

No.	Date	Issue Notes
A	18-8-30	issued for review
B	18-9-18	Develop. Permit
C	21-11-02	issued for review
D	21-11-10	DP Revision 1



DWG

Driftwood Gibsons

Project Data

Civic Address
672 North Road
Gibsons BC V0N 1V9

Legal Description
LOT 11 OF LOT 1 BLOCK 7
PLAN VAP7392 DISTRICT LOT 688

PID
No. 010-636-056

Zoning
Upper Gibsons Commercial
District 1 - C-1

Utilities
Water, sewer and storm sewer at North Road

Site Coverage
allowed 80%
proposed 53%

Building Setbacks
rear lot line = 6.00m

Building Height
allowed = 12m from natural average grade
proposed = 13.46 m to ridge, complies with
part II - 201 definitions - (building height) and
is within the additional 1460 mm clearance

Notes:

- Architectural set prints correct scale when sheet size is 22" x 34"
- All dimensions are in mm except where indicated

Code Analysis

Bylaw
Zoning Bylaw #1065, 2007

Code Edition
BCBC 2018

Zone
Upper Gibsons Commercial District 1 (C-1)

Land Use
Medium Density Residential

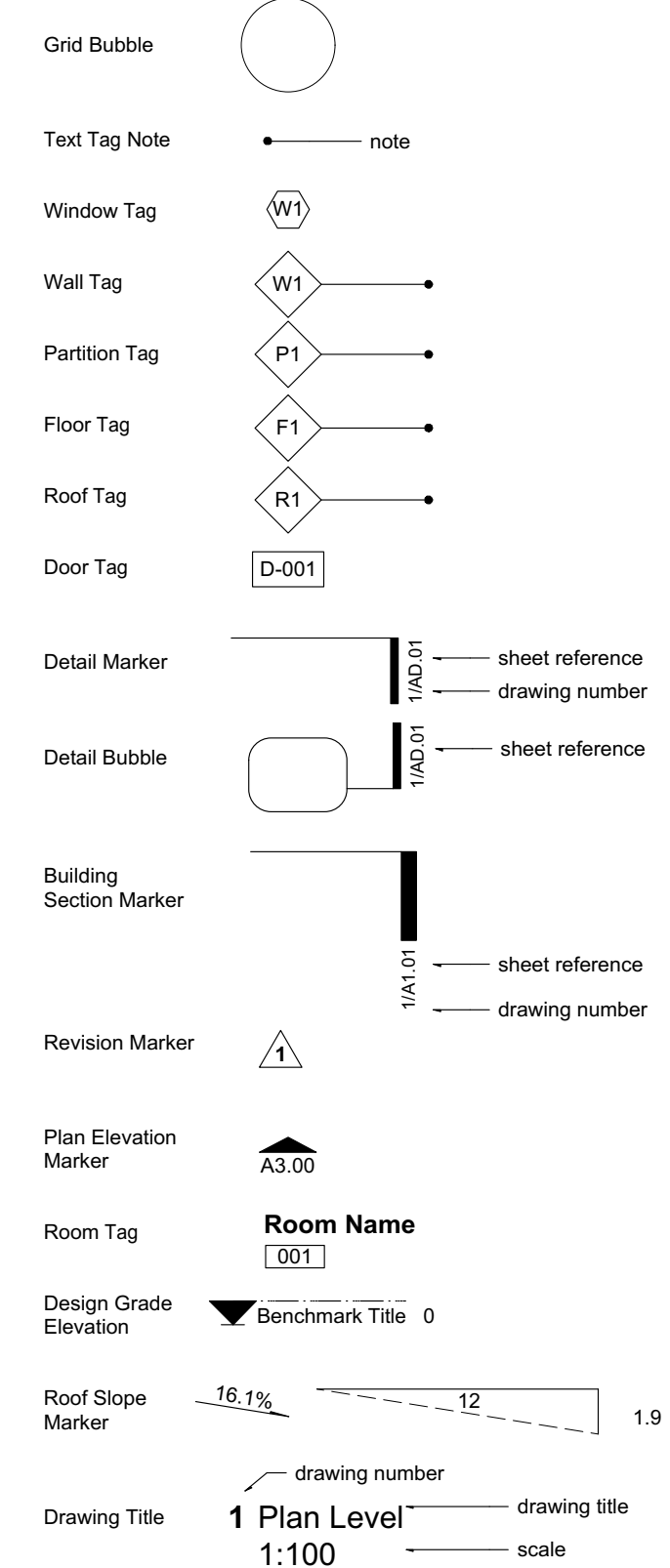
Neighborhood
Creekside/ Hillcrest

Site Area
Total site area= 1,863.77 sqm
Site dimensions= ± 63.4m x 28.8 m

Lot Coverage Area
Proposed lot coverage = 983.33 sqm (53%)

Net Density
Proposed total gross floor area = 1,485.86 sqm
Dwelling units = 14

Architectural Symbols



Drawing List

- Architectural**
- A0 General**
A0.00 Cover + Data
A0.01 Site Context
A0.02 Site Plan
A0.03 Site Coverage Overlay
- A1 Plans**
A1.01 Ground Level Plan
A1.02 Level 1 Plan
A1.03 Level 2 Plan
A1.04 Level 3 Plan
A1.05 Roof Plan
- A2 Sections**
A2.01 Section AA' + Section BB'
A2.02 Section CC'
- A3 Elevations**
A3.01 North Elevation
A3.02 South Elevation
A3.03 West Elevation + East Elevation
- A9 Material Board**
A9.01 Material Board
A9.02 Material Board
- Survey**
J8018_T18035C.dwg site survey
- Landscape**
L1.1 Landscape Site Plan
- Civil**
Servicing Key Plan

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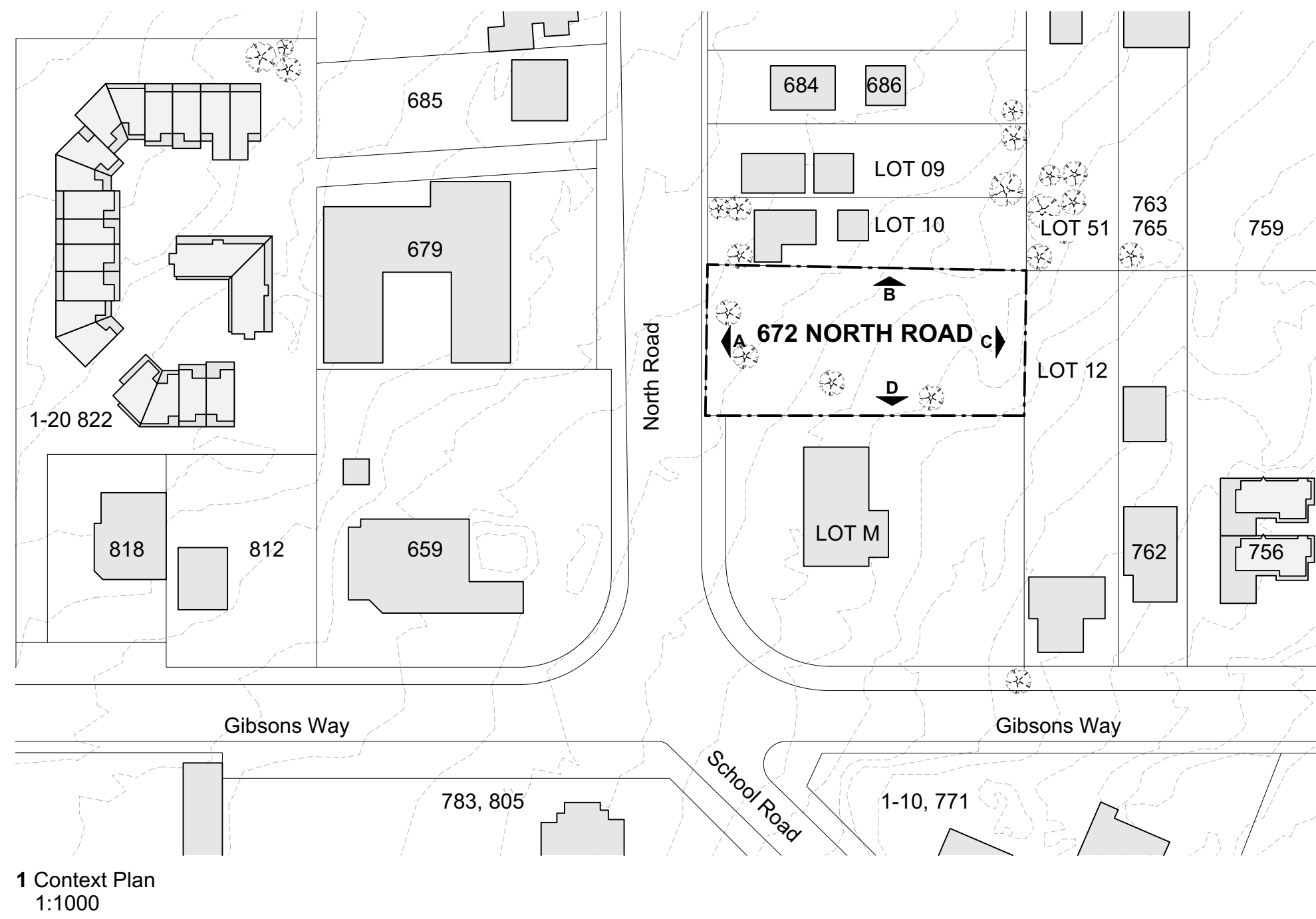
Driftwood Gibsons
672 North Road

scale	drawn by
NTS	BD/LDC
date	reviewed by
11 July 2018	RSA
project code	status
DWG	DP

Client	Contractor	Architectural	Code	Structural	Mechanical	Electrical	Landscape	Envelope	Passive House	Civil	Geotechnical	Surveyor
Driftwood Projects Limited Partnership Megan Paris-Griffiths 503-602 W Hastings St Vancouver BC V6B 1P2	TBC	Rafael Santa Ana Architecture Workshop Inc Rafael Santa Ana 503-602 W Hastings St Vancouver BC V6B 1P2	Thorson Consulting Barry Thorson 769 Roslyn Blvd North Vancouver BC V7G 1P4	Aspect Structural Engineers David Rajendran 101-190 West 3rd Ave Vancouver BC V5Y 1E9	Integral Group Jean-Sebastien Tessier 180-200 Granville St Vancouver BC V6C 1S4	Integral Group Jean-Sebastien Tessier 180-200 Granville St Vancouver BC V6C 1S4	Heather Davidson Design Landscape Architecture Heather Scott 4275 Balkan St Vancouver BC V5T 3Z4	DLP Lucio Picciano 806-318 Homer St Vancouver BC V6B 2V2	DLP Lucio Picciano 806-318 Homer St Vancouver BC V6B 2V2	Core Concept Consulting Tyler Smith 220-2639 Viking Way Richmond BC V6V 3B7	Geopacific Marian Letavay 1779 W 75th Ave Vancouver BC V6P 6P2	Hobbs, Winter & MacDonald BC Land Surveyors Mike Vail 113-828 Harbourside Dr North Vancouver BC V7P 3R9
info@driftwoodprojects.com 604.339.5012		rsantaana@rsaaw.com 604.628.7881 RSAAW.com	barry@tccp.ca 604.929.8520 brthorson.ca	david@aspectengineers.com 604.762.7844 www.aspectengineers.com	jstessier@integralgroup.com 604.687.1800 integralgroup.com	jstessier@integralgroup.com 604.687.1800 integralgroup.com	heather.scott@rogers.com 778.828.1334 www.heatherdavidsondesign.com	lucio@dlpdesigns.com 778.889.6849 dlpdesigns.com	lucio@dlpdesigns.com 778.889.6849 dlpdesigns.com	tsmith@coreconceptconsulting.com 604.249.5040 coreconceptconsulting.com	letavay@geopacific.ca 604.439.0922 geopacific.ca	mike@hmse.ca 604.986.1371 www.hwmsurveys.com

Cover + Data

A0.00



A View of context to the West of site



C View of context to the East of site



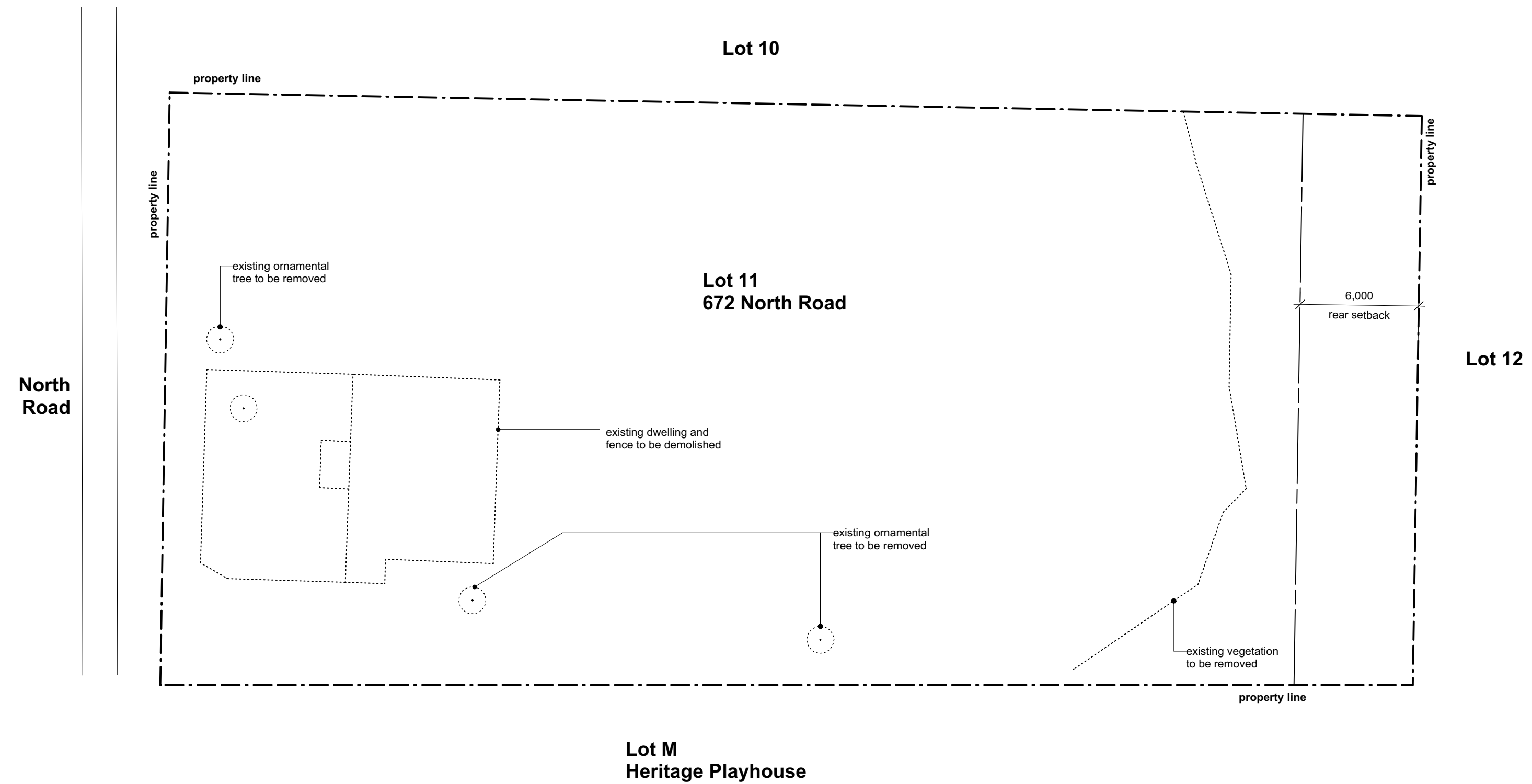
B View of context to the North of site



D View of context to the South of site



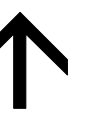
2 Existing Aerial View
NTS



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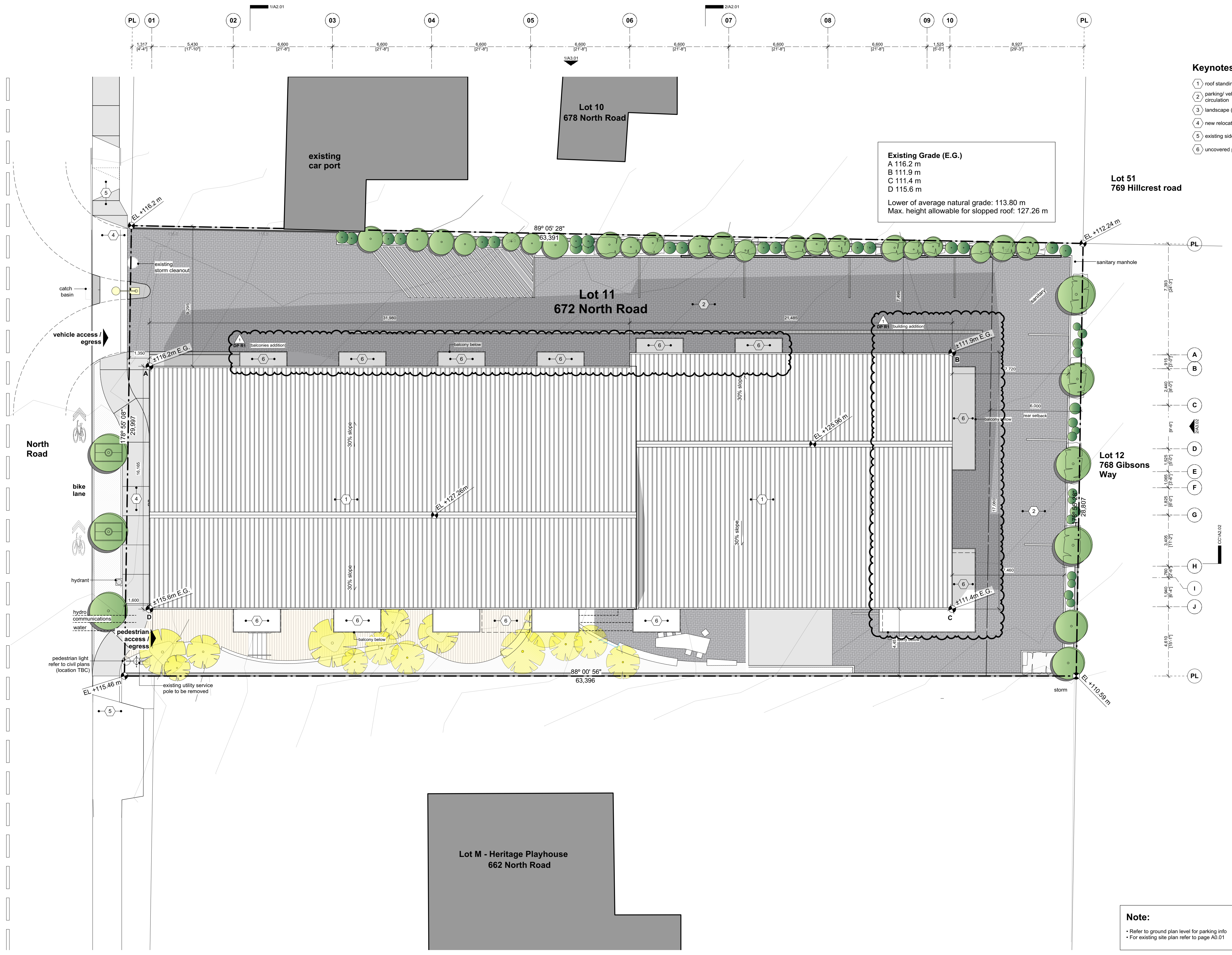


Driftwood Gibsons
672 North Road

scale as noted	drawn by BD/LDC
date 11 July 2018	reviewed by RSA
project code DWG	status DP

Site Context

A0.01



Keynotes

- 1 roof standing seam
- 2 parking/ vehicle circulation
- 3 landscape (refer to L1.01)
- 4 new relocated sidewalk
- 5 existing sidewalk
- 6 uncovered patio

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Existing Grade (E.G.)
 A 116.2 m
 B 111.9 m
 C 111.4 m
 D 115.6 m
 Lower of average natural grade: 113.80 m
 Max. height allowable for slopped roof: 127.26 m

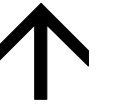
Lot 51
769 Hillcrest road

Lot 12
768 Gibsons Way

Lot M - Heritage Playhouse
662 North Road

Note:
 • Refer to ground plan level for parking info
 • For existing site plan refer to page A0.01

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 672 North Road

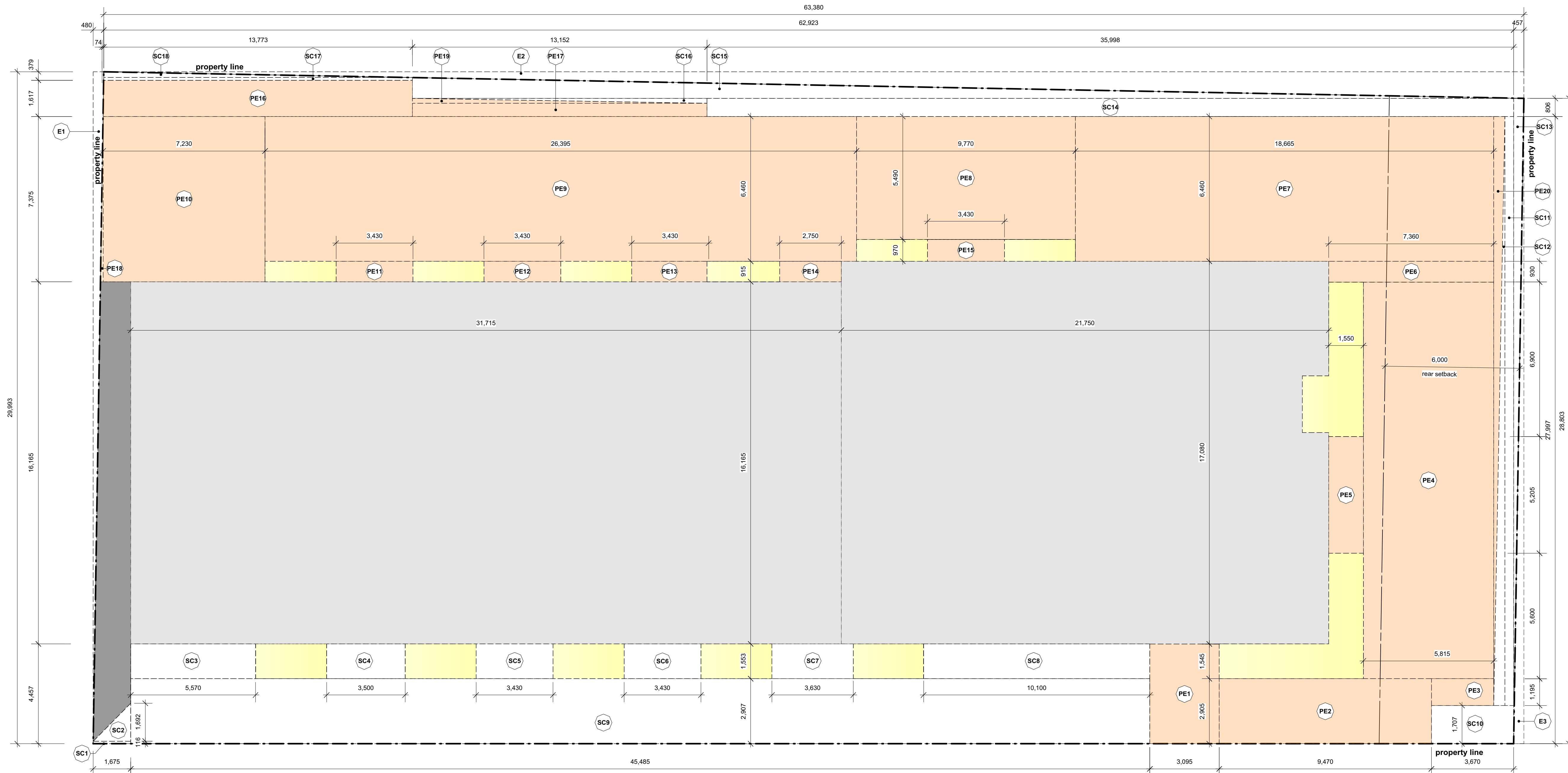
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1:125	BD/LDC
date	reviewed by
11 July 2018	RSA
project code	status
DWG	DP

Site Plan

A0.02

Lot Coverage Legend

- building - included in lot coverage calculation
- covered outdoor area (level 2 patios) - included in lot coverage calculation
- concrete sidewalk - included in lot coverage calculation
- permeable parking area - not included in lot coverage calculation
- open area - not included in lot coverage calculation



Gross Perimeter Lot Coverage Calculation

	Width	Length	Area (sqm)
Gross Perimeter Area	63,853	29,993	1,915.15
Area Deductions			
E1	29,993	473	7.09 adjacent external area (triangle)
E2	63,380	1,190	37.71 adjacent external area (triangle)
E3	28,803	457	6.58 adjacent external area (triangle)
Subtotal			51.38
Total Net Area			1,863.77

Site Coverage Exterior Area Exclusion
[balconies addition]

Area Deductions	Width	Length	Area (sqm)
Exterior Space			
SC1	1.68	0.12	0.19 triangle
SC2	1.68	1.69	1.42 triangle
SC3	5.57	1.55	8.63
SC4	3.50	1.55	5.43
SC5	3.43	1.55	5.32
SC6	3.43	1.55	5.32
SC7	3.63	1.55	5.63
SC8	10.10	1.55	15.66
SC9	45.49	2.91	132.38
SC10	3.67	1.70	6.24
SC11	0.39	26.30	10.26
SC12	0.50	26.30	6.58 triangle
SC13	0.46	28.80	6.58 triangle
SC14	35.98	0.80	28.78
SC15	49.60	0.90	22.32 triangle
SC16	13.15	0.20	1.32 triangle
SC17	13.77	0.12	1.65
SC18	13.77	0.38	2.62 triangle
Subtotal			266.30

Site Coverage Calculation

Area Deductions	Width	Length	Area (sqm)
Permeable Areas			
PE1	3.10	4.46	13.80
PE2	9.47	2.91	27.51
PE3	2.67	1.20	3.19
PE4	17.70	5.82	102.93
PE5	1.55	5.21	8.07
PE6	0.93	7.36	6.84
PE7	6.46	18.67	120.58
PE8	5.49	9.77	53.64
PE9	6.46	26.40	170.51
PE10	7.38	7.23	53.32
PE11	0.92	3.43	3.14
PE12	0.92	3.43	3.14
PE13	0.92	3.43	3.14
PE14	0.92	2.75	2.52
PE15	0.97	3.43	3.33
PE16	1.62	13.77	22.27
PE17	0.59	13.15	7.75
PE18	7.38	0.11	0.41 triangle
PE19	0.22	13.15	1.43 triangle
PE20	26.29	0.51	6.64 triangle
Subtotal			614.14

Site Coverage Summary

	Area (sqm)
Gross Perimeter Area	1863.77
Area Deductions	
Excludable Uncovered Area	266.3
Excludable Permeable Area	614.14
Subtotal	880.44
Total Net Area	983.33
Site Coverage	53 %

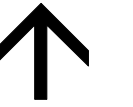
Total Excludable Exterior Area 266.30 sq m
 DP R1 [site coverage calculations update]

Total Excludable Permeable Area 614.14 sq m

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 672 North Road

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1:100	BD/LDC
date	reviewed by
11 July 2018	RSA
project code	status
DWG	DP

Site Coverage Overlay

A0.03

Occupancies colour code

- common areas
- commercial
- dwelling
- circulation

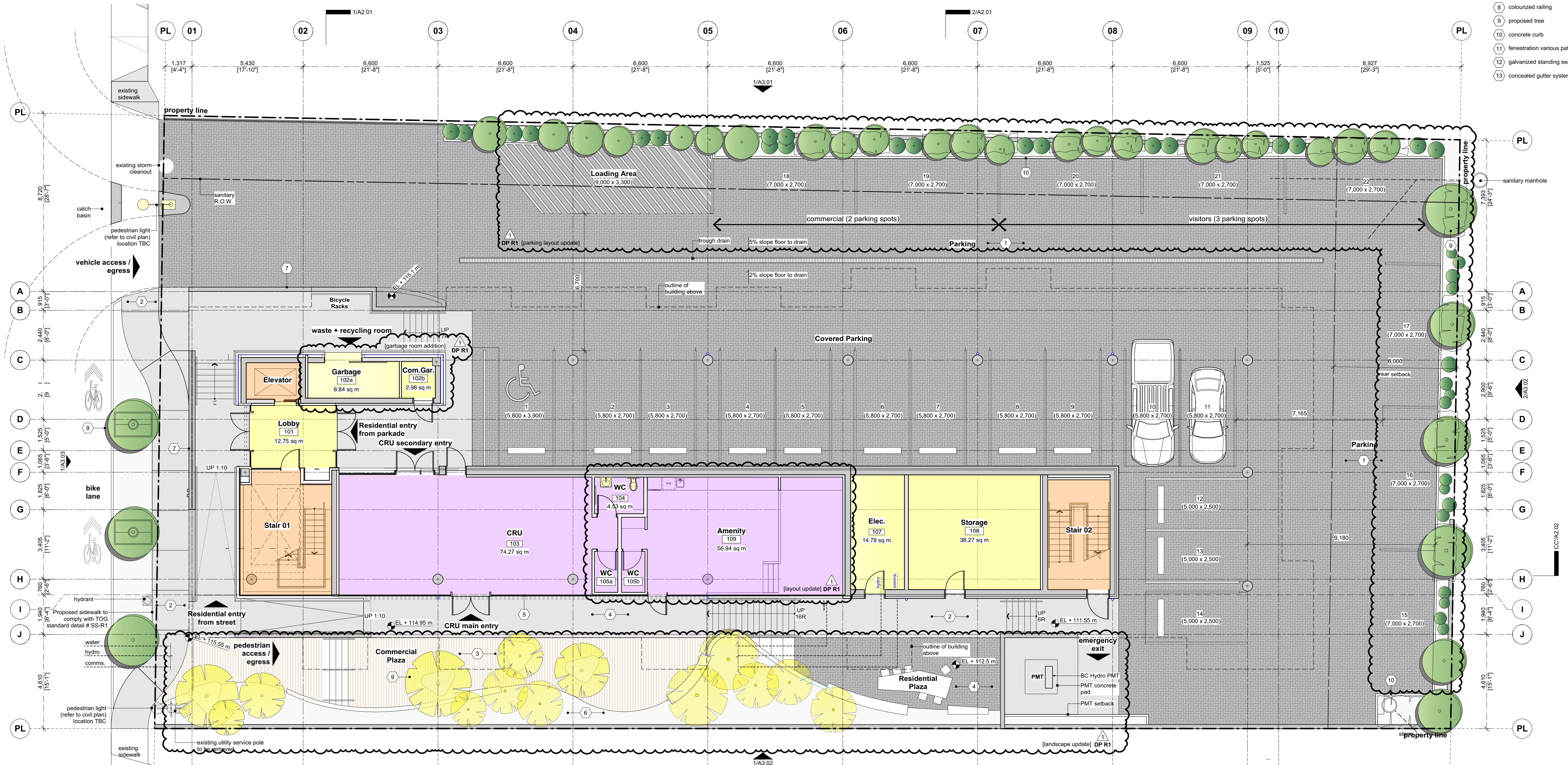
Wall Legend

- new wall assembly
- new partition assembly
- curtain wall glazing

Keynotes

- 1 pavers (herringbone pattern)
- 2 proposed concrete sidewalk
- 3 cedar wood decking
- 4 feature concrete paving
- 5 curtain wall glazing
- 6 landscape (refer to L1.01)
- 7 proposed retaining wall
- 8 colorized railing
- 9 proposed tree
- 10 concrete curb
- 11 fenestration various patterns
- 12 galvanized standing seam roof
- 13 concealed gutter system

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Total gross floor area ground level: 270.81 sqm

Note:
 • All exterior light to be located at over hangs and oriented downward to landscape following night-sky friendly design guideline

DP R1 (building layout revised to accommodate 14 apartment units)

No. Date Appr Revision Notes

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 date 27 August 2018 reviewed by RSA
 project code DWG status DP

Ground Level Plan

A1.01

Occupancies colour code

- common areas
- commercial
- dwelling
- circulation

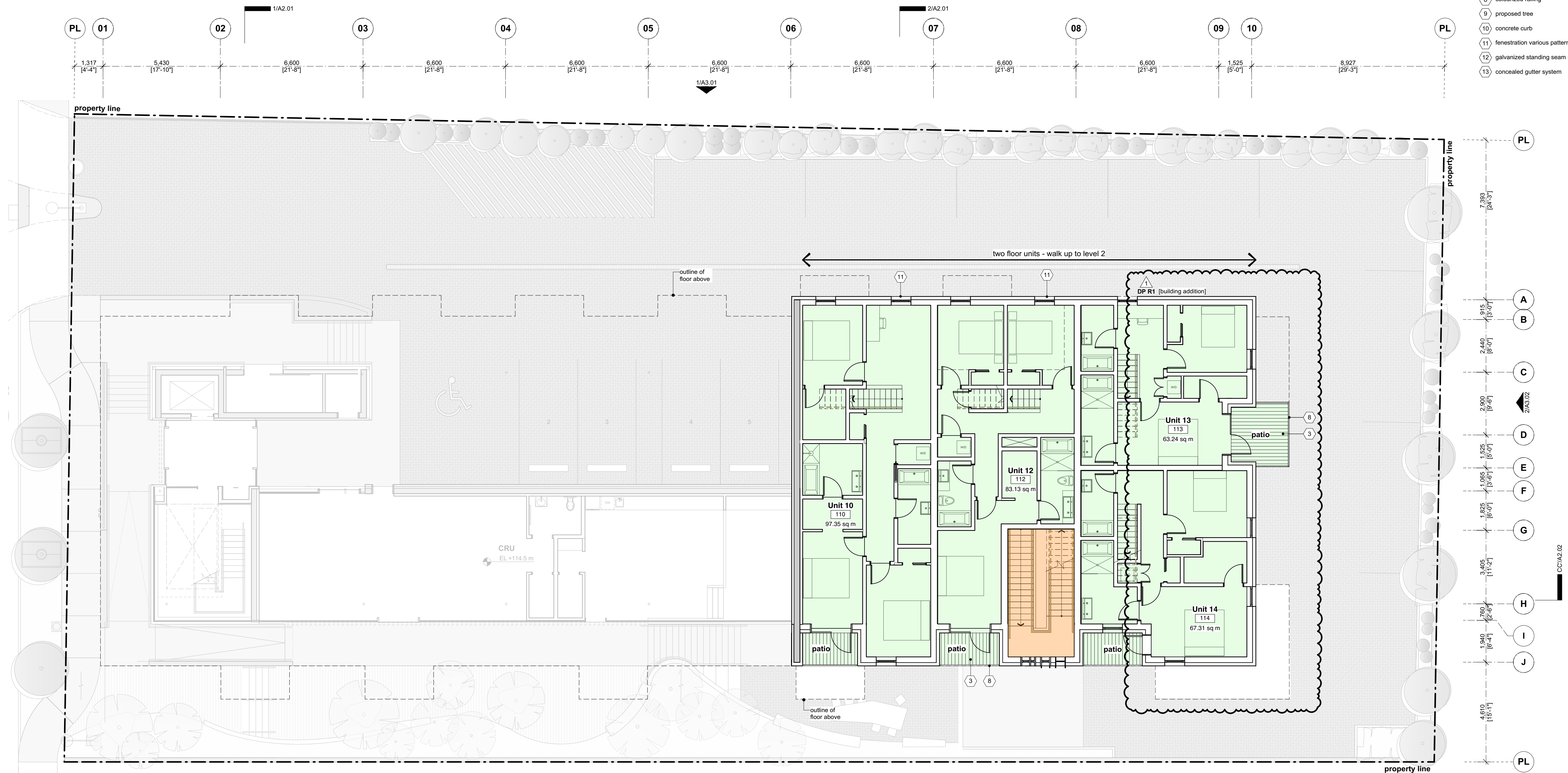
Wall Legend

- new wall assembly
- new partition assembly
- curtain wall glazing

Keynotes

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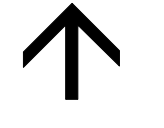
Total gross floor area Level 1 Residential: 272.64 sqm

Note:
 • All exterior light to be located at over hangs and oriented downward to landscape following night-sky friendly design guideline

DP R1 (building layout revised to accommodate 14 apartment units)

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 project code DWG status DP

Level 1 Plan

A1.02

Occupancies colour code

- common areas
- commercial
- dwelling
- circulation

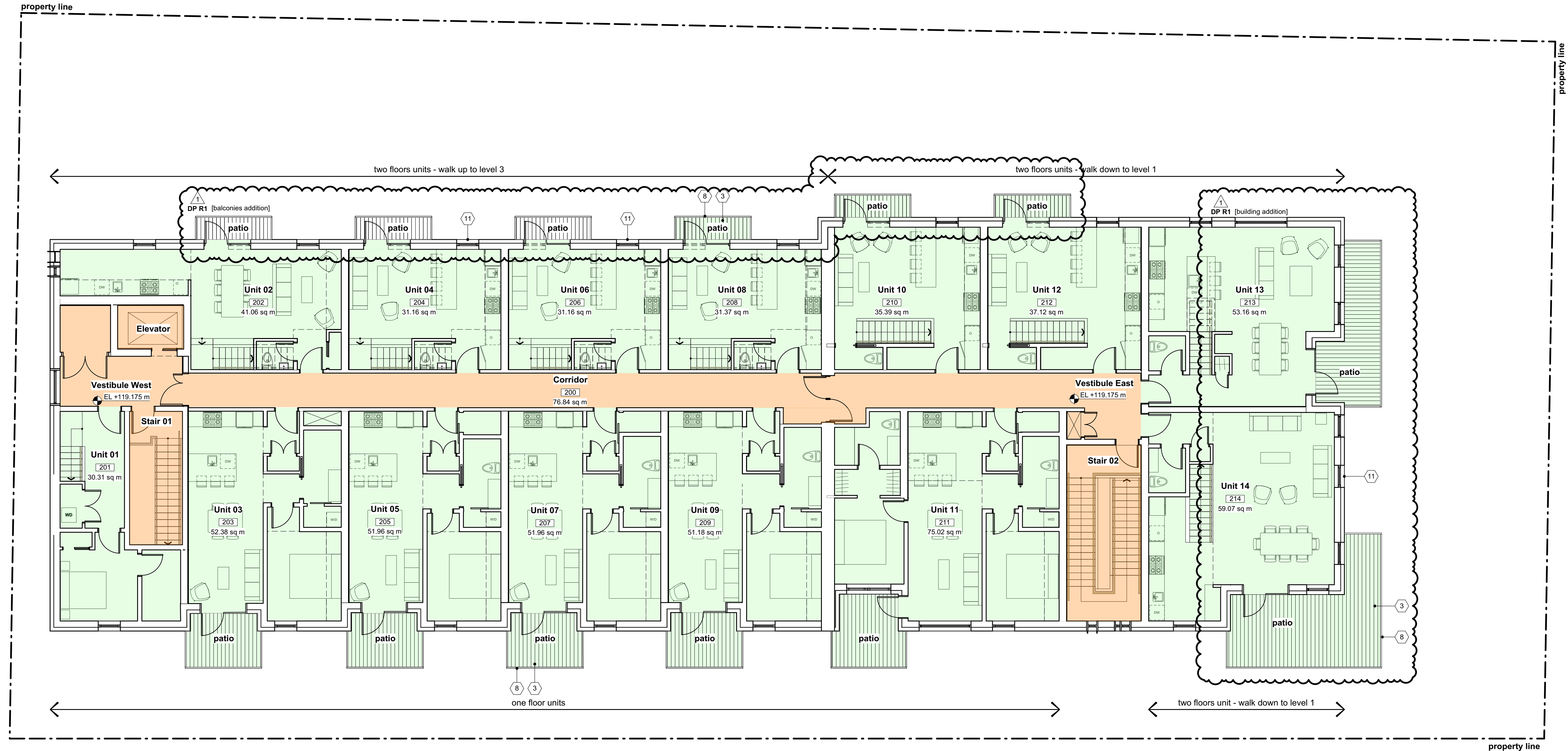
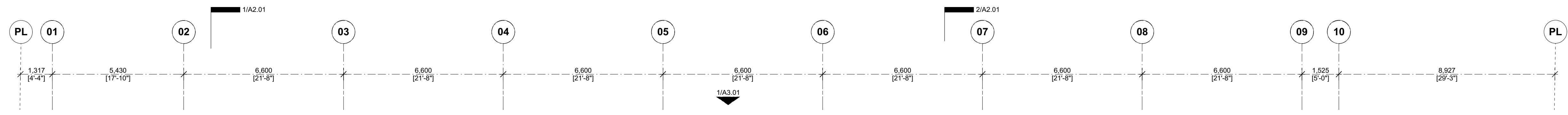
Wall Legend

- new wall assembly
- new partition assembly
- curtain wall glazing

Keynotes

- 1 pavers (herringbone pattern)
- 2 proposed concrete sidewalk
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Total gross floor area Level 2: 669.62 sqm

No.	Date Appr	Revision Notes
2/A2.01		
2/A3.01		
2/A3.02		

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Note:
 • All exterior light to be located at over hangs and oriented downward to landscape following night-sky friendly design guideline

DP R1 (building layout revised to accommodate 14 apartment units)

Level 2 Plan

A1.03

Occupancies colour code

- common areas
- commercial
- dwelling
- circulation

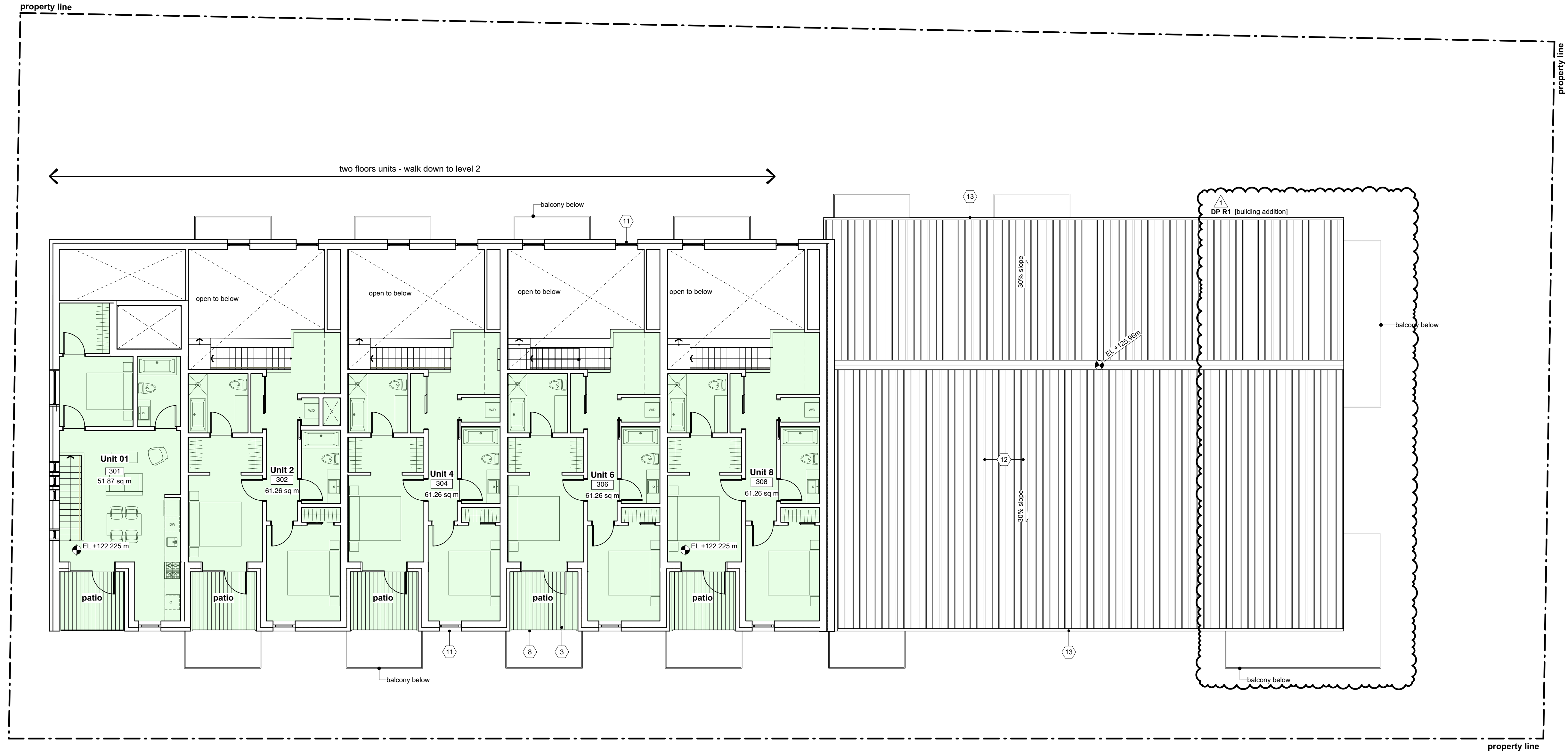
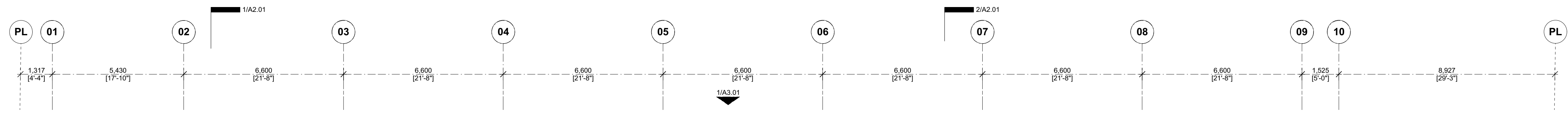
Wall Legend

- new wall assembly
- new partition assembly
- curtain wall glazing

Keynotes

- 1 pavers (herringbone pattern)
- 2 proposed concrete sidewalk
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- 5 curtain wall glazing
- 6 landscape (refer to L1.01)
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- 9 proposed tree
- 10 concrete curb
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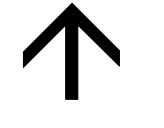
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Total gross floor area Level 3: 267.64 sqm

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DP R1 (building layout revised to accommodate 14 apartment units)

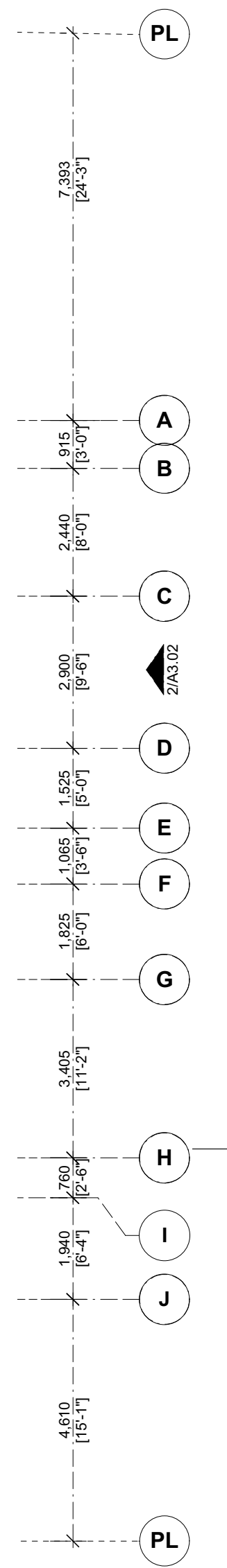
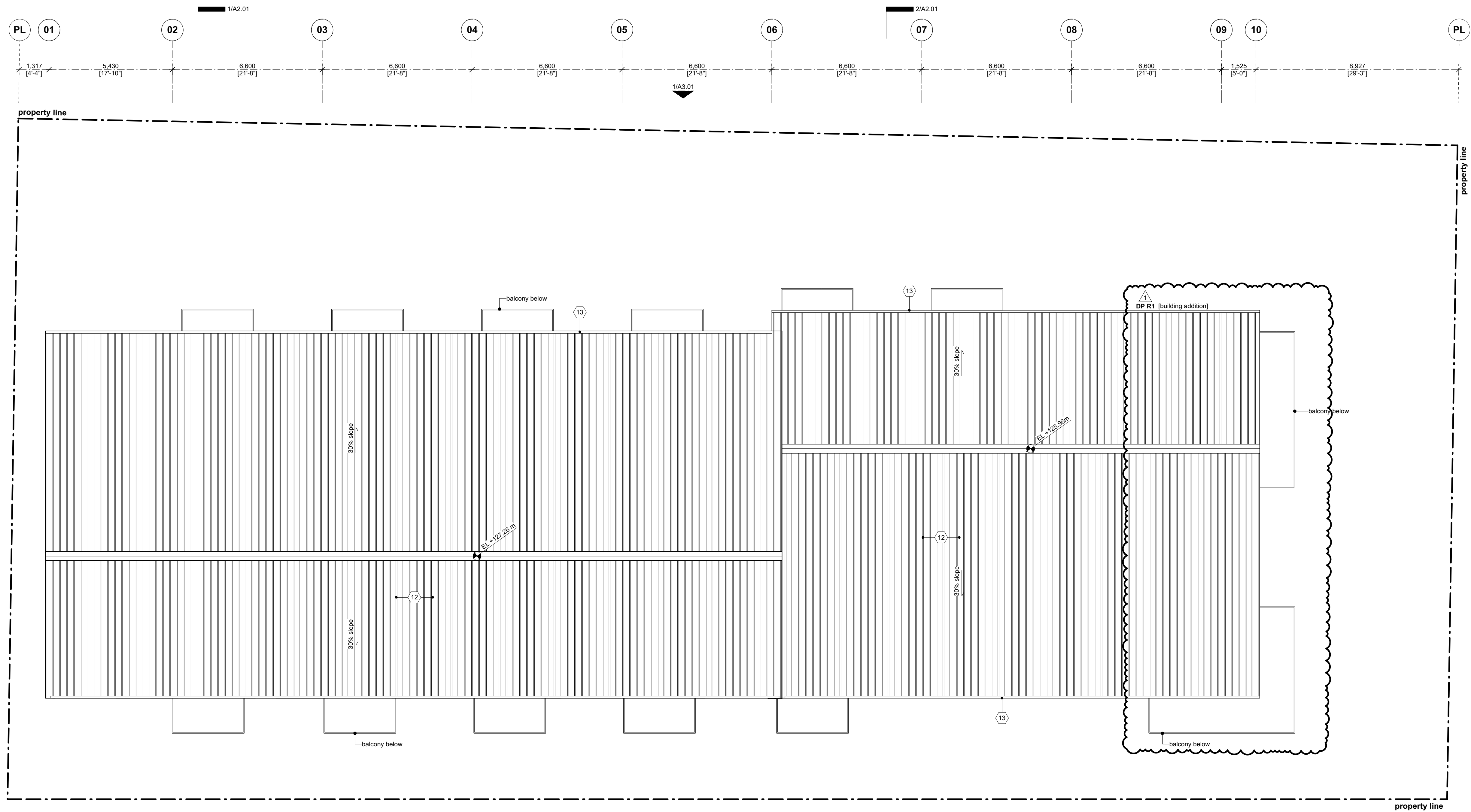
Level 3 Plan

A1.04

Keynotes

- 1 pavers (herringbone pattern)
- 2 proposed concrete sidewalk
- 3 cedar wood decking
- 4 feature concrete paving
- 5 curtain wall glazing
- 6 landscape (refer to L1.01)
- 7 proposed retaining wall
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- 10 concrete curb
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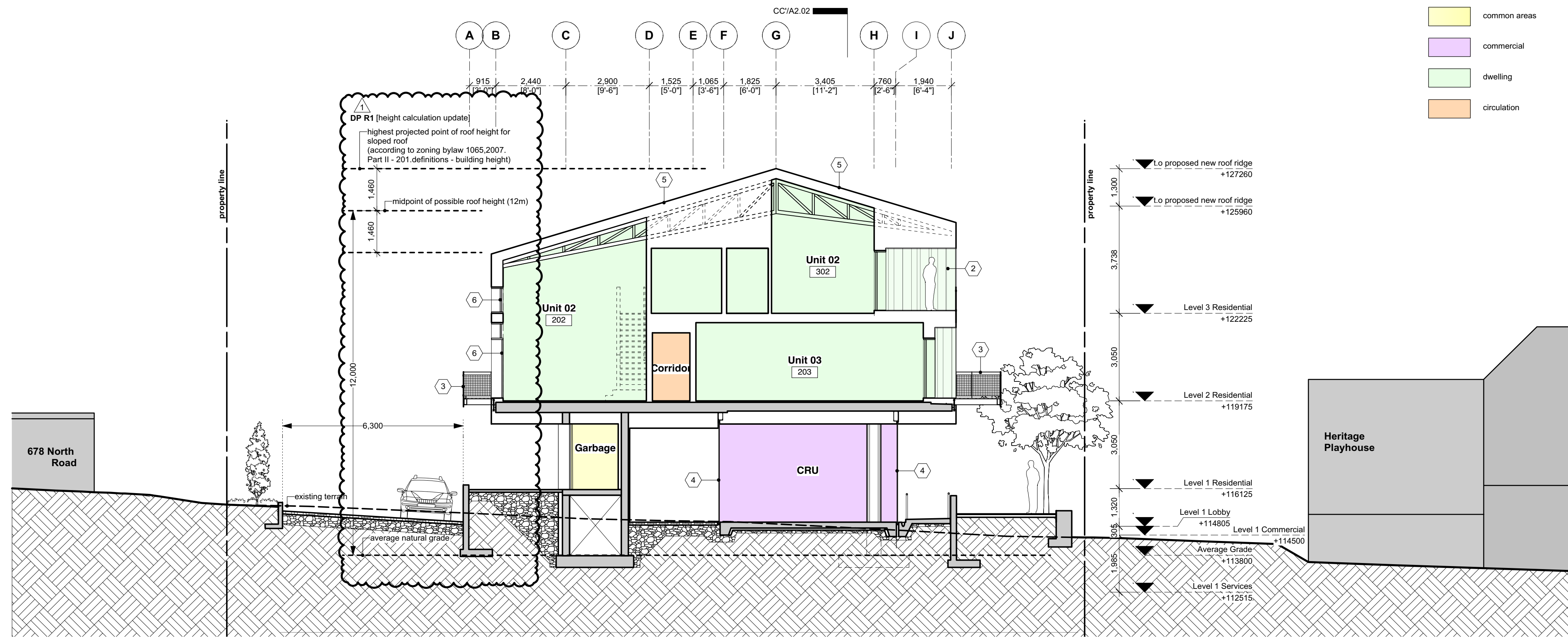
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DP R1 [building layout revised to accommodate 14 apartment units]

Roof Plan

A1.05



1 Section North - South (AA')

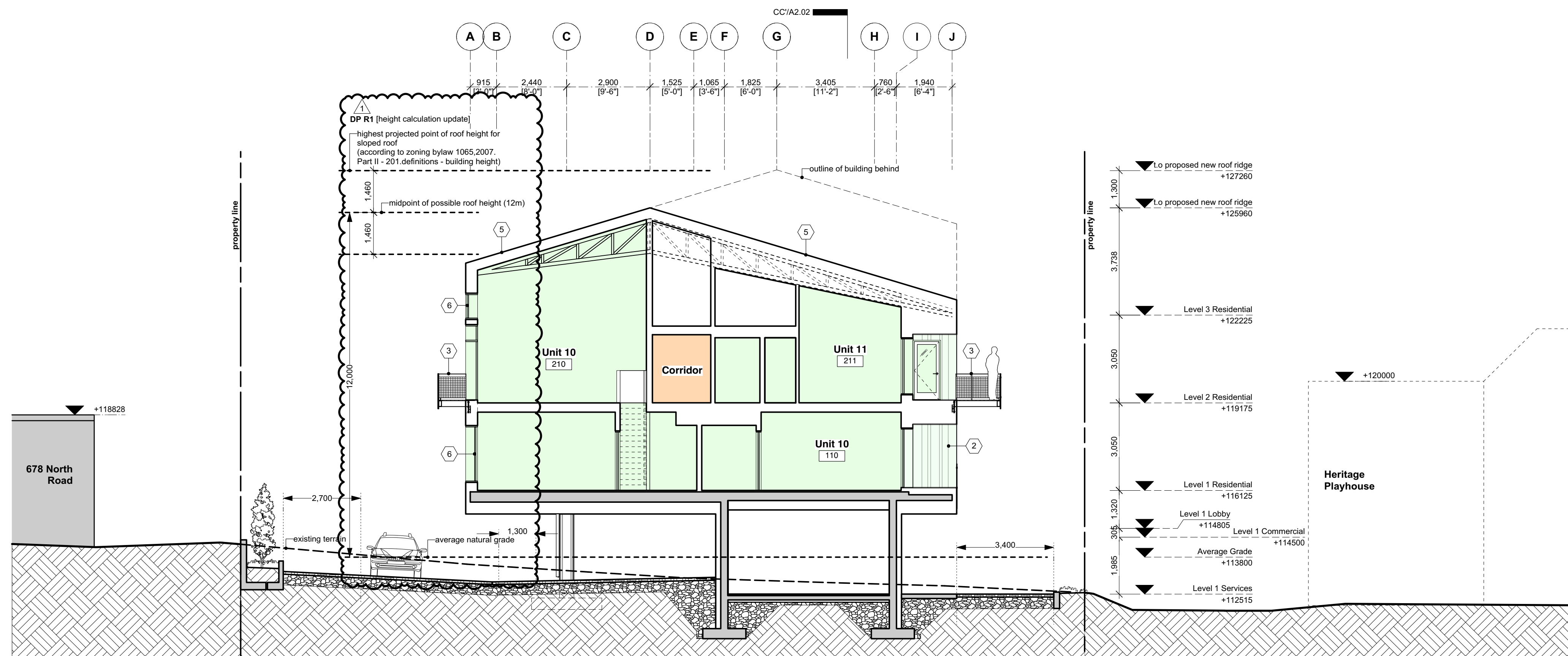
Occupancies colour code

- common areas
- commercial
- dwelling
- circulation

Keynotes

- ① wood grain aluminium composite cladding
- ② wood grain aluminium composite cladding - bright
- ③ colorized railing
- ④ curtain wall glazing
- ⑤ galvanized standing seam roof
- ⑥ fenestration various patterns
- ⑦ concrete paneling
- ⑧ architectural concrete
- ⑨ steel panel

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2 Section North - South (BB')

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Section AA'+
 Section BB'

A2.01

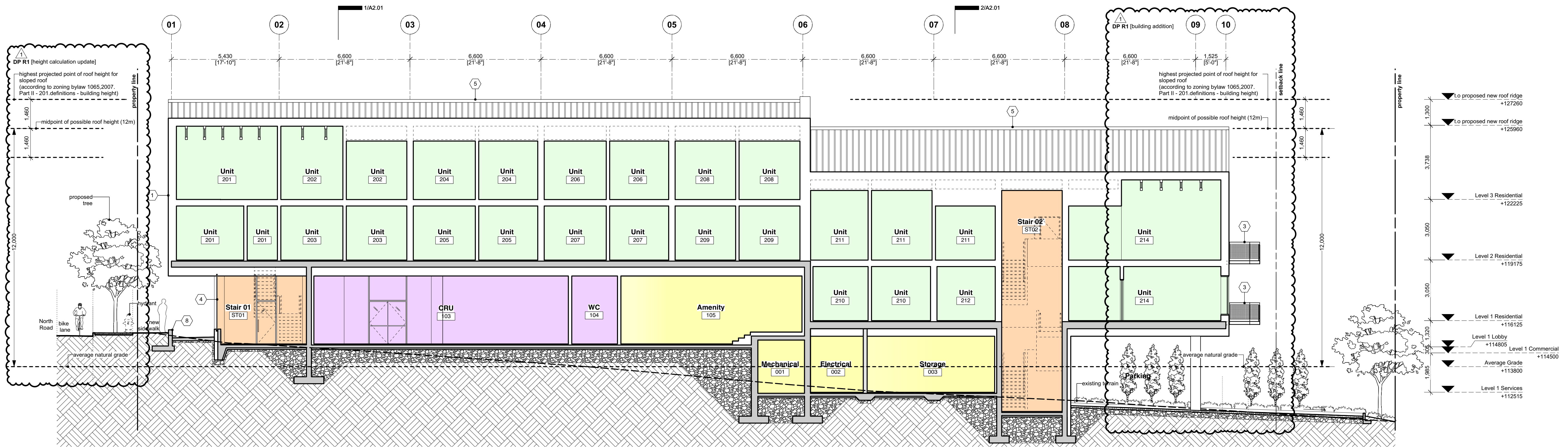
Occupancies colour code

- common areas
- commercial
- dwelling
- circulation

Keynotes

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- ② wood grain aluminium composite cladding - bright
- ③ colorized railing
- ④ curtain wall glazing
- ⑤ galvanized standing seam roof
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- ⑦ concrete paneling
- ⑧ architectural concrete
- ⑨ steel panel

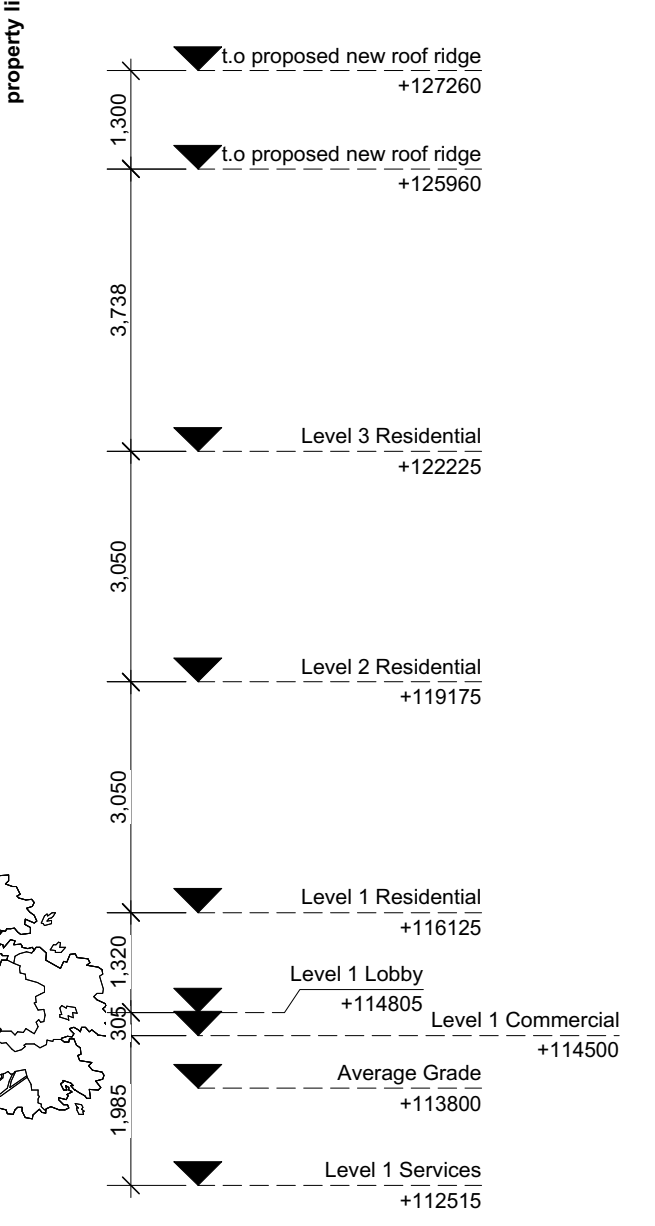
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1 Section West - East (CC)

DP R1 (building layout revised to accommodate 14 apartment units)

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Section CC'

A2.02

Keynotes

- 1 wood grain aluminium composite cladding
- 2 wood grain aluminium composite cladding - bright
- 3 colourized railing
- 4 curtain wall glazing
- 5 galvanized standing seam roof
- 6 fenestration various patterns
- 7 concrete paneling
- 8 architectural concrete
- 9 steel panel

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1 North Elevation

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North Elevation

A3.01

Keynotes

- 1 wood grain aluminium composite cladding
- 2 wood grain aluminium composite cladding - bright
- 3 colorized railing
- 4 curtain wall glazing
- 5 galvanized standing seam roof
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- 7 concrete paneling
- 8 architectural concrete
- 9 steel panel

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1 South Elevation

No.	Date	Appr	Revision Notes

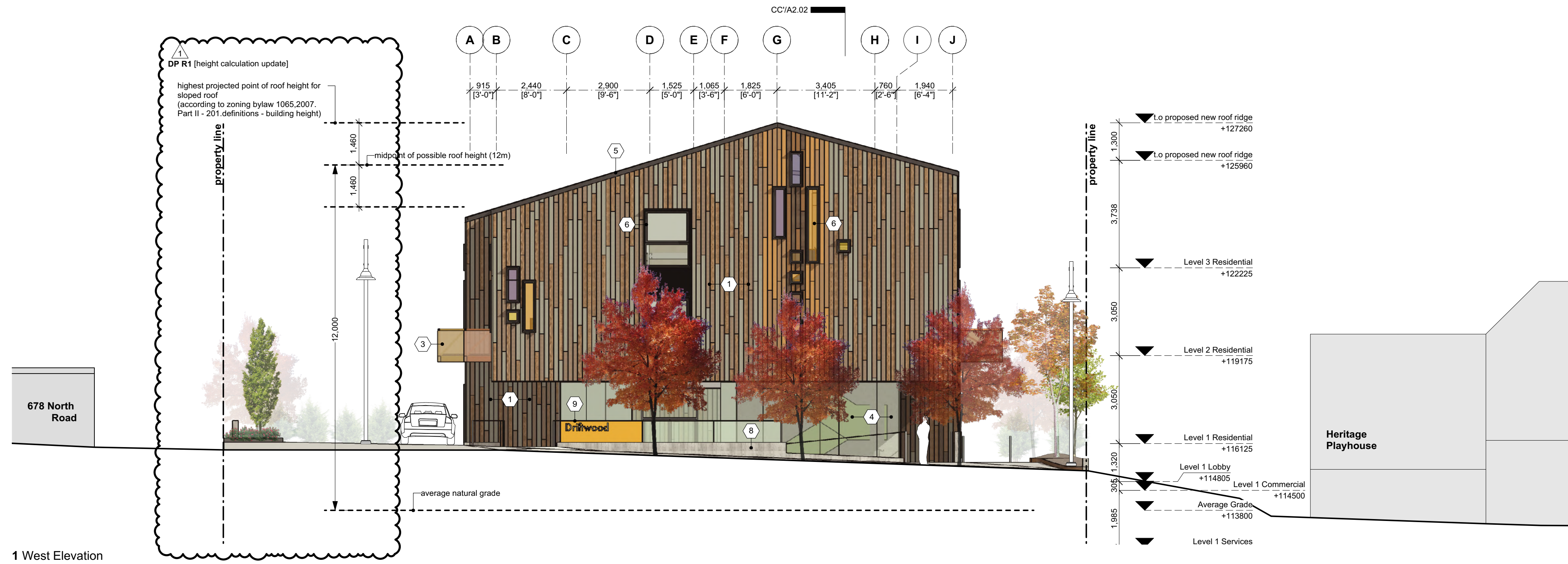
RSAAW
 Rafael Santa Ana Architecture Workshop Inc
 1930 Columbia St
 Vancouver BC
 V5Y 4A2
 604.628.7881
 RSAAW.com

Driftwood Gibsons
 672 North Road

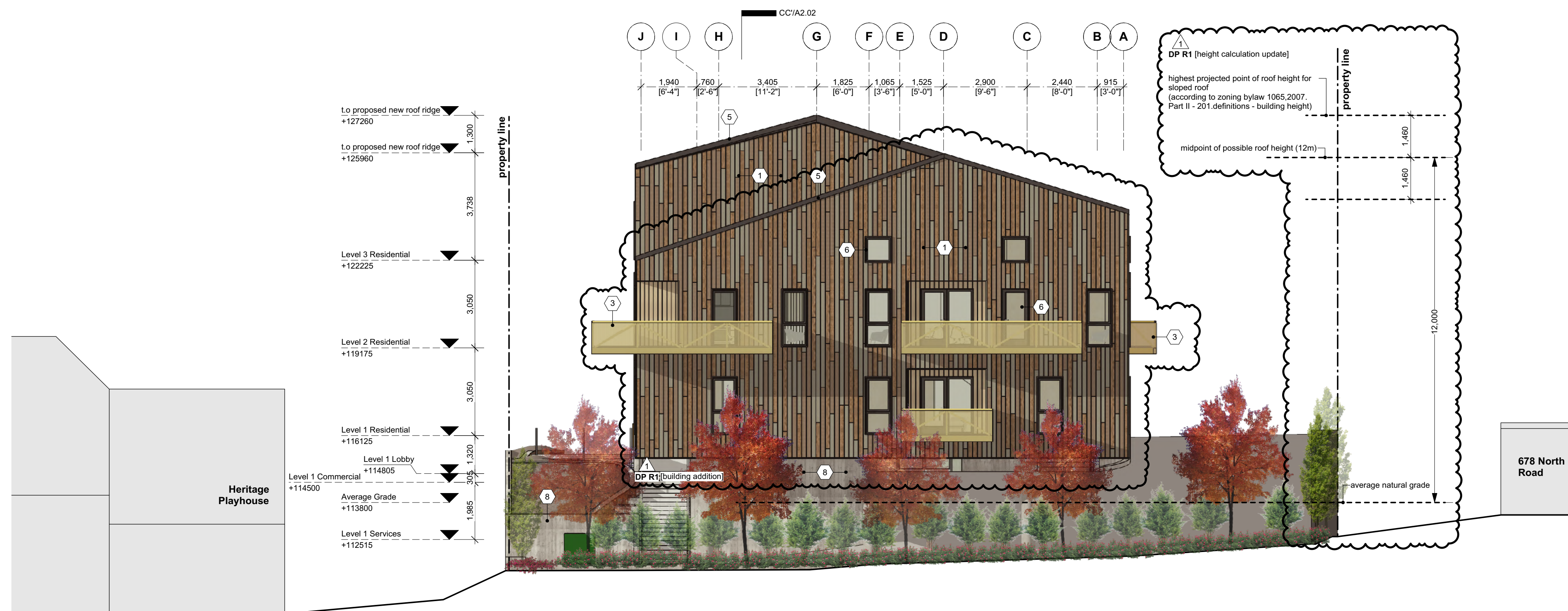
scale	1:100	drawn by	BD/LDC/LL
date	11 July 2018	reviewed by	RSA
project code	DWG	status	DP

South Elevation

A3.02



1 West Elevation



2 East Elevation

Keynotes

- 1 wood grain aluminium composite cladding
- 2 wood grain aluminium composite cladding - bright
- 3 colorized railing
- 4 curtain wall glazing
- 5 galvanized standing seam roof
- 6 fenestration various patterns
- 7 concrete paneling
- 8 architectural concrete
- 9 steel panel

No.	Date	Issue Notes
A	18-8-30	issued for review
B	18-9-18	Develop. Permit issued for review
C	21-11-02	issued for review
D	21-11-10	DP Revision 1

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project code	DWG	status	DP

West + East
 Elevation

A3.03



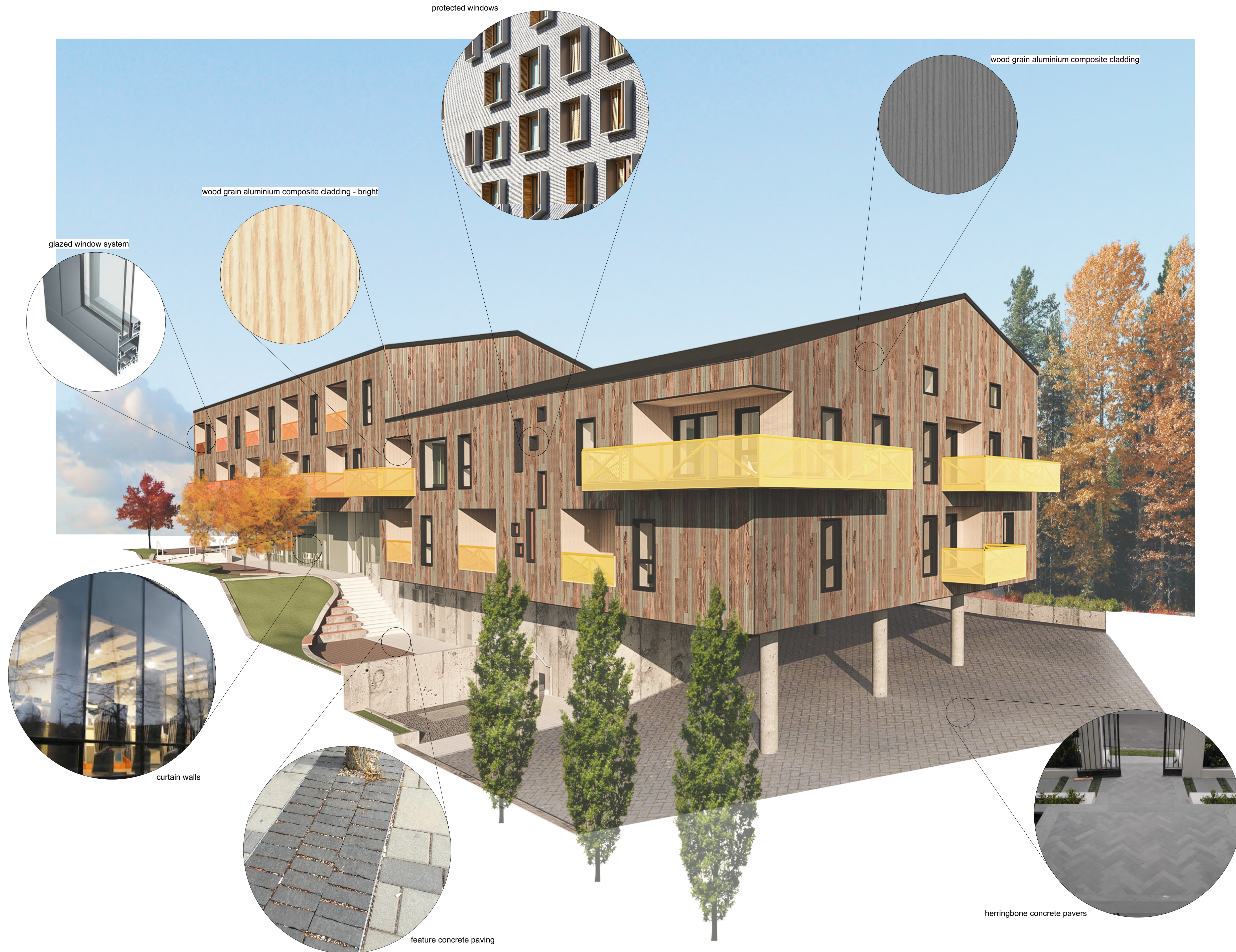
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NTS	BD/LFF
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