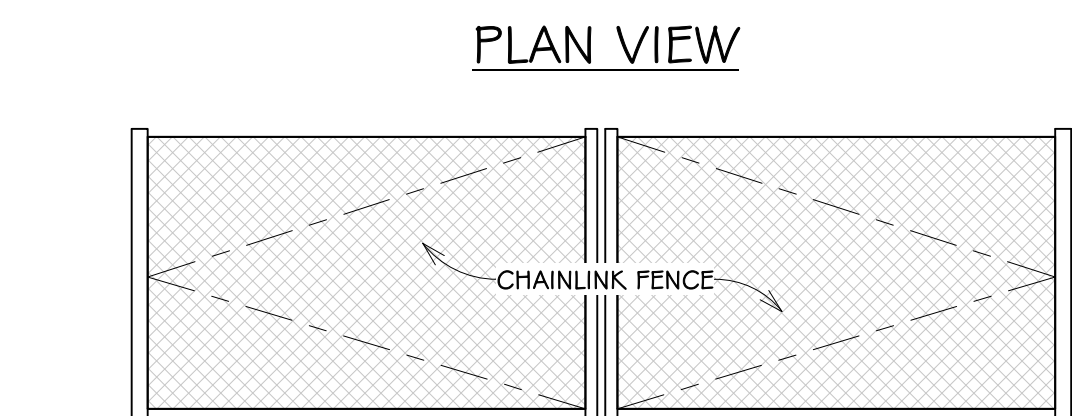
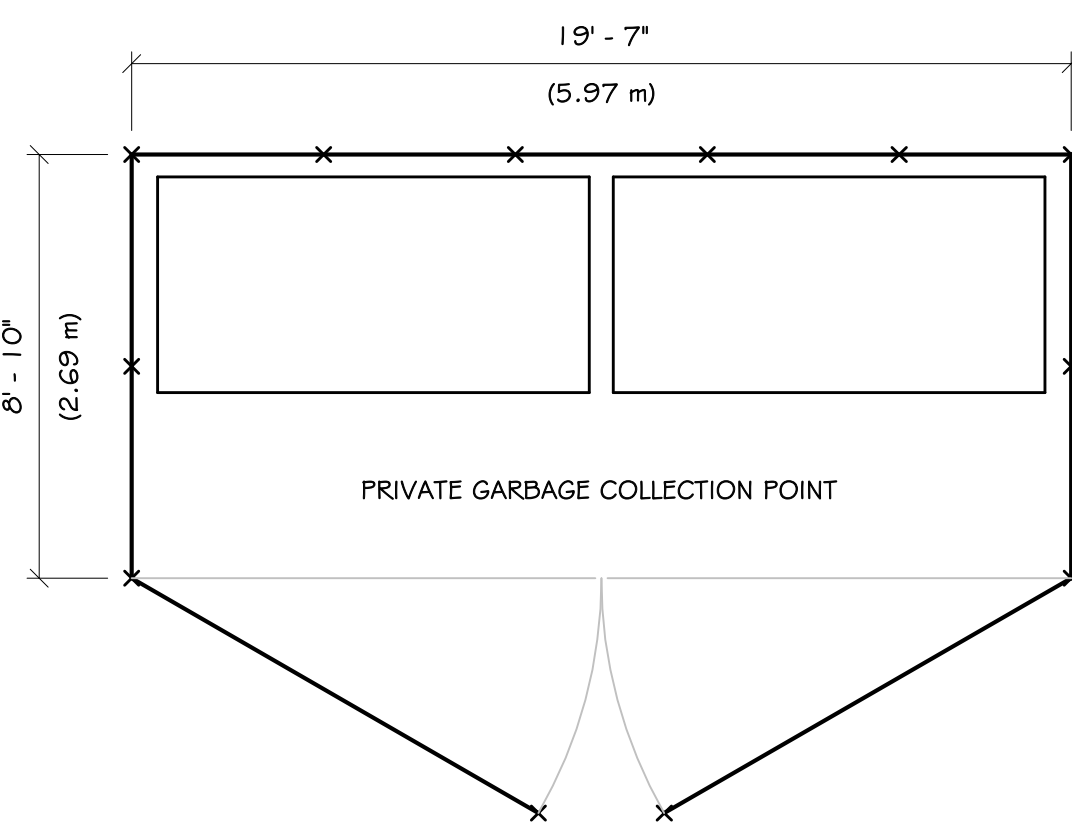
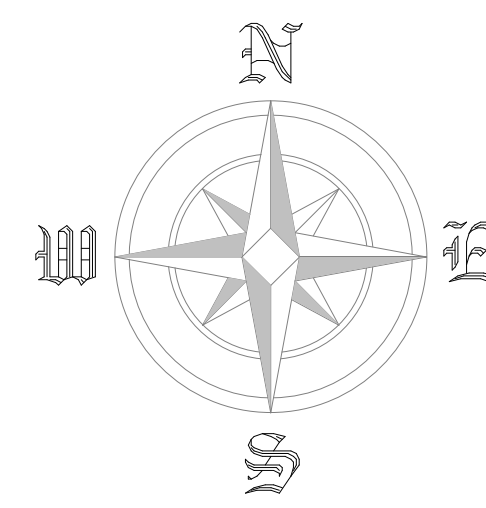
PARKING CALCULATIONS

REQUIRES:
TOWNHOUSE DEVELOPMENT REQUIRES 1 STALLS PER UNIT
20 UNITS X 1 = 20 STALLS
PROVIDED:
2 STALLS PER DWELLING UNIT
20 STALLS X 2 STALLS PER = 40 STALLS
1 STALL IN GARAGE
1 STALL IN DRIVEWAY

VISITOR PARKING STALLS REQUIRED = 15% OF REQUIRED STALLS
VISITOR PARKING STALLS PROVIDED = 9 STALLS

COMMON AMENITY SPACE:
PROVIDED: 310 sqm. OR 3333 sqft.

BUILDING IS SPRINKLERED



GARBAGE ENCLOSURE

SCALE: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE SPECIFIED
BY STRUCTURAL ENGINEER

NOTE:
ALL RETAINING TO BE SPECIFIED
BY GEOTECHNICAL ENGINEER

NOTE:
TRUSS DESIGN TO BE REVIEWED
BY JCR DESIGN

NOTE:
JCR DESIGN ASSUMES NO RESPONSIBILITY
FOR ANY OMISSIONS OR ERRORS

NOTE:
ALL CONSULTANT DRAWINGS
TO BE REVIEWED BY JCR DESIGN
PRIOR TO START OF CONSTRUCTION

NOTE:
ALL CHANGES & REVISIONS
TO ARCHITECTURAL & STRUCTURAL COMPONENTS
MUST BE REVIEWED BY JCR DESIGN.

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1	ISSUED FOR REVIEW	02-03-2020
2	ISSUED FOR REVIEW	14-01-2021
3	ISSUED FOR REVIEW	28-04-2021
4	ISSUED FOR REVIEW	17-07-2021

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PHONE: 604-858-0031
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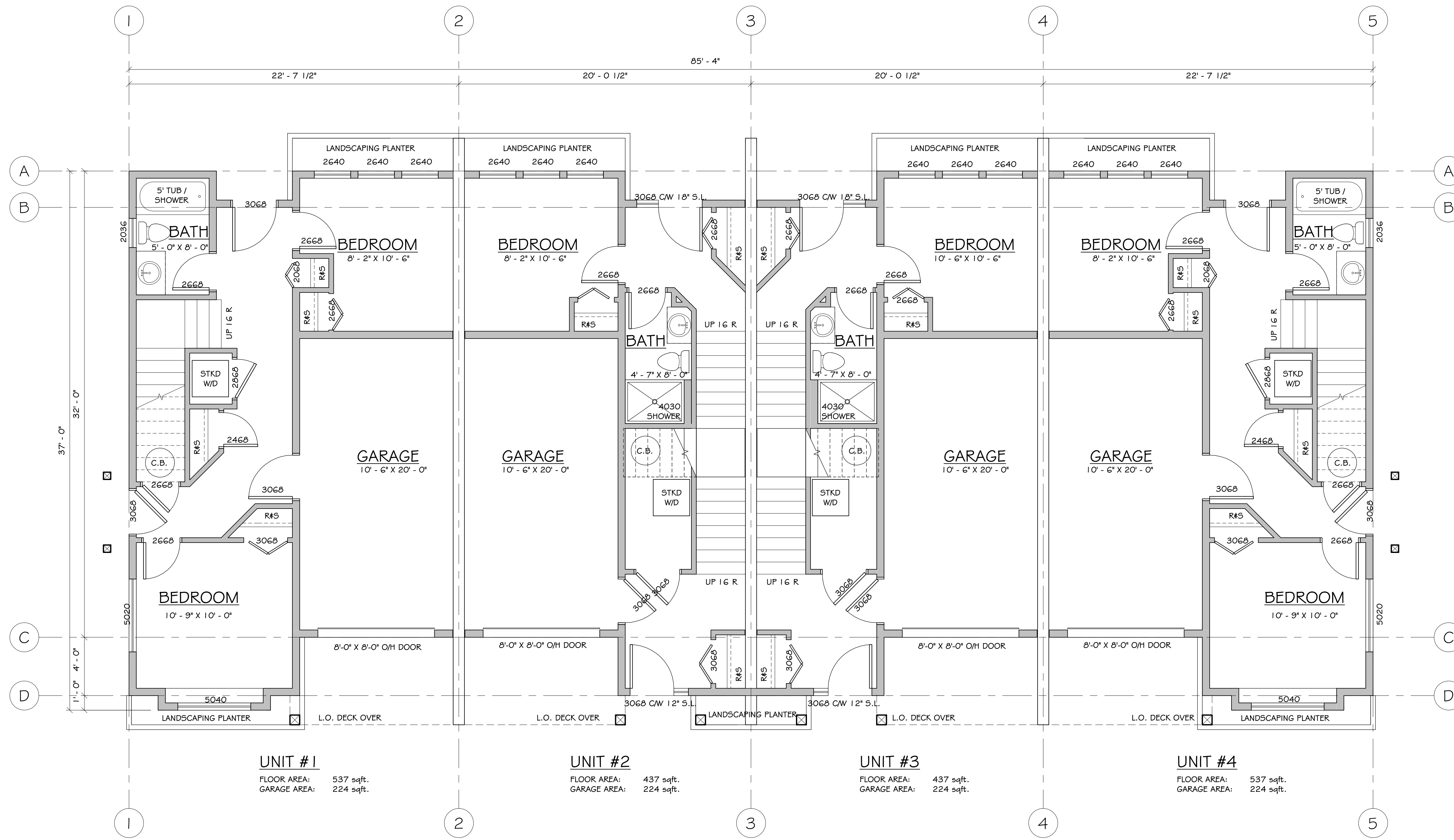
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PROJECT NAME AND ADDRESS:
TOWNHOUSE COMPLEX
LOT 378 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:
SITE PLAN & NOTES

DRAWN:	A.H.	SHEET:
PROJECT #:	1943G	
CHECKED:	J.C.R.	
DATE:	17 JULY, 2021	
SCALE:	1/8" = 1'-0"	

A1.1



UNIT #1
FLOOR AREA: 537 sqft.
GARAGE AREA: 224 sqft.

UNIT #2
FLOOR AREA: 437 sqft.
GARAGE AREA: 224 sqft.

UNIT #3
FLOOR AREA: 437 sqft.
GARAGE AREA: 224 sqft.

UNIT #4
FLOOR AREA: 537 sqft.
GARAGE AREA: 224 sqft.

MAIN FLOOR PLAN

TOTAL MAIN GROSS FLOOR AREA: 2,844 sqft.
TOTAL SECOND GROSS FLOOR AREA: 2,268 sqft.
2,268 = 79.75% MAX ALLOWABLE = 80% NET FLOOR AREA
2,844

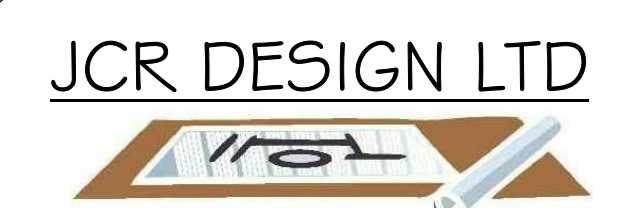
ZONING RCL: SECTION 9.79 (4) *PRINCIPAL BUILDINGS: THE MAXIMUM NET FLOOR AREA OF THE SECOND FLOOR IS 80% OF THE NET FLOOR AREA OF THE FIRST FLOOR*

TYPICAL WINDOW NOTES:

- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 30" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
- INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
- DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

TYPICAL NOTES:

- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
- ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
- ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
- ALL HAND RAILS AS PER B.C.B.C. 9.8.7
- ALL GUARDRAILS AS PER B.C.B.C.9.8.7
- ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
- ATTIC HATCHES TO BE WEATHERSTRIPPED



NO.	REVISION/ISSUE	DATE
1	ISSUED FOR REVIEW	21-01-2021
2	ISSUED FOR REVIEW	28-04-2021
3	ISSUED FOR REVIEW	17-07-2021

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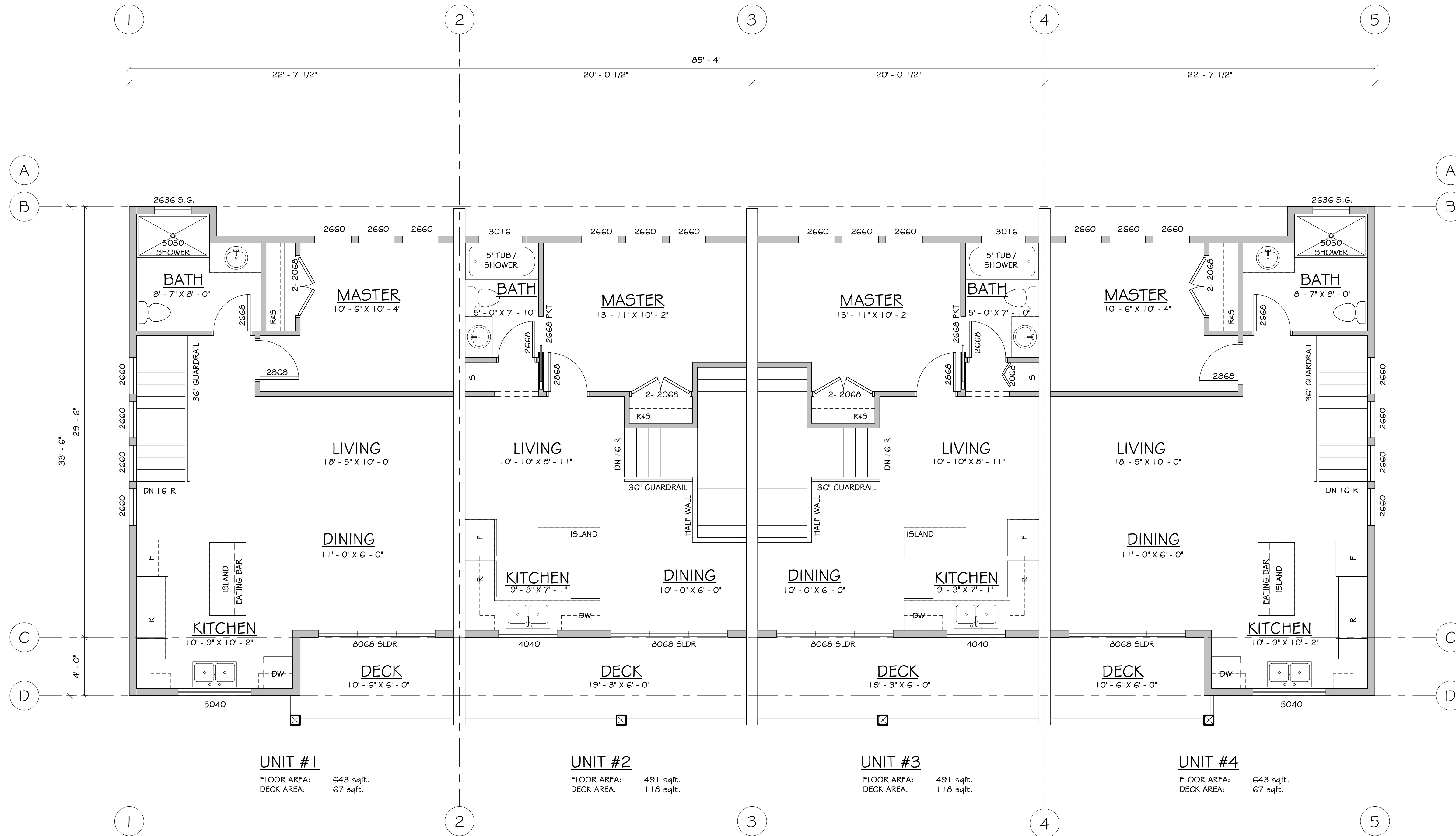
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PROJECT NAME AND ADDRESS:
TOWNHOUSE COMPLEX
LOT 378 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:
MAIN FLOOR PLAN

DRAWN:	AH	SHEET:
PROJECT #:	19436	
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	

A2.2



- TYPICAL WINDOW NOTES:**
- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 3'0" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
 - INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
 - DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

- TYPICAL NOTES:**
- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
 - ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
 - ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
 - ALL HAND RAILS AS PER B.C.B.C. 9.8.7
 - ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
 - ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
 - ATTIC HATCHES TO BE WEATHERSTRIPPED

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PROJECT NAME AND ADDRESS:

TOWNHOUSE COMPLEX

LOT 378 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:

UPPER FLOOR PLAN

DRAWN:	AH	SHEET:
PROJECT #:	19436	A2.3
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	

UPPER FLOOR PLAN

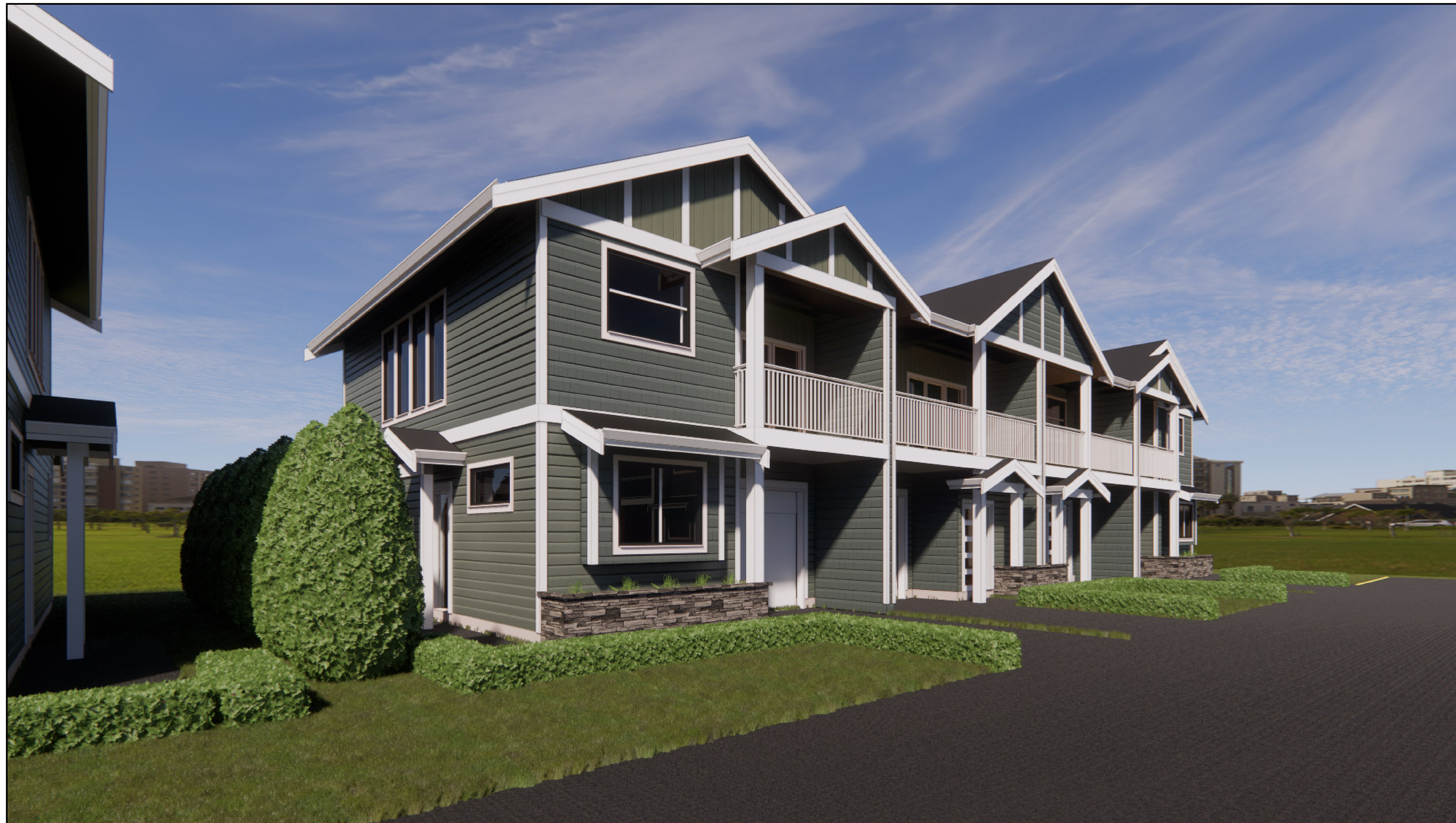
TOTAL MAIN GROSS FLOOR AREA: 2,844 sqft.
TOTAL SECOND GROSS FLOOR AREA: 2,268 sqft.
2,268 = 79.75% MAX ALLOWABLE = 80% NET FLOOR AREA
ZONING RCL: SECTION 9.79 (4) *PRINCIPAL BUILDINGS: THE MAXIMUM NET FLOOR AREA OF THE SECOND FLOOR IS 80% OF THE NET FLOOR AREA OF THE FIRST FLOOR*

UNIT #1
FLOOR AREA: 643 sqft.
DECK AREA: 67 sqft.

UNIT #2
FLOOR AREA: 491 sqft.
DECK AREA: 118 sqft.

UNIT #3
FLOOR AREA: 491 sqft.
DECK AREA: 118 sqft.

UNIT #4
FLOOR AREA: 643 sqft.
DECK AREA: 67 sqft.



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PROJECT NAME AND ADDRESS:

TOWNHOUSE COMPLEX

LOT 378 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:

PERSPECTIVE

DRAWN:	AH	SHEET:
PROJECT #:	1943G	A3.0
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	N.T.S.	



FRONT ELEVATION



ASPHALT SHINGLES - BLACK



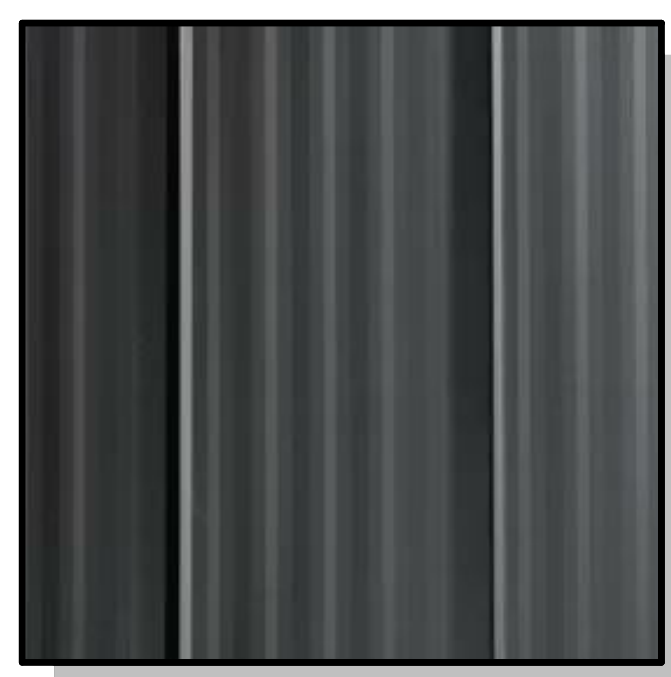
HARDIE BOARD & BATTEN
- MOONLIGHT MOSS GREEN



HARDIE BOARD HORIZONTAL
- CHESAPEAKE GRAY



HARIDE SHAKE
- MIDNIGHT SURF BLUE



METAL ROOF - BLACK

MATERIAL LEGEND

1	ASPHALT SHINGLES - BLACK	8	MAN DOOR - WHITE
2	HARDIE BOARD & BATTEN - MOONLIGHT MOSS GREEN	9	GLAZING
3	HARDIE BOARD HORIZONTAL - CHESAPEAKE GRAY	10	GUTTERS - WHITE
4	HARIDE SHAKE - MIDNIGHT SURF BLUE	11	RAILING - WHITE
5	METAL ROOF - BLACK	12	FASCIA, POSTS & TRIM - WHITE
6	CULTURED STONE		
7	GARAGE DOOR - WHITE		



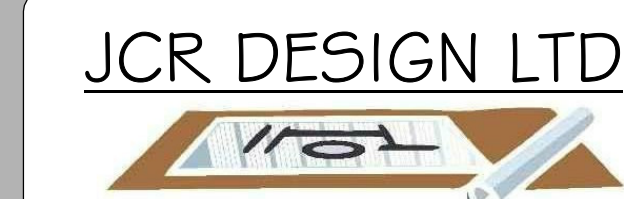
UNIT #4
RIGHT ELEVATION

TYPICAL WINDOW NOTES:

- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 3'0" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
- INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
- DOORS, WINDOWS & SKYLIGHTS TO MEET N.A.F.S. REQUIREMENTS.

TYPICAL NOTES:

- ALL LUMBER TO BE K.D.-S.P.F. #2 OR BETTER
- ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
- ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
- ALL HAND RAILS AS PER B.C.B.C. 9.8.7
- ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
- ALL SMOKE ALARMS TO BE INTERCONNECTED A/C
- ATTIC HATCHES TO BE WEATHERSTRIPPED



NO.	REVISION/ISSUE	DATE
1	ISSUED FOR REVIEW	21-01-2021
2	ISSUED FOR REVIEW	28-04-2021
3	ISSUED FOR REVIEW	17-07-2021

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PROJECT NAME AND ADDRESS:

TOWNHOUSE COMPLEX
LOT 378 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:

FRONT & RIGHT
ELEVATIONS

DRAWN:	AH	SHEET:
PROJECT #:	1943G	
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	

A3.1

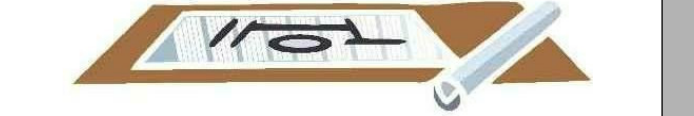


- TYPICAL WINDOW NOTES:**
- GLASS IN EXTERIOR DOORS AND ALL GLASS WITHIN 3'0" OF EXTERIOR DOOR OPENERS TO BE SAFETY GLASS
 - INSTALL FLASHINGS OVER ALL UNPROTECTED OPENINGS AND ALL DISSIMILAR MATERIALS
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- TYPICAL NOTES:**
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 - ALL BEAMS AND LINTELS TO BE 2-2x10 U.N.O.
 - ALL BEDROOM WINDOWS AS PER B.C.B.C. 9.9.10.1.(1)(2)
 - ALL HAND RAILS AS PER B.C.B.C. 9.8.7
 - ALL GUARDRAILS AS PER B.C.B.C. 9.8.7
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PROJECT NAME AND ADDRESS:
TOWNHOUSE COMPLEX
LOT 378 HUME LANE
GIBSONS, B.C.

DRAWING TITLE:
REAR & LEFT ELEVATIONS

DRAWN:	AH	SHEET:
PROJECT #:	1943G	A3.2
CHECKED:	JCR	
DATE:	17 JULY, 2021	
SCALE:	1/4" = 1'-0"	

Reed Road Developments Ltd.
Box 281
Roberts Creek
VON 2W0

August 31 2021

Please accept this proposal of for the Community Amenity Fund for Reed Road Developments Ltd. to Rezone lots 37 & 38 of Celia Crescent. Lots will be rezoned from R3 to provide 38 housing units. As we are proposing to build sell 31 units and retaining 7 for market rental housing, we are offering to contribute \$124, 000.00 for CAC. Which is \$4,000.00 per unit to be sold.

Thank you
Nicole Hagedorn
Reed Road Developments Ltd.

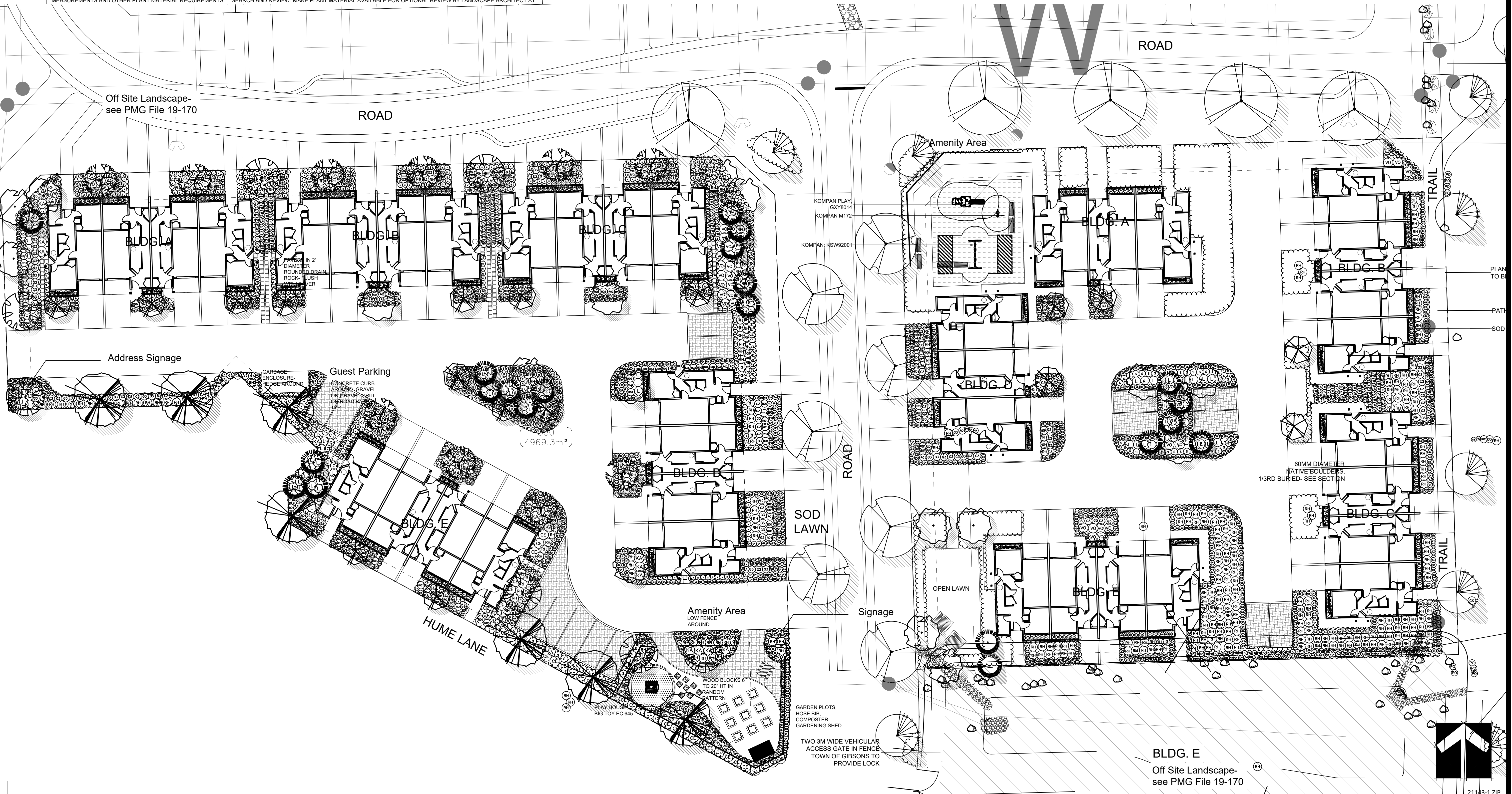


Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

PLANT SCHEDULE		PMG PROJECT NUMBER: 9x-xxx		
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
10		ACER GRISEUM	PAPERBARK MAPLE	6CM CAL; 1.8M STD; B&B
17		AMELANCHIER C. AUTUMN BRILLIANCE	CANADIAN SERVICEBERRY	5CM CAL; B&B
14		CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6CM CAL; 1.5M STD; B&B
7		CORNUS KOUSA X NUTTALLII 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	5CM CAL; 1.2M STD; B&B
7		LIQUIDAMBAR STYRACIFLUA	SWEET GUM	6CM CAL; 2M STD; B&B
19		PICEA OMORIKA	SERBIAN SPRUCE	2.5M HT; B&B
SHRUB				
490		BUXUS SEMPERVIRENS GREEN VELVET	BOXWOOD	#3 POT; 40CM
44		CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT; 50CM
22		CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#2 POT; 50CM
36		KALIA LATIFOLIA	MOUNTAIN LAUREL	#3 POT; 50CM
433		RHODODENDRON 'PATTY BEE'	DWARF RHODODENDRON, YELLOW	#3 POT; 30CM
90		ROSA MEIDLAND 'BONICA'	MEIDLAND ROSE, PINK	#2 POT; 40CM
58		ROSA MEIDLAND 'WHITE'	MEIDLAND ROSE, WHITE	#2 POT; 40CM
108		SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#2 POT 30CM;
31		TAXUS X MEDIA 'HILLII'	HICK'S YEW	1.0M B&B
66		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT; 60CM
GRASS				
1		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
428		CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
174		MISCANTHUS SINENSIS 'YAKU JIMA'	DWARF MAIDENHAIR GRASS	#1 POT
963		PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
91		ECHINACEA PURPUREA	PURPLE CONEFLOWER	15CM POT
78		HEMEROCALLIS 'STELLA D'ORO'	DAYLILY, YELLOW	#1 POT; 1-2 FAN
204		RUDBECKIA F. SULLIVANTII 'GOLDSTURM'	RUDBECKIA, YELLOW	15CM POT
206		SEDUM TELEPHIUM 'MOHRCHEN'	AUTUMN STONECROP	15CM POT
SC				
1		GAULTHERIA SHALLON	SALAL	#1 POT; 20CM
134		LONICERA PILEATA	PRIVET HONEYSUCKLE	#1 POT; 25CM
467		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT



NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:
TOWNHOUSES AT PARKLAND SUBDIVISION
LOTS 378 & 379
HUMBLE LANE
GIBSONS, BC

DRAWING TITLE:
LANDSCAPE KEY PLAN

DATE: 21.AUG.09 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: JR
DESIGN: **L1**
CHK'D: PC OF 3

PMG PROJECT NUMBER: 21-143

Form and Character Development Permit Evaluation (DP-2021-15) for proposed Lots 37 & 38, Celia Crescent (Parkland)

The two proposed lots are within Development Permit No. 8 (DPA 8) of the Official Community Plan, providing guidelines for the design of Intensive Residential development.

The objective of this Development Permit Area designation is to:

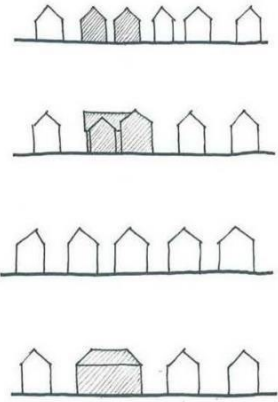

- Ensure that intensive residential development fits with the character of the Town and its neighbourhoods; and
- Provide for high quality, liveable forms of housing and provide residents with high quality affordable housing options.

Staff have reviewed the form and character of the proposed development with respect to the guidelines and summarize its comments as follows (Table 1):



Table 1 - Form and Character Staff Review

DPA 8 Guidelines for construction on cluster lots	Staff Comments	Addresses Criteria?
General Form and Character		
Development should promote a small town character by encouraging architecture, landscape design and environmental settings that respect the surrounding context.	<i>The design accommodates increased density within a form that echoes traditional small town development. Landscape, building design and setbacks respect the neighbourhood context and provide effective transitions to adjacent lots.</i>	Y
Local and natural building materials such as timber and stone should be used in combination with limited amounts of glass, concrete or metal.	<i>Materials include wood-look hardie board and batton, limited accents of stone, and metal roof</i>	Y
The use of natural colours is encouraged, and the use of a variety of complementary colours as accents is also encouraged to promote visual interest.	<i>Natural and complementary colour palette grey tones with black roof.</i>	Y
Vary unit designs, materials and/or colours to distinguish individual dwelling units in the development. No two adjacent dwellings should be alike.	<i>Buildings are distinguished from neighbouring units with variations in façade treatments</i>	Y

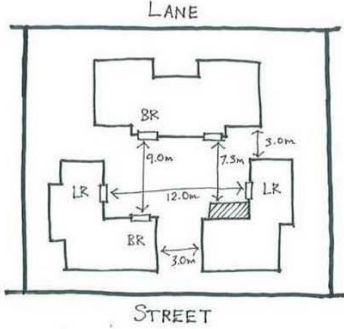
DPA 8 Guidelines for construction on cluster lots	Staff Comments	Addresses Criteria?
<p>Multiple dwelling units should be built on each cluster lot. These may take the form of principal dwellings with additional dwelling units such as secondary suites, and Garden Suites; duplexes, triplexes, or fourplexes; or some combination of these forms.</p>	<p><i>Each cluster lot contains five buildings, with 18 dwelling units on one lot and 20 dwelling units on another lot in the form of triplex and fourplex townhouses.</i></p>	<p>Y</p>
<p>If the maximum density is not achieved, buildings should be sited to allow for the future development of additional dwelling units such that a density of approximately 16 units per acre could be achieved over the long term. The proponent must submit a conceptual plan showing how multiple dwelling units could be accommodated on each lot. The conceptual plan should show future servicing and access plans.</p>	<p><i>n/a -maximum density is proposed</i></p>	<p>N/A</p>
<p>Reflect an environmentally friendly (“green”) image through the design and exterior features of the development. This image may be achieved in such ways as:</p> <ul style="list-style-type: none"> • sites and roadways sited to retain existing trees, vegetation, and other important natural features • incorporation of visible “green” landscaping features such as rain gardens and infiltration trenches • incorporation of visible “green” building features and materials such as skylights, rainbarrels, local wood and stone, green walls and roofs, rain gardens, solar panels, recycled exterior materials, exterior elements for window shading 	<p><i>Green technologies and features are not apparent in the form and character of the buildings, however exterior features of the development such as the stormwater swales, and retention ponds provide a “green” image.</i></p> <p><i>The subdivision is and will further be landscaped with trees and plantings native to the area and drought resistant.</i></p>	<p>Y</p>
<p>Design lighting to minimize light spill, glare and sky glow by using non-glare full cut-off fixtures.</p>	<p><i>Lighting plans are not provided, however developer has confirmed that lighting is designed to meet this criteria.</i></p>	<p>Y</p>

Building Massing and Street Rhythm		
<p>To achieve harmonious integration with surroundings, development should be sensitive to the scale, mass, and form of adjacent buildings.</p> 	<p><i>The proposed development form, scale and massing is consistent with and complementary to the development rhythm of other developments existing and under development in the parkland subdivision, including single family homes and multifamily developments such as:</i></p>  <p><i>950 Woodsworth Road</i></p>	<p>Y</p>
<p>Vary the exterior design of buildings facing a street or lane from those of similar buildings across the street and on adjacent properties, so that front elevation designs have significant variations in the disposition and articulation of design features.</p>	<p><i>Buildings share similar massing and form, though are individually distinguished through varied cladding, design details and articulation of massing.</i></p>	<p>Y</p>
<p>Mirroring nearby front elevation design alone is not an adequate variation.</p>	<p><i>Exterior design variation is proposed for two building types (3-unit and 4-unit).</i></p>	<p>Y</p>

<i>Relationship to the Street</i>		
The principal building should be oriented to the street and should be designed to encourage natural surveillance of the street; on corner lots, orientation should be towards both streets.	<i>The buildings provide a pedestrian orientation to the street with a walking path, front door, and window facing the street, providing 'eyes on the street'. There is also a vehicular orientation from the internal courtyard.</i>	Y
A covered porch or veranda at the street entrance of the unit is encouraged.	<i>Covered entries are provided for each unit and oriented to the street and lane.</i>	Y
Residential buildings positioned at the rear of the property should have a clear and obvious approach from the street or lane.	<i>Buildings located at the rear of the property have clear entrances oriented onto the central courtyard.</i>	Y
Avoid long continuous façade frontage and respect the rhythm of the existing streetscape.	<i>The new streetscape along Celia Crescent will be built out with single family and duplex dwellings. The three and four-unit buildings with broken massing respects the rhythm of the neighbourhood.</i>	Y
Developments should create an incremental rhythm complementary to nearby residential areas by visually breaking massing of larger buildings into smaller individual components to express strong unit identity and to relate to the characteristic frontage of buildings in the area.	<i>Massing is broken up both visually and physically on the building facades, individualizing units within buildings and distinguishing unit clusters.</i>	Y
Secondary buildings should complement the scale, mass, built form and character of the principal building.	<i>Secondary buildings are not proposed</i>	N/A
Buildings containing more than 4 units should generally be avoided, taking the form of two or more separate buildings where more than 4 units are proposed.	<i>No buildings contain more than 4 units.</i>	N/A
Use separations, transitions, changes in plan and the inclusion of elements such as bay windows, dormers, porches, and	<i>Façade depth and treatment variations, recessed porches and balconies, roofline variation, pillars and awning projections all help to</i>	Y

cross gables to help mitigate the visual quality of long buildings.	<i>break up the length of the buildings visually.</i>	
Roof pitches of at least 6 in 12 are encouraged.	<i>All roofs have 6 in 12 pitches</i>	Y
Provide a clearly identifiable door onto the street and public open spaces.	<i>All units provide a clearly identified door onto the street or courtyard.</i>	Y
Provide a clearly identifiable “front” door onto the lane for dwelling units adjacent to the lane at the rear of the parcel.	<i>“Front” doors are provided for all units at the street and the internal courtyard.</i>	Y
A “transparent” interface between the lot and the lane is encouraged, and may be achieved through a balcony or windows over-looking the lane, a porch next to the lane, or other similar means.	<p><i>An entrance, walking path, and windows are provided for each building which overlook and provide transparency to the lane</i></p>  <p><i>View of triplex from lane</i></p>  <p><i>View of fourplex from lane</i></p>	Y
Areas of the lot adjacent to the lane that are not required for access to parking should be landscaped. The inclusion of trees in these areas is encouraged where practical.	<p><i>All areas not used for parking are landscaped.</i></p> <p><i>Additional communal open spaces could be added to replace surplus parking.</i></p>	Y
Consider the use of low (less than 1.2 m) fencing and screening along the lane, to encourage interaction between the lane and nearby semi-private open space.	<i>Fencing not shown</i>	N/A

<p>Provide a clear distinction between private and public open space.</p>	<p><i>Landscaping and lawn areas bordered with pedestrian paths define front yard areas on the street and backyard areas on the interior courtyard.</i></p>	<p>Y</p>
<p>Dwelling units should be arranged on site to facilitate social interaction, build a sense of community, and create neighbour-to-neighbour surveillance. This can be accomplished as shown below, by:</p> <ul style="list-style-type: none"> • ensuring various building entrances face each other and/or open on to open spaces common to all units • providing for surveillance of open spaces common to all units from active living areas within each unit • and/or providing patios, porches, or verandas adjacent to common areas 	<ul style="list-style-type: none"> • <i>Building entrances are oriented to the central courtyard and parking areas facilitating interaction as residents come and go from the dwelling units</i> • <i>Views from living spaces provide surveillance of public areas.</i> 	<p>Y</p>
<p>Minimize the potential for overlook to neighbouring windows and private spaces.</p>	<p><i>Windows of all dwellings are primarily oriented to the adjacent streets and lane and fronting yard spaces.</i></p>	<p>Y</p>

<p>Minimum building separations between units on the same site are preferred, as follows:</p> <ul style="list-style-type: none"> • between side walls of buildings containing a small amount of window area: 3 m • between portions of walls containing windows looking onto active indoor living spaces such as living and dining rooms and kitchens: 12 m • between portions of walls containing windows into other habitable rooms: 9 m • preferred distances in cases (2) and (3) are reduced to 7.3 m to portions of walls containing non-habitable space 	<p><i>Building separations are as follows:</i></p> <ul style="list-style-type: none"> • <i>side wall building separations are closest at approximately 2.2 to 2.8 m</i> • <i>Separation between front faces of buildings with significant windows is 12m or greater</i> 	<p>Y/N</p>
<p>Solar orientation</p>		
<p>Building orientation and massing should ensure that a majority of primary living spaces receive direct sunlight for the daylight hours at equinox.</p>	<p><i>The units are mixed in orientation with some in a north-south orientation and others in an east-west orientation. All units will receive direct sunlight.</i></p>	<p>Y</p>
<p>Where possible, buildings should not be located in positions that will result in substantial shading of the private open space of adjacent units.</p>	<p><i>Two-storey height and broken up massing of buildings should prevent substantial shading of open spaces for all units.</i></p>	<p>Y</p>

Other		
Carefully provide for areas for garbage and recycling collection and storage, taking into account visual screening and security from animal scavengers.	<i>Garbage enclosure is accessibly located from the interior courtyard.</i>	Y
Provide a yard or roof terrace for each unit to create usable private open space, in a highly accessible location. Failing this, a large balcony for each unit should be provided. This open space should be partially screened to provide privacy from neighbours.	<i>Yards and/or balcony space is provided at the front and rear of each unit, and the in the side yard of end units</i>	Y
Provide a variety of views, ensuring that distant and close-up views of outdoor spaces are provided wherever possible.	<i>Dwellings benefit from views of landscaped outdoor yard and common spaces, and views beyond the property.</i>	Y

Staff Conclusion

Staff considers that the proposed intensive residential development fits with the character of the Town and its neighbourhoods in the Parkland subdivision. Staff considers the design provides for high quality, liveable forms of housing in a walkable neighbourhood, and given that seven units will be retained for rental units, these units will also provide residents with high quality rental housing options.

Staff finds that the guidelines for form and character are considered and addressed in the proposal and that the guidelines are substantially met.

TOWN OF GIBSONS

BYLAW NO. 1065-63

A Bylaw to amend Zoning Bylaw No. 1065

WHEREAS the Council for the Town of Gibsons has adopted Town of Gibsons Zoning Bylaw No. 1065, 2007;

AND WHEREAS the Council for the Town of Gibsons deems it desirable to amend the Zoning Bylaw;

NOW THEREFORE the Council for the Town of Gibsons, in open meeting assembled, enacts as follows:

1. This Bylaw may be cited as “Zoning Amendment Bylaw No. 1065-63, 2021”.
2. That the zoning designation for LOTS 37 AND 38, DISTRICT LOT 689 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP108307, as indicated on Schedule "A" attached to and forming part of this bylaw, be changed from the existing *Single-Family and Two-Family Residential Zone 3 (R-3)* to *Cluster Residential (RCL)*.
3. That Bylaw No. 1065, 2007 be amended by deleting section 9.79 (4).
4. That Bylaw No. 1065, 2007 be further amended by making such consequential alterations, annotations and map revisions as are required to give effect to this amending bylaw.

READ a first time the	XX	day of MONTH,	202X
READ a second time the	XX	day of MONTH,	202X
PUBLIC HEARING held the	XX	day of MONTH,	202X
READ a third time the	XX	day of MONTH,	202X
APPROVED pursuant to Section 52(3)(a) of the <i>Transportation Act</i> the	XX	day of MONTH,	202X
ADOPTED the	XX	day of MONTH,	202X

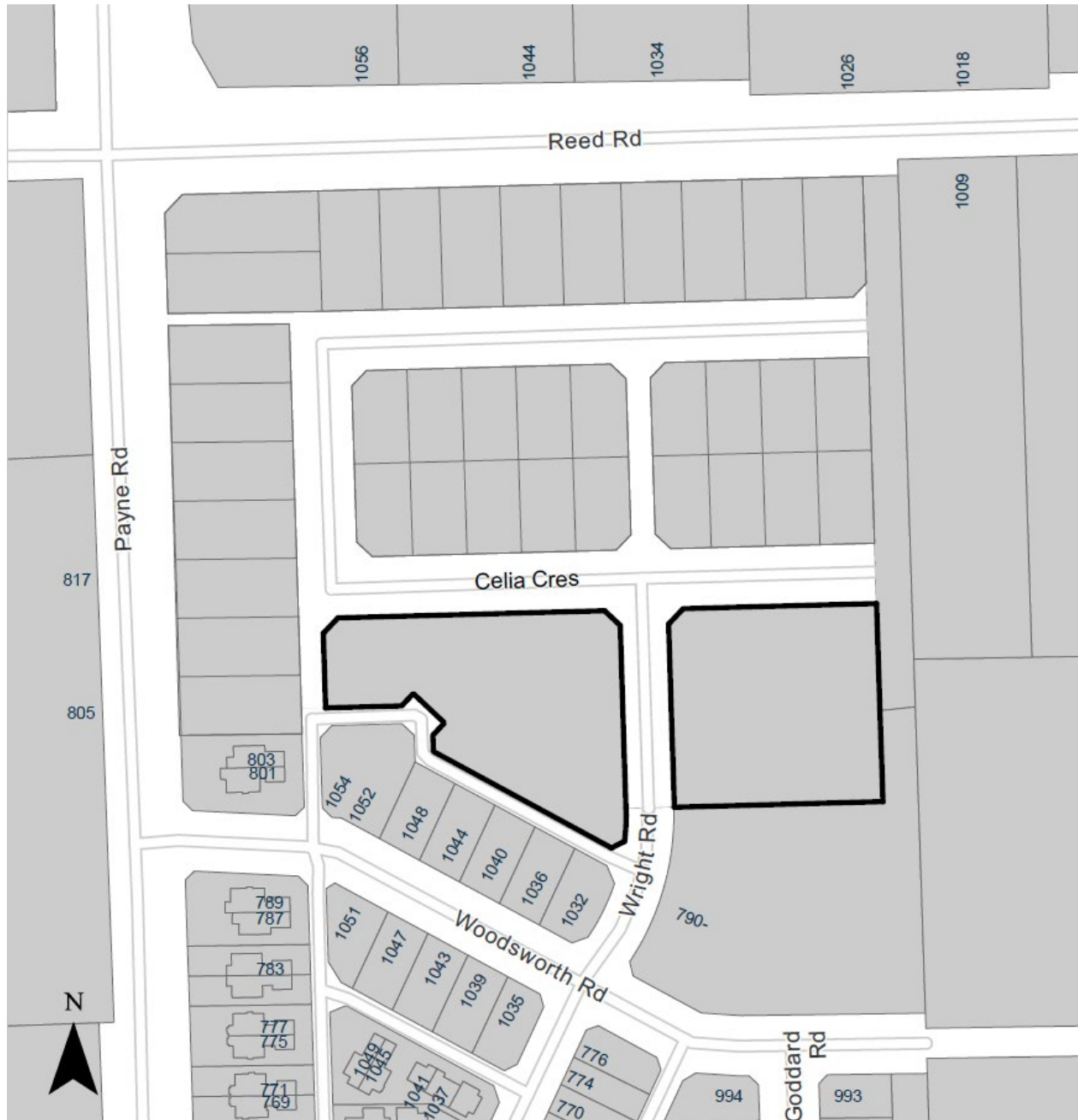
William Beamish, Mayor

Rebecca Anderson, Corporate Officer



Schedule A

Zoning Amendment Bylaw No. 1065-63, 2021



Altering the zoning of LOTS 37 AND 38, DISTRICT LOT 689 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP108307 (outlined in bold), from the existing Single-Family and Two-Family Residential Zone 3 (R-3) to Cluster Residential (RCL).