



# THE TERRACES

## DP REV1

**applicable codes:**  
British Columbia Building Code 2018  
Town of Gibsons zoning bylaw

**project address:**  
456 - 458 Marine Dr., Gibsons, BC VoN 1V1

**description of work:**  
The proposed development consists of streetside retail and 5 levels of residential, terracing down the slope toward the ocean.

The 1600 SF retail area is at street level (level 4), with utility/ storage space at level 3.

There will be 9 residential units and 10 parking stalls. Parking is at levels 2 and 3.

Residential units are on levels 1, 2, and 3 (a total of 6 units), 2 two-story units at levels 4 and 5, plus one unit at level 5 above the retail area.

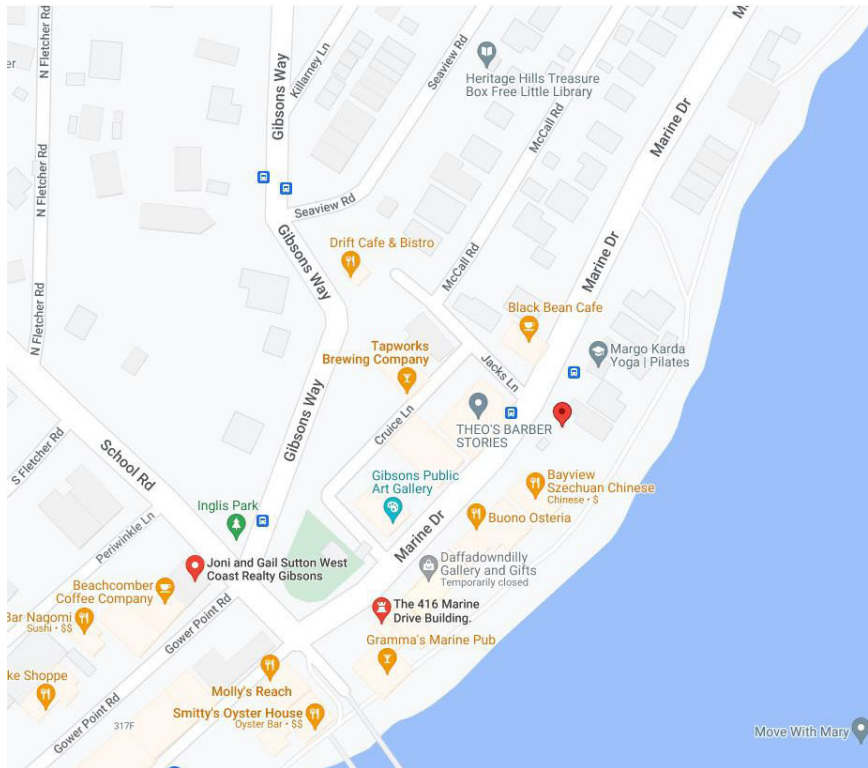
**legal description:**  
Lot B Block D Plan VAP3971 District Lot 686  
Lot A Block D Plan VAP6401 District Lot 686

**P.I.D.**  
009-446-958 - 010-897-283

**zone:**  
Marine Drive commercial zone 8 (c-8)

**dpa(s):**  
- Geotechnical Hazard Development Permit Area No. 1  
- Environmentally Sensitive Development Permit Area No. 2  
- Gibsons Landing Development Permit Area No. 5  
- Gibsons Aquifer Development Permit Area No. 9

**building classification:**  
Mixed use Retail / Residential



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Ao.7	zoning analysis & notes
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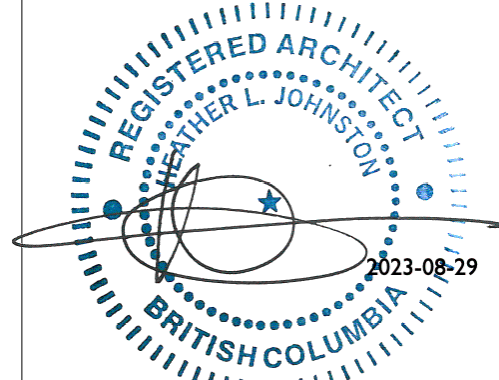


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### project information

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**Ao.o**

25 aug 2023



abbreviations

ab	anchor bolt	ko	knockout
ab	as built		
a/c	air conditioning	max	maximum
act	acoustical tile	mech	mechanical
a.d.	area drain	mtl	metal
adj	adjustable	mfr	manufacturer
aff	above finish floor	min	minimum
		m.o.	masonry opening
		mull	mullion
bd	board		
bdg	building	nic	not in contract
bm	beam	nts	not to scale
b.o.	bottom of		
CL	center line	o/	over
cl	clear	o.c.	on center
clg	ceiling	opg	opening
cj	construction joint	opp	opposite
cmu	concrete masonry unit	o.d.	overflow drain
c.o.	cleanout		
col	column	pl	plate
conc	concrete	PL	property line
conn	connection	plas	plaster
cont	continuous	plywd	plywood
ct	ceramic tile	pnl	panel
c.w.	cold water	pol	polished
		pt	point
		pvc	poly vinyl chloride
d	diameter		
dtl	detail	R	risers
dim	dimension	r	radius
ds	downspout	req	required
dwg	drawing	rm	room
		r.o.	rough opening
ea	each	r.o.w.	right of way
elec	electrical	rd	roof drain
el	elevation	ref	refer to
encl	enclosure	rein	reinforced/ing
eng	engineer	eq	smoke detector
eq	equal	sect.	section
ex	exhaust	sf	square foot/feet
(e)	existing	sht	sheet
ext	exterior	sim	similar
		sip	struct. insulated panel
f.d.	floor drain	specs	specifications
f.dn	foundation	sq	square
fin	finish	std	standard
fl	floor	stl	steel
f.o.	finished opening	stor	storage
foc	face of concrete	struct	structural
fio	furnished and installed by	ss	stainless steel
owner		susp	suspended
foic	furnished by owner installed		
by	contractor		
fof	face of finish	tel	telephone
fom	face of masonry	t&g	tongue and groove
fos	face of stud	t.o.	top of
ftg	footing	T	tread
		typ	typical
ga	gauge		
galvi	galvanize(d)	uno	unless noted otherwise
gwb	gypsum wall board	upo	unprotected opening
hdr	header	vfy	verify
hwr	hardwood	vif	verify in field
hw	hardware	vert	vertical
hm	hollow metal	vct	vinyl composition tile
horiz	horizontal		
ht	height	w/	with
hw	hot water	wd	wood
		wdw	window
		w.p.	work point
id	inside diameter	wr	water resistant
inv	invert	wrb	weather resistive barrier
insul	insulation	ws	weather stripping
int	interior	wwf	welded wire fabric
j box	junction box		

symbols

smoke detector	
exit sign	
spot elevation	
window tag	
door tag	
wall tag	
equipment tag	
plumbing fixture tag	
floor level	
detail callout	
section tag	
elevation tag	

Division 1 General Conditions

1. All work shall comply with all applicable codes and ordinances. (2018 BC building code and local amendments) Any conflicts between the codes and the construction documents should be immediately brought to the Architect's attention.
2. The Contractor shall be familiar with all mechanical, plumbing, and electrical work on the project. The Contractor shall provide all necessary shafts, openings, bases, curbs, blocking, and structural supports for ducts, conduit and equipment as required.
3. The Contractor shall provide all items, materials, articles, operations and/ or methods listed or scheduled on the drawings including all labor, materials, equipment and incidentals necessary and/ or required for completion of the work. See specific notes in this section for divisions 2-16 or as listed on the drawings.
4. All mechanical, electrical, and plumbing work shall be completed under separate permits, and in compliance with all applicable codes and ordinances. Submit cut sheets or samples of any equipment that will be visible from the finished space to Owners for approval prior to installation. Any visible mechanical equipment not submitted and approved may be subject to removal.
5. The Contractor shall provide all shoring, bracing, and barricading necessary to ensure the structural stability of the building and the safety of all who enter the job site during construction.
6. The Architect will not be responsible for determining construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work. The Architect will not be responsible for any failure of the contractor to complete the work in accordance with the contract documents. The Architect will not be responsible for the acts or omissions of the contractor, sub-contractors, any of their agents or employees, or any other persons performing any of the work.
7. The Contractor to verify all existing conditions and dimensions, and notify Architects of any discrepancy or uncertainty.
8. The contractor shall have a preconstruction meeting with Owner, Architect, and major Sub-contractors prior to the start of any work.
9. Do not scale drawings. Written dimensions take precedence over scaled dimensions. Details take precedence over general conditions. Dimensions on drawings are taken to the face of concrete walls, to the face of studs and to the face of columns unless noted otherwise.
10. No change in scope or intent of the work shall be made without approval of the Architect and Owners. Any work completed which deviates from intended scope without prior approval can be rejected and subject to removal at the Contractor's expense.
11. Floors and walls are to be finished under and behind casework and equipment, except as specifically shown otherwise on the drawings.
12. Shop drawings and/or material samples shall be prepared by the Contractor and submitted to the Architects for review on the following items. Allow 5 days for Architects' review. Send at least two copies of every submittal, more if Contractor or Sub-contractors need multiple copies. Every effort will be made to turn submittals around as quickly as possible.
  - All finish materials
  - Casework, custom furniture and installations
  - Doors, Windows, and Frames
  - Hardware, fittings and fixtures
  - All visible HVAC equipment (cut sheets OK)
  - All visible electrical equipment (cut sheets OK)All paint and finish samples must be approved by Owners. Roll-out a 4' x 8' section of each wall paint color in the space and paint a 6' length of all trim pieces for Owner approval prior to purchase of full paint order. Do not proceed with painting until these roll-outs are approved.
13. Alternatives and substitutions to drawings and specifications may be acceptable, but the Architect or Owners must approve these. Any item substituted without approval may be subject to removal.
14. Contractor to verify rough opening requirements of fixtures and equipment prior to installation, and verify locations of wall mounted accessories and backing for accessories with Owners prior to closing of the walls.
15. Contractor to provide the necessary containers for recycling and trash removal and keep the work area reasonably clean at all times. The Contractor shall be responsible for the removal of all debris from wall and joist spaces before enclosure, from crawl and attic spaces before completion, and from the site before punch list.
16. During demolition and construction the Contractor will protect all new work and existing to remain surfaces, building components, and landscape. Damage or disturbance to existing to remain building or landscape elements shall be promptly restored, repaired, or replaced to match existing at no cost to the Owners.
17. Upon completion of the work, the Contractor shall complete a thorough cleaning and touch- up of any marked or damaged materials or surfaces in the area of work and in any other areas of the building affected during construction.
18. At the Owners' request, when the Contractor considers work substantially complete, notice may be made to Architects. Upon inspection of the work, the Architect will either notify the Contractor in writing of deficiencies in the work or the Architect will accept the work as being substantially complete. If the work is accepted, the certificate of substantial completion will be prepared, accompanied by the Contractor's list of items to be completed or corrected, as verified and amended by Architect and Owners. The Owners and Contractor must accept the responsibilities assigned to them in the certificate. Substantial completion is defined as that point in the project when the job is sufficiently complete, in accordance with the Contract Documents, that the Owners can occupy or utilize the Work or a designated portion thereof for the use for which it is intended. The final inspection performed by the governing agencies shall be signed-off at or before substantial completion.
19. When the work is accepted as substantially complete, the Contractor shall prepare the necessary closeout submittals. The project will not be considered complete without satisfaction of all lien releases as agreed upon between the Owner and Contractor.
20. Upon acceptance of the Work, the Contractor will submit to the Owners a tabbed three ring binder containing the following items:
  - Product and equipment guarantees
  - Warranties
  - Operating and maintenance information on equipment and specialized building components used in the project
  - Special maintenance information for finishes used in the project, as appropriate
  - A list of subcontractors involved in the job, their addresses and phone numbers.
21. Final payment will be made after closeout submittals are complete and based on the agreement of final payment in the contract between Owner and Contractor.
22. Contractor to site verify floor to floor heights for stair fabrication prior to commencement of work, any discrepancies from the Architectural drawings must be reported to the Architect.

Division 6 Wood

Provide 8" minimum from finish grade to any exposed lumber or siding. Use pressure treated wood for sill plates and exterior rated timber or cedar for all wood decks and railings.

Provide backing for wall mounted equipment and fixtures where shown on plans or interior elevations, typ.

Division 7 Thermal and Moisture Protection

Install vapor barriers of either Tyvek Housewrap or (2) layers 30 minute building paper with all seams taped on exterior walls. Use 2 layers 60 minute paper if the wall is to be covered with stucco.

Install 30# minimum felt or approved alternative on roofs; and 6 mil visqueen or equal around all concrete exposed to earth: footings, under slabs on grade, and over exposed dirt in basements, typ.

Waterproof wallboard is required at all wet areas including showers, tubs, and sink areas.

Ceramic tile is to be installed on waterproof wallboard (Durock, Hardiebacker, or similar) with schluter strips @ all exposed tile edges.

All roofing work is to be performed RCABC standards using approved materials and methods for a RoofStar 5 year warranty.

Division 8 Doors and Windows

All wired glass to be in conformance with CAN/CGSB-12.11-M "Wired Safety Glass." It will be 1/4" thick glass, reinforced with a steel wire mesh in the form of squares at 25mm o.c. and be a diameter of 0.45mm. The glazing will be set in fixed steel frames with metal not less than 1.35mm thick with a glazing stop (20mm) on both sides of the glass.

Required Inspections

- Contractor is required to request from the architect in writing a minimum of 48 hours in advance inspections at the following stages of construction:
1. At the time any membrane or building envelope component is to be covered up, (ie. foundation backfill, siding installation, drywall installation, etc.)
2. Prior to covering up components making up part of a fire separation once they have been installed.
3. Once again at final inspection.

Required Submittals

The contractor is required to provide submittals for the following items for review and approval by the architect prior to ordering or manufacturing the following building components:

1. All door hardware, and doors/ windows.

2. Stairs, handrails, or guardrails.

3. All building components making up any portion of a fire separation including, but not limited to, fire dampers, fire caulking, and fire blocking.

Proposal Summary

Site and surroundings

The subject properties consist of two lots along the waterfront at 456 and 458 Marine Drive on the north end of the Village Landing. The two lots are approximately 27 m deep and 28 m wide (717 m2). The lots slope steeply (40%) down from the road to the shoreline. The uphill property line of the lot closest to the street is about 3 m below the street level. An existing concrete retaining wall separates the street from the lot. The site is covered with small trees and bushes. There are no existing structures on the site. Access to the site is from Marine Drive, which is occupied by an existing pedestrian crosswalk and bus stop. The subject properties are designated Mixed Use Commercial in the Official Community Plan and are zoned C-8 Marine Drive Commercial Zone.

The surrounding uses include:

	Use	Zone	OCP Designation
South	Apartment building and restaurant	C-4 Limited Commercial	Mixed Use
West	Jack's Lane and a retail store	C-5 Downtown Commercial	Mixed Use
North	Single Family Residence	CDA Comprehensive Development Zone	Multi-Family Residential Special Character
East	The Town's sewer right-of-way with the waterfront walkway over top of it and the ocean beyond the right-of-way		

The subject property is within four Development Permit Areas, including:

- Geotechnical Hazard Development Permit Area No. 1
- Environmentally Sensitive Development Permit Area No. 2
- Gibsons Landing Development Permit Area No. 5
- Gibsons Aquifer Development Permit Area No. 9

Geotechnical Hazard Development Permit Area No.1.

A report has been provided by a qualified professional that will be submitted to the city along with the rest of the documents.

Location of Dwellings or Structures

The project site is defined on Schedule C as a low geotechnical hazard area. Per the Geotech report, the likelihood of instability or landslide occurring and affecting the proposed site is low.

Ocean Shoreline

The 15m setback at the rear property line will make the buildable area very small. The proposed development will be sited 3m from the rear property line, and a variance application will be submitted to reduce the setback to 3m.

Flooding

The proposed development will be sited at a 6m elevation above the current natural boundary of the sea.

Environmentally Sensitive Development Permit Area No. 2.

A report has been provided by a qualified professional that will be submitted to the city along with the rest of the documents.

Possible Contaminated Sites

The site has never been used for industrial or commercial purposes or activities. The proposed development will have nine residential units with one retail unit at the street level on Marine Drive.

Marine Shore Areas

The proposed development will be located 3m from the rear property line. There is no structure within the 3m setback to protect these areas and the associated fish habitat from the potential adverse effects of development. The setback is undisturbed and naturally vegetated. The proposed landscape plan consists of native & bird-friendly vegetation.

Gibsons Landing Development Permit Area No.5

Building Scale and Massing

The proposed building consists of 5 stories; only two stories will be in height facing Marine Drive. The proposal includes variances to increase the maximum height of the building along the street frontage from 4.5 m to 6.0 m and to decrease the minimum rear yard setback from the required from 6 m to 3 m. The proposed development consists of 9 residential units on five levels and retail space on the street level. The apartments provide a range of sizes allowing for multiple options for town residents, including 8 two-bedroom with den units, and 1 three-bedroom units. 2 units at the street level are two-story with direct access from Marine Drive.

View Protection

To protect the view from across Marine Drive, the building is only two stories in height facing Marine Drive. The maximum height is 6m and the highest roof peak is 7.5m.

View Corridors

The 3m setback on the east side of the property provides visual access to the ocean views from Marine Drive.

Terracing

The building will be terraced to follow the natural contours of the site, keeping the overall massing close to the slope while providing every unit with excellent ocean views and generous outdoor private patio space.

Roofs and Canopies

The roofline is a significant element of the overall aesthetic of the building. Inspired by the context and cherished historic character of Gibsons Landing, a series of gabled roofs with varied pitches combine with flat roofs to wrap the entire façade. These varied rooflines break up and articulate the long facade along Marine Drive. This design considers Gibsons' history and development patterns, contributing to the preservation and extension of its heritage small-town character. Glass canopies above the main entry door, retail entry, and unit doors on the street level emphasize the access points.

Roofing Materials

Since the building height is taller than 4.5 m, metal roofing is used on the gable roof along the Marine Dr. and ocean side. These roofs are not subject to overview from nearby buildings.

Daylight and Sunlight

Large windows and doors at the balconies allow for maximum daylighting to all units.

Streetscape

Planter boxes on the facade and along the building on the Marine Drive sidewalk reinforce character and a sense of place. A vine maple street tree will provide shade and lively fall color.

Planting

The proposed landscape plan consists of native & bird-friendly vegetation. The landscape design will reinforce the connection from street to ocean, providing moments of delight as one descends the stairs and explores the foreshore. Trees in the foreshore garden will provide shade, protection, and color.

Lighting

Beside each door and entry, we have placed a downlight-only wall sconce to light the entry while avoiding light spill into surrounding areas.

Transitions – Fencing and Landscaping

The foreshore garden in the building setback area will be naturally vegetated with trees and plantings that work as a natural barrier between the shoreline trail and the building. The proposed Landscape consists primarily of local indigenous species.

Parking

9 parking stalls for residential units have been provided at levels 2 and 3. The retail area parking is behind the car elevator at the retail level. The parking is not visible on any facade. The access to the parking is through a car elevator from the street level. We have chosen the car elevator instead of ramps to maximize space for living and recreation on the site.

Waterfront Links

The 3m setback on the east side of the property provides visual access to the ocean views from Marine Drive. It will be a gravel path that is accessible for the building only. The residential units can access the waterfront through the interior staircase that opens to the rear setback.

Frontage

The frontage of the building consists of various uses: residential, storefront retail, and parking access with an overhead door. The retail area frontage is about 7m (23'), with the storefront (glass entry door and windows) of 3.8m (12.7').

Street-Level Use / Transparency

The storefront has a glass entry door and windows of 3.8m (12.7') to make it highly transparent and a different siding color to bring visual attention to the use.

Weather Protection

Glass awnings have been provided above the retail entry and residential entry to provide weather protection for pedestrians.

Architectural Features

Multi-light windows in different sizes have been designed with flower boxes in front of them at the Marine Drive side to provide visual interest. Variation in materials and massing, the mix of rooflines, and wood window shutters add life and texture to the elevation.

Materials and Colours

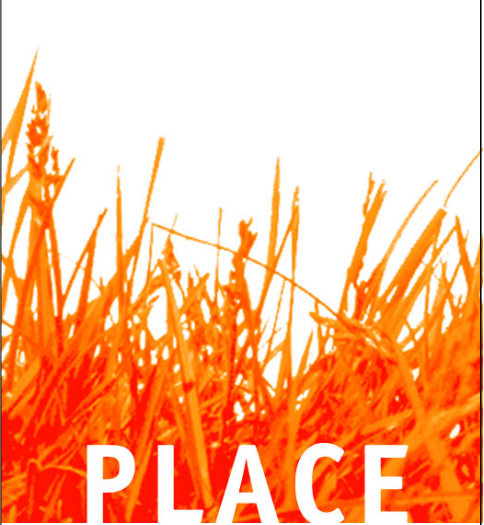
Exterior building materials include wood siding and corrugated metal siding in two colors. Reveals and careful transition details will highlight each material in context. The cladding color combinations divide the building surfaces into smaller masses and complement one another. The use of colors with contrast and natural wood was incorporated to provide visual interest. The black metal fascia is durable and emphasizes the roofline.

Gibsons Aquifer Development Permit Area No. 9.

A report has been provided by a qualified professional that will be submitted to the city along with the rest of the documents.

Guidelines for Excavation in the Lower Gibsons Subarea

Per the hydrologist assessment report, the bottom of the Vashon till is at an elevation of approximately 5.5 masl. There is a certain amount of uncertainty in the estimated 5.5 masl, and the only way to determine the exact depth of the till at the upper Site boundary is by drilling a borehole at this exact location. Per this preliminary recommendation, the first level elevation has been set for 6m above the current natural boundary of the sea.



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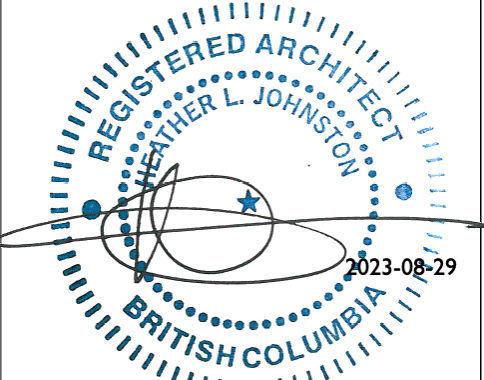
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SITE PLAN OF SELECTED TOPOGRAPHIC FEATURES

OF: LOT B (EXPLANATORY PLAN 6248) OF LOT 4 BLOCKS D,H AND J DISTRICT LOT 686 PLAN 3971  
AND OF: LOT A BLOCKS D, H AND J DISTRICT LOT 686 PLAN 6401

SCALE 1 : 300  
0 10 20 30 m  
THE INTENDED PLOT SIZE OF THIS PLAN IS 864mm IN WIDTH  
BY 560mm IN HEIGHT (D SIZE) WHEN PLOTTED AT A SCALE OF 1:300

CLIENT: VLAD CONSTRUCTION CORP.  
LOT: B  
PARCEL IDENTIFIER: 009-446-958  
CIVIC ADDRESS: 456 MARINE DRIVE  
GIBSONS, B.C.

LIST OF DOCUMENT NUMBERS OF ANY DOCUMENTS  
REGISTERED ON TITLE WHICH MAY AFFECT THE LOCATION  
OF IMPROVEMENTS THAT HAVE NOT BEEN DEFINED BY  
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362854M BB201655 CA2399957

LOT: A  
PARCEL IDENTIFIER: 010-897-283  
CIVIC ADDRESS: 458 MARINE DRIVE  
GIBSONS, B.C.

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442436M BB201655 CA2399957

LEGEND :

- SPOT ELEVATION
- FIRE HYDRANT
- WATER METER
- SIGN
- UTILITY POLE
- GUY WIRE
- LAMP STANDARD
- BIKE BOLLARD
- MANHOLE
- ROUND CATCH BASIN
- CATCH BASIN
- WATER VALVE
- DENOTES DIAMETER
- DECIDUOUS TREE
- DENOTES DIAMETER

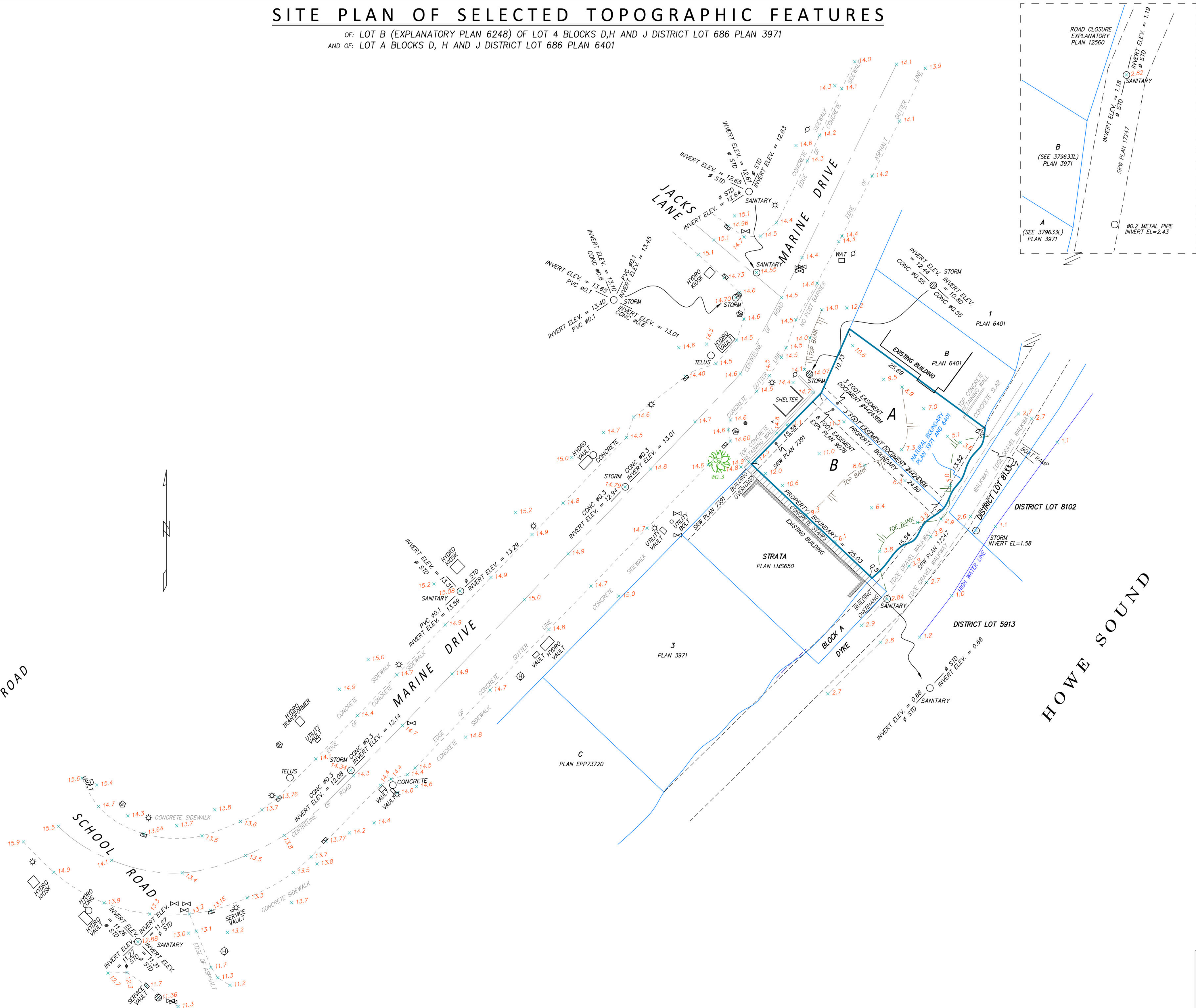
NOTES

- DISTANCES ARE IN METRES AND DECIMALS THEREOF  
ACCORDING TO LTSA RECORDS AND A FIELD SURVEY.
- THIS PLAN IS PREPARED FOR DESIGN PURPOSES ONLY.  
NOT TO BE USED FOR PROPERTY LINE RE-ESTABLISHMENT.
- SITE POSITIONING WAS BASED ON GPS OBSERVATIONS  
THEREFORE COORDINATES ARE UTM.
- ELEVATIONS ARE GEODETIC, SHOWN IN METRES, AND ARE  
DERIVED FROM GPS OBSERVATIONS,  
DATUM: CGVD28.
- NOT SUITABLE FOR MORTGAGE PURPOSES.
- BUILDINGS MEASURED TO EXTERIOR SIDING

DATED THIS 3RD DAY OF FEBRUARY, 2022  
Randy Arnold  
1FJ7XP

RANDY ARNOLD, BCLS  
THIS DOCUMENT IS NOT VALID UNLESS  
ORIGINALLY SIGNED AND SEALED.

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survey

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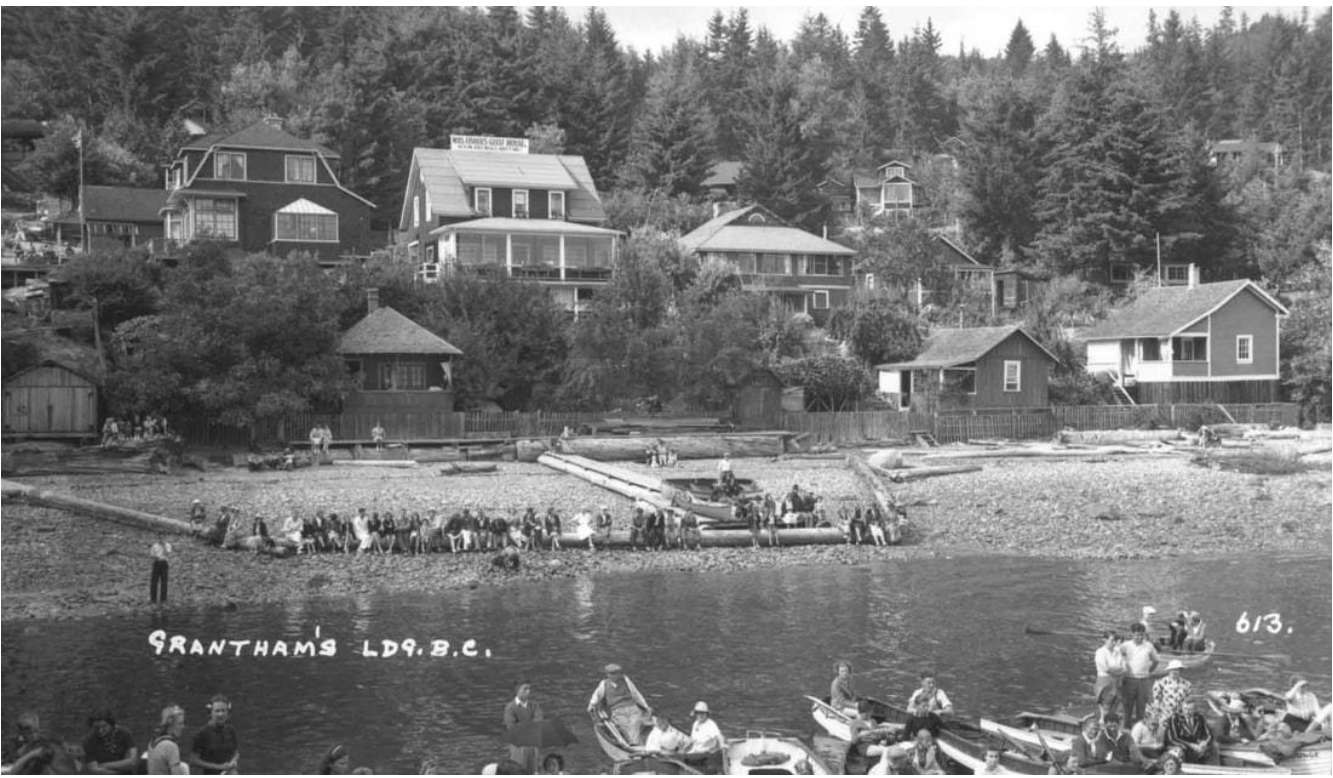
Ao.2

25 aug 2023





historic Gibsons



historic Gibsons



historic Gibsons



view from shoreline and walkway



view from waterside



view from sidewalk and shoreline



gravel walkway - shoreline



view from south east



view from Marine Drive



view from Jack Lane



south side neighbor



view from Marine drive to water



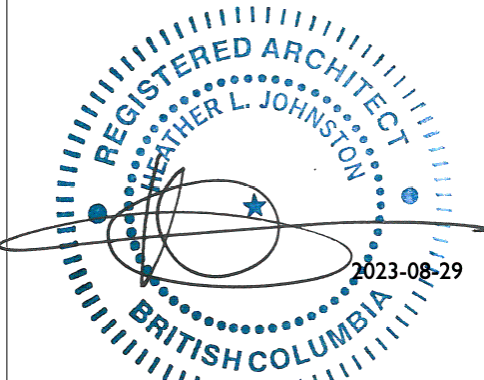
# THE TERRACES

456 - 458 MARINE DR., GIBSONS, BC V0N 1V1  
LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686  
009-446-958 - 010-897-283

PROJECT #		2231
no.	date	issue
01	26 july 2022	concept design
02	21 oct 2022	progress set
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## area context and perspective view

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view from Jacks Lane



view from Marine Drive - north side



view from Marine Drive - Near Molly



view from Marine Drive - south side



view from Tapworks Brewery



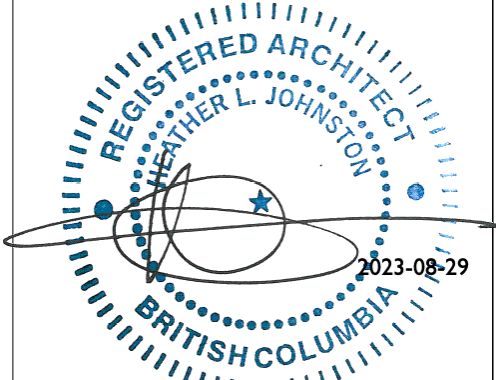
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perspective  
view - existing

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view from Jacks Lane



view from Marine Drive - north side



view from Marine Drive - Near Molly



view from Marine Drive - south side



view from Tapworks Brewery



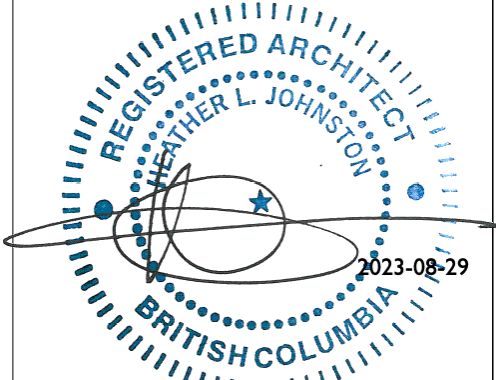
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perspective  
view - proposed

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PROJECT INFORMATION

PROPERTY ADDRESS	456 - 458 Marine Dr., Gibsons, BC VoN 1V1
LEGAL DESCRIPTION	Lot B Block D Plan VAP3971 District Lot 686 Lot A Block D Plan VAP6401 District Lot 686
P.I.D	009-446-958 - 010-897-283
APPLICABLE CODES	British Columbia Building Code 2018, Gibson Zoning Bylaw No. 1065, 2007
ZONING	Marine Drive commercial zone 8 (c-8)
OCF	Part E – Harbour Area Plan - village landing
OCF DESIGNATION	Mixed Use Commercial
GEOTECH HAZARDS DPA1	Low geotech hazard
ENVIRONMENTALLY SENSITIVE DPA 2	Marine shore (MA)
FORM AND CHARACTER DPA 5	Gibsons Landing
VIEW PROTECTION AREA	Subarea D

BC BUILDING CODE COMPLIANCE

3.1 GENERAL

Building Area:	6202.6 sq² (576.2 m²)
Sprinklered:	Yes
Building Height:	5 storey
Occupancies:	C, Residential Group F - Division 3, storage garage E, Mercantile occupancies

The Storage Garage on level 1 is Considered a separate Building as described under clause 3.2.1.2 " Storage Garage Considered as a Separate Building".  
It is separated from the building above by a 2 hour horizontal separation, and all penetrations by building services shall conform to clause 3.1.9.1. " Fire Stopping of Service Penetrations".

3.2 BUILDING FIRE SAFETY

3.2.2.50. Construction Type:	Group C, up to 6 Storeys, Sprinklered Combustible
Maximum Area:	1800 sqm if 5 storeys in building height
Floors:	1 hr
Loadbearing:	1 hr
Roof:	1 hr
Sprinklers:	yes
3.2.2.69. Construction Type:	Group E, up to 2 Storeys, Sprinklered combustible construction or noncombustible construction
Maximum Area:	1800 sqm if 2 storeys in building height
Floors:	45 min
Loadbearing:	1 hr
Sprinklers:	yes
3.2.2.86. Construction Type:	Group F, Division 3, up to 2 Storeys, Sprinklered combustible construction or noncombustible construction
Maximum Area:	2400 sqm if 2 storeys in building height
Floors:	fire separations and 45 min if combustible
Loadbearing:	45 min and noncombustible construction.
Roof:	1 hr
Sprinklers:	yes

3.3.4.2. Fire Separation of Residential Suites

45 min

3.1.13.1.Separation of Major Occupancies

C to E	2 hour
C to F3	2 hour

FIRE ALARM SYSTEM

Required as per 3.2.4.1

FIREFIGHTING REQUIREMENTS

Access:	Access for fire department vehicles is provided to within 15m of the main entrance.
Extinguishers:	To be provided per NFPA 10.
Standpipe:	Standpipe is required as per 3.2.5.8
Sprinkler System	Installed to NFPA 13R 2013

LIGHTING + EMERGENCY POWER

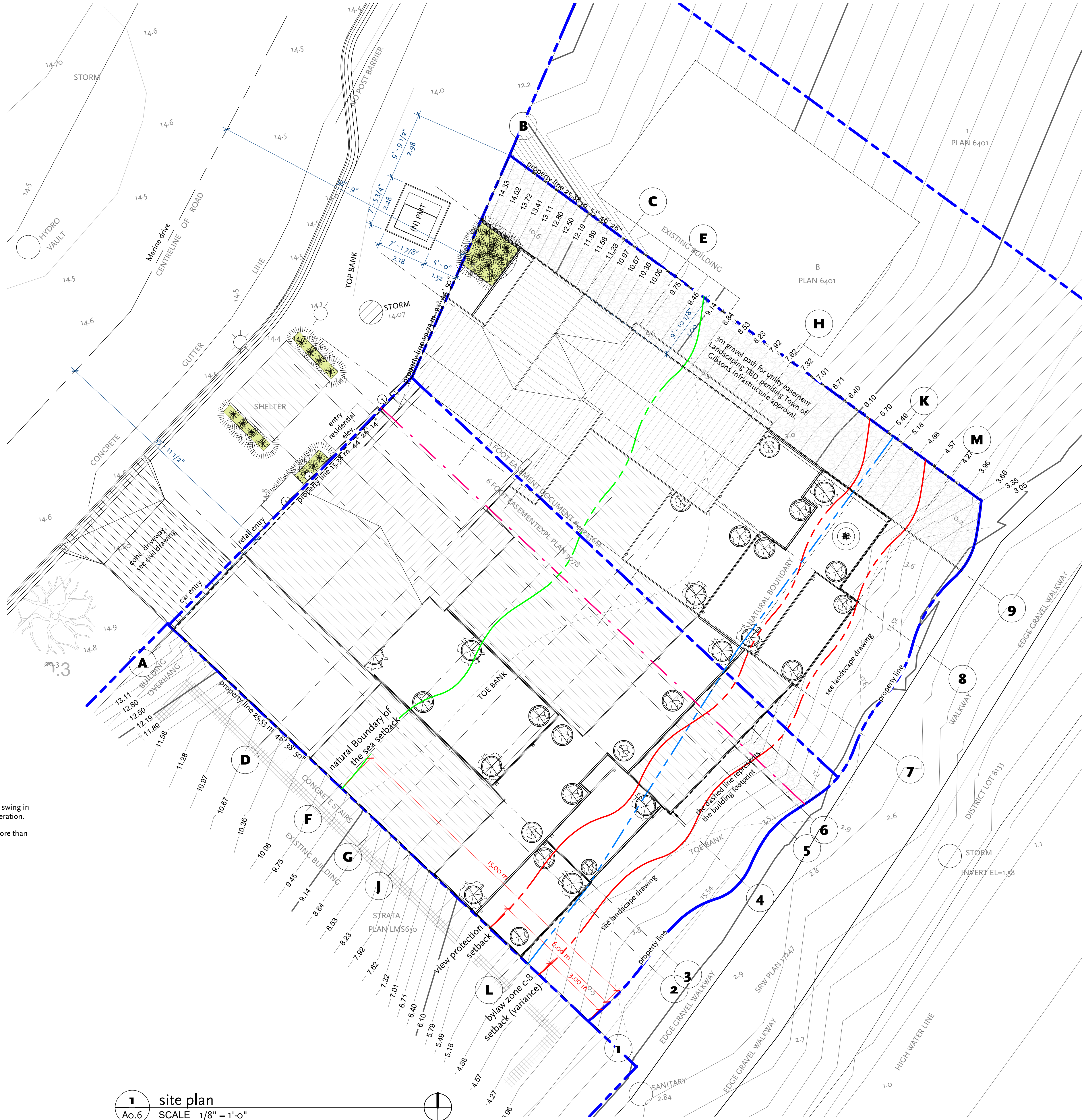
Lighting:	Provide illumination to an average level of at least 50 lx at the floor level in every exit and corridor providing access to exit. Provide emergency lighting to an average level of at least 10 lx at the floor and tread levels in exits, principal exit routes in open floor areas and exit access corridors.
Emergency Power:	Provide minimum 45 minutes emergency power for emergency lighting, fire alarm and detection systems.

3.3 SAFETY WITHIN FLOOR AREAS

Suite Separations:	45 min
Doors:	Doors providing access to exit swing on a vertical access and, where serving an occupant load of more than 60, swing in the direction of exit travel. Door release hardware is operable with one hand and requires only one releasing operation.
Guards:	Guards of at least 1070 mm height are to be provided along openings where there is an elevations change of more than 600 mm.

3.4 EXITS

	Required	provided
3.4.2.1.Number of Exits		
Parking area Table 3.4.2.1.-B Criteria for One Exit (Sprinklered Throughout) (Group F, Division 3 ) Travel Distances:	1 300 m²  25m maximum per 3.4.2.1.2.	1 295 m²  24.40m
Retail area Table 3.4.2.1.-B Criteria for One Exit (Sprinklered Throughout) (Group E) Travel Distances:	1 200 m²  25m maximum per 3.4.2.1.2.	1 149.5 m²  19.15m
Residential units 3.3.4.4.(3) Egress from Dwelling Units		A single exit is permitted from a dwelling unit provided the exit is an exterior doorway not more than 1.5 m above adjacent ground level and a) it is not necessary to travel up or down more than one storey to reach the exit door, or b) the uppermost floor level opens to a balcony not more than 6 m above adjacent ground level.
Exit Doors:		All exit doors shall swing in the direction of travel. All exit doors shall have a self-closing device.



1 site plan  
Ao.6 SCALE 1/8" = 1'-0"



THE TERRACES  
456 - 458 MARINE DR., GIBSONS, BC VoN 1V1

LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686

009-446-958 - 010-897-283

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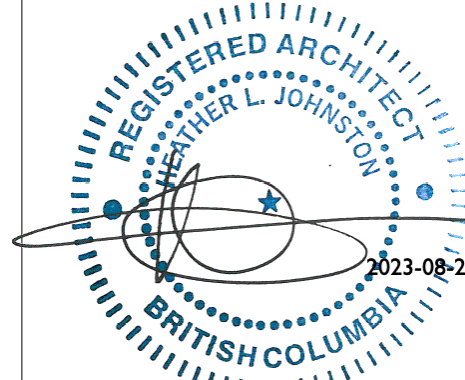
code analysis,  
site plan

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25 aug 2023



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GEOTECH HAZARDS DPA1	Low geotech hazard
ENVIRONMENTALLY SENSITIVE DPA 2	Marine shore (MA)
FORM AND CHARACTER DPA 5	Gibsons Landing
VIEW PROTECTION AREA	Subarea D

zoning summary:

site area	4000 sq <sup>2</sup> (371.6 m <sup>2</sup> ) - 3000 sq <sup>2</sup> (278.7 m <sup>2</sup> ) = 7000 sq <sup>2</sup> (650.3 m <sup>2</sup> )
-----------	--

**Permitted Principal Uses**  
(1) *retail use*, limited to not more than 1000.0 m2 (10,763.0 ft2) of *gross floor area* in a single business conducting *retail use* or *retail uses* combined with other permitted *commercial uses*;  
(2) *office use*, excluding banks, finance and trust companies, government offices, police stations, post offices, libraries, and health centres; and,  
(3) *apartment use*, where combined with *commercial use*, and located on or below the ground floor of a *building*, where such *apartment use* is provided with a separate entrance from ground level, and where each apartment *dwelling unit* has a *gross floor area* of not less than 55.0 m2 (592.0 ft2).

site coverage	required 90% = 6300 sq <sup>2</sup> (585.2 m <sup>2</sup> )
---------------	--

principal building			
building height*	Zoning C-8 22.3 ft (6.6m)	View Protection at sidewalk: 4.5 m (14.8 ft) - at seaward: 6.5 m (21.3 ft), inward over the building at an angle of 45o	Subarea D

\*measured from the *average natural grade* of the highest *lot* line of the *lot*.

front yard	0.0 m (0.0 ft)	0.0 m (0.0 ft)	0.0 m (0.0 ft)
side yard	0.0 m (0.0 ft)	0.0 m (0.0 ft)	0.0 m (0.0 ft)
rear yard	3.0 m (9.8 ft)	3.0 m (9.8 ft)	6.0 m (19.7 ft) **
natural Boundary of the sea	15.0m (49.2 ft)		

\*\*Buildings and structures must be sited no closer than 6.0 m (19.7 ft) ) from the seaward lot line.

Min dwelling unit size	592.0 sq <sup>2</sup> (55.0 m <sup>2</sup> )
Max retail/office area	1000 sq <sup>2</sup>

sizes of parking spaces:	
90 degree parking	2.9 m W x 5.8m L = driveway 6.1m
90 degree smaller parking	2.7 m W x 5.1m L = driveway 6.1m
90 degree smaller parking	2.6 m W x 5.0m L = driveway 6.7m

**smaller car parking:**  
Of the total required number of accessory *parking spaces* required on a *lot*, up to 30% may take the form of “small car” *parking space* as described in Section 6.9.

Off-Street Parking Requirements:	
Office	1.0 parking space per 1030.0 sq <sup>2</sup> (957 m <sup>2</sup> ) GFA
Apartment use	1.1 parking space per each dwelling unit

site area:	7000 sq <sup>2</sup> (650.3 m <sup>2</sup> )
zone:	C-8 / view protection area - subarea D
allowable FAR:	retail = 1030.0 sq <sup>2</sup> (957.0 m <sup>2</sup> ) residential = No FAR
allowable site coverage:	90% of site area
cut / fill:	-1,664.46 m <sup>3</sup> / +206.34 m <sup>3</sup> net: -1,458.12 m <sup>3</sup>

gross floor area:	building area
level 1	2963.7 sq <sup>2</sup> (257.3 m <sup>2</sup> )
level 2	5356.2 sq <sup>2</sup> (497.6 m <sup>2</sup> )
level 3	5138.8 sq <sup>2</sup> (477.4 m <sup>2</sup> )
level 4	4628.5 sq <sup>2</sup> (430.0 m <sup>2</sup> )
level 5	2113.0 sq <sup>2</sup> (196.3 m <sup>2</sup> )
total	20200.2 sq <sup>2</sup> (1858.6 m <sup>2</sup> )

floor area:	building area	balcony/terrace
common area level 1	278.2 sq <sup>2</sup> (25.8 m <sup>2</sup> )	
residential level 1	2479.4 sq <sup>2</sup> (230.3m <sup>2</sup> )	
unit 1	1403.5 sq <sup>2</sup> (130.4 m <sup>2</sup> )	132.3 sq <sup>2</sup> (12.3 m <sup>2</sup> )
unit 2	1075.8 sq <sup>2</sup> (99.9 m <sup>2</sup> )	74.1 sq <sup>2</sup> (6.9 m <sup>2</sup> )
garage level 2	3119.1 sq <sup>2</sup> (289.8 m2)	
residential level 2	1988.4 sq <sup>2</sup> (184.7 m2)	
unit 3	921.1 sq <sup>2</sup> (85.6m <sup>2</sup> )	129.3 sq <sup>2</sup> (12.0 m <sup>2</sup> )
unit 4	737.4 sq <sup>2</sup> (68.5 m <sup>2</sup> )	200.5 sq <sup>2</sup> (18.6 m <sup>2</sup> )
common area level 2	248.7 sq <sup>2</sup> (23.1 m <sup>2</sup> )	
garage level 3	264.6 sq <sup>2</sup> (24.6 m <sup>2</sup> )	
residential level 3	2447.5 sq <sup>2</sup> (227.4 m2)	
unit 5	869.6 sq <sup>2</sup> (155.7 m <sup>2</sup> )	135.0 sq <sup>2</sup> (12.5 m <sup>2</sup> )
unit 6	1156.6 sq <sup>2</sup> (107.5 m <sup>2</sup> )	286.4 sq <sup>2</sup> (26.6 m <sup>2</sup> )
common area level 3	1017.6 sq <sup>2</sup> (94.5 m <sup>2</sup> )	
garage level 4	522.8 sq <sup>2</sup> (48.6m <sup>2</sup> )	
Retail level 4	1668.0 sq <sup>2</sup> (155.0 m2)	485.5 sq <sup>2</sup> (45.1 m <sup>2</sup> )
residential level 4	1587.8 sq <sup>2</sup> (147.5 m2)	
unit 7	599.1 sq <sup>2</sup> (55.7 m <sup>2</sup> )	199.9 sq <sup>2</sup> (18.6m <sup>2</sup> )
unit 8	638.8 sq <sup>2</sup> (59.3 m <sup>2</sup> )	150.7 sq <sup>2</sup> (14.0 m <sup>2</sup> )
common area level 4	181.7 sq <sup>2</sup> (16.9 m <sup>2</sup> )	
residential level 5	1918.3 sq <sup>2</sup> (178.2 m2)	
unit 7	304.2 sq <sup>2</sup> (28.3 m <sup>2</sup> )	
unit 8	219.5 sq <sup>2</sup> (20.4 m <sup>2</sup> )	53.8 sq <sup>2</sup> (5.0 m <sup>2</sup> )
unit 9	937.7 sq <sup>2</sup> (87.1 m <sup>2</sup> )	404.7 sq <sup>2</sup> (37.6 m <sup>2</sup> )
common area level 5	194.8 sq <sup>2</sup> (18.1 m <sup>2</sup> )	

site coverage:	proposed	permitted
	5601.2 sq <sup>2</sup> (520.4 m <sup>2</sup> )	6300 sq <sup>2</sup> (585.2 m <sup>2</sup> )

building footprint:	proposed	permitted
	5601.2 sq <sup>2</sup> (520.4 m <sup>2</sup> )	N/A

building height:	allowable/ required	proposed
building height @sidewalk	4.5 m / 14.8 ft	6.00 m / 19.7 ft
building height @ seaward	6.5 m / 21.3 ft	6.5 m / 21.3 ft
number of storeys		5

setbacks:	allowable/ required	proposed
front yard	0.0 m / 0.0 ft	0.0 m / 0.0 ft
rear yard	6.0 m / 19.7 ft	3.0 m / 9.8 ft
west side yard	0.0 m / 0.0 ft	0.0 m / 0.0 ft
east side yard	0.0 m / 0.0 ft	3.0 m / 9.8 ft

parking:	required	proposed
residential	9*1.1 = 9.9 stalls	9 stalls
retail	1 stall	1 stall
totals	11 stalls	10 stalls

1 site statistics

list of requested variances:

item:	allowable/ required	proposed	variance
building height @sidewalk	4.5m / 14.8'	6.0m / 19.7'	1.5m / 5.9'
rear yard setbck	6m / 19.7'	3m /9.8'	3m / 9.9'
waterline setback	15m / 49.2'	3m /9.8'	12m / 39.4'
parking	11 stalls	10 stalls	1 stall

2 requested variances

Variance Rationale

**Height limit**  
Height limit is requested to be increased by 1.5 meters to allow the design to tie in to the existing heritage character of Gibsons Landing while accommodating technical requirements for the car elevator. This, in turn, provides on site parking for the residents without excessive paved area on the site. The design presents a mixed collection of gabled and flat roofs that wrap the entire façade. These break the Marine Drive streetscape into human scaled architecture, articulating the facade and building on Gibsons' heritage small-town context.

Our requested height increase allows the new building to tie in to historic Gibsons with pitched roofs and architectural variety similar to what one would find on Marine Drive in the early 20<sup>th</sup> century.

The varied roofline significantly influences the overall aesthetic of the building, and the way the building weaves into the character of the surrounding streetscape. In the design, we considered Gibsons' history and development patterns; the resulting mix of pitched and flat roofs breaks up a long facade and provides good view access from the street and hillside across the street. Our requested height increase allows the new building to tie in to historic Gibsons with pitched roofs and architectural variety similar to what one would find on Marine Drive in the early 20<sup>th</sup> century.

**Setback**  
A 15 m waterline setback would make 60% of the site not buildable. The 6m setback would make construction of the lowest level impossible, costing the project two residential units. Instead, we have set the lowest level of the building at a 6m elevation above the current natural boundary (above FCL and aquifer level per recommendation from the geologist and hydrologist) to request a reduction on the setback to 3m.

Although we have requested to reduce the setback to 3m, the setback area is populated with trees and plantings that will work as a natural barrier between the shoreline walkway and the building. This landscape buffer will protect the waterline and the public trail, while also offering some separation from the public realm for building residents. The proposed landscape consists primarily of local indigenous species.

**Parking**  
Per parking reduction, one stall per unit and 1 per retail space have been provided, and we request to eliminate the one extra visitor parking per bylaw.



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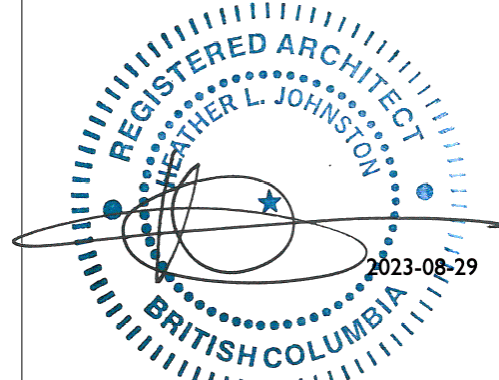
zoning analysis & notes

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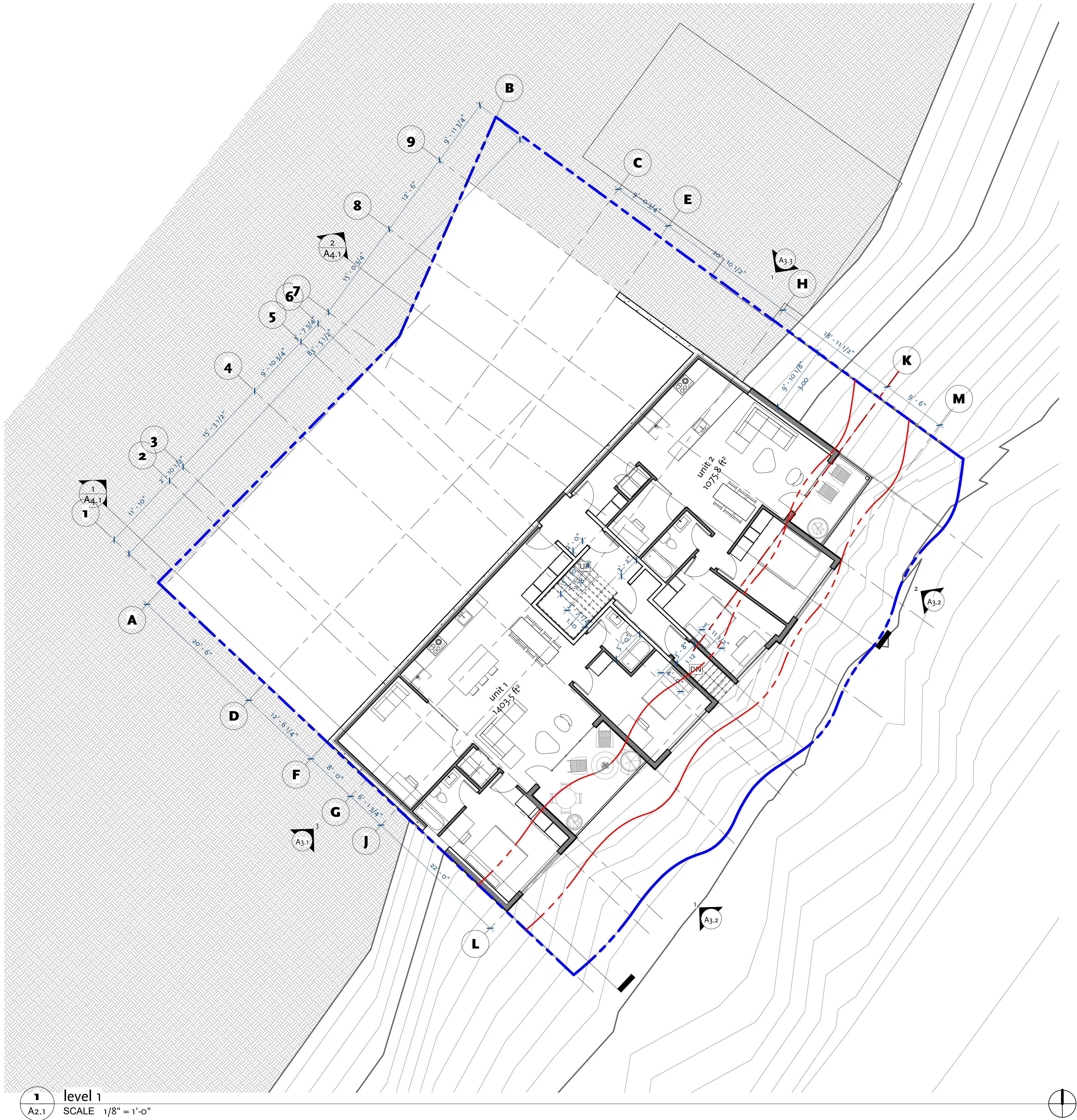
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wall types:

- new walls
- interior walls to be 2x4 w/ 1/2" gwb ea. side u.n.o.
- existing building elements shown half toned
- demolished wall

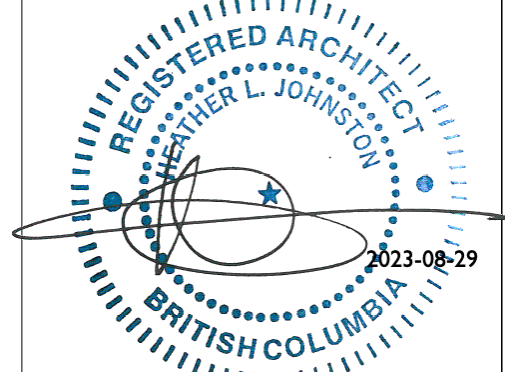


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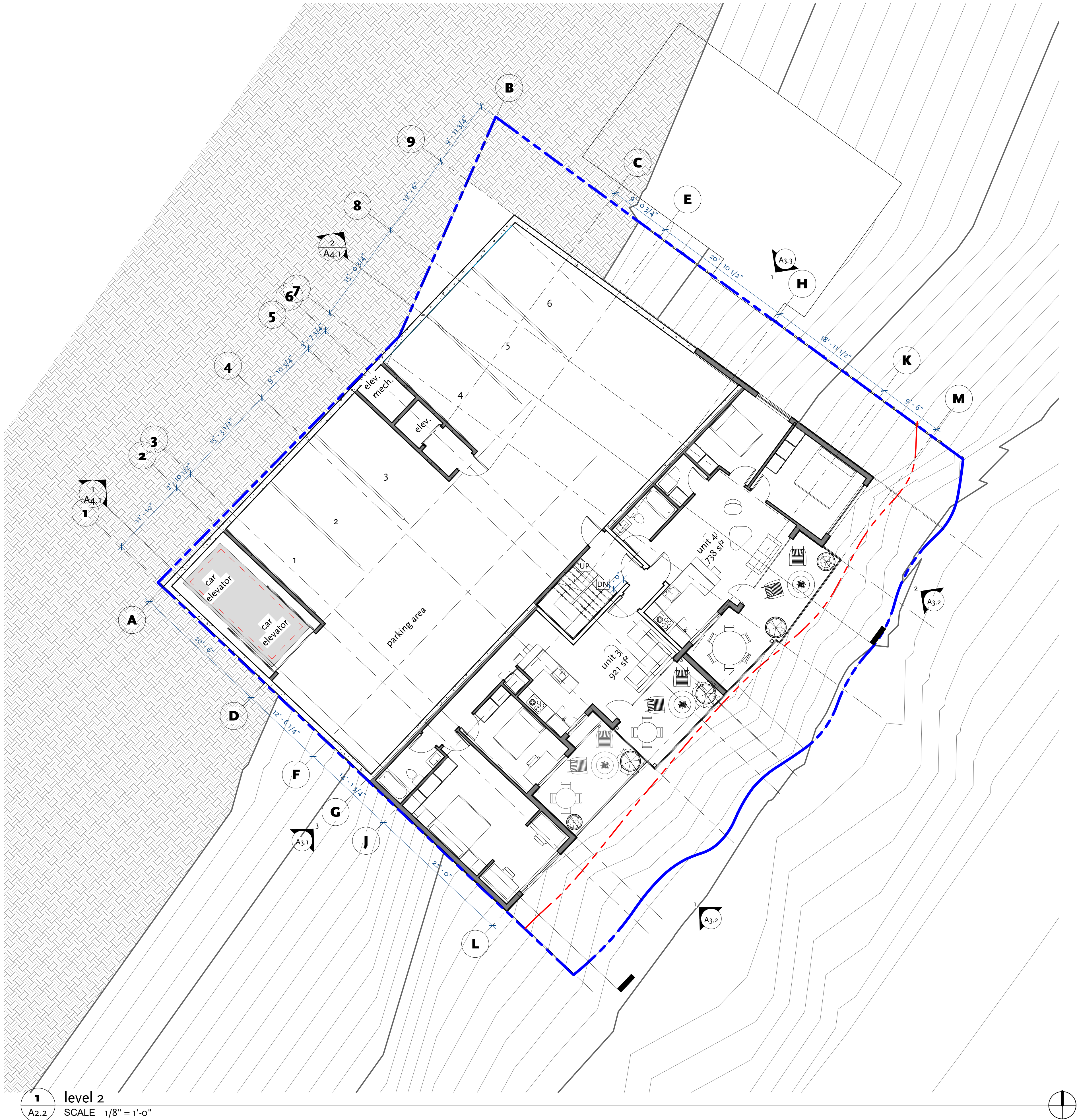
proposed plan -  
level 1

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**A2.1**  
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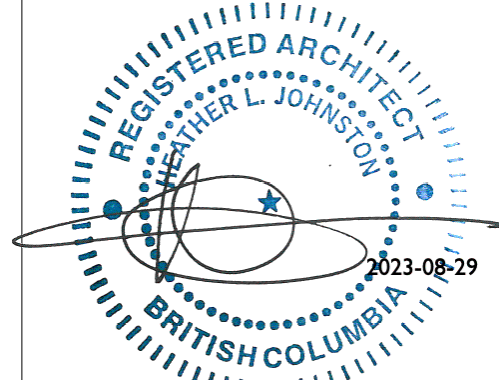


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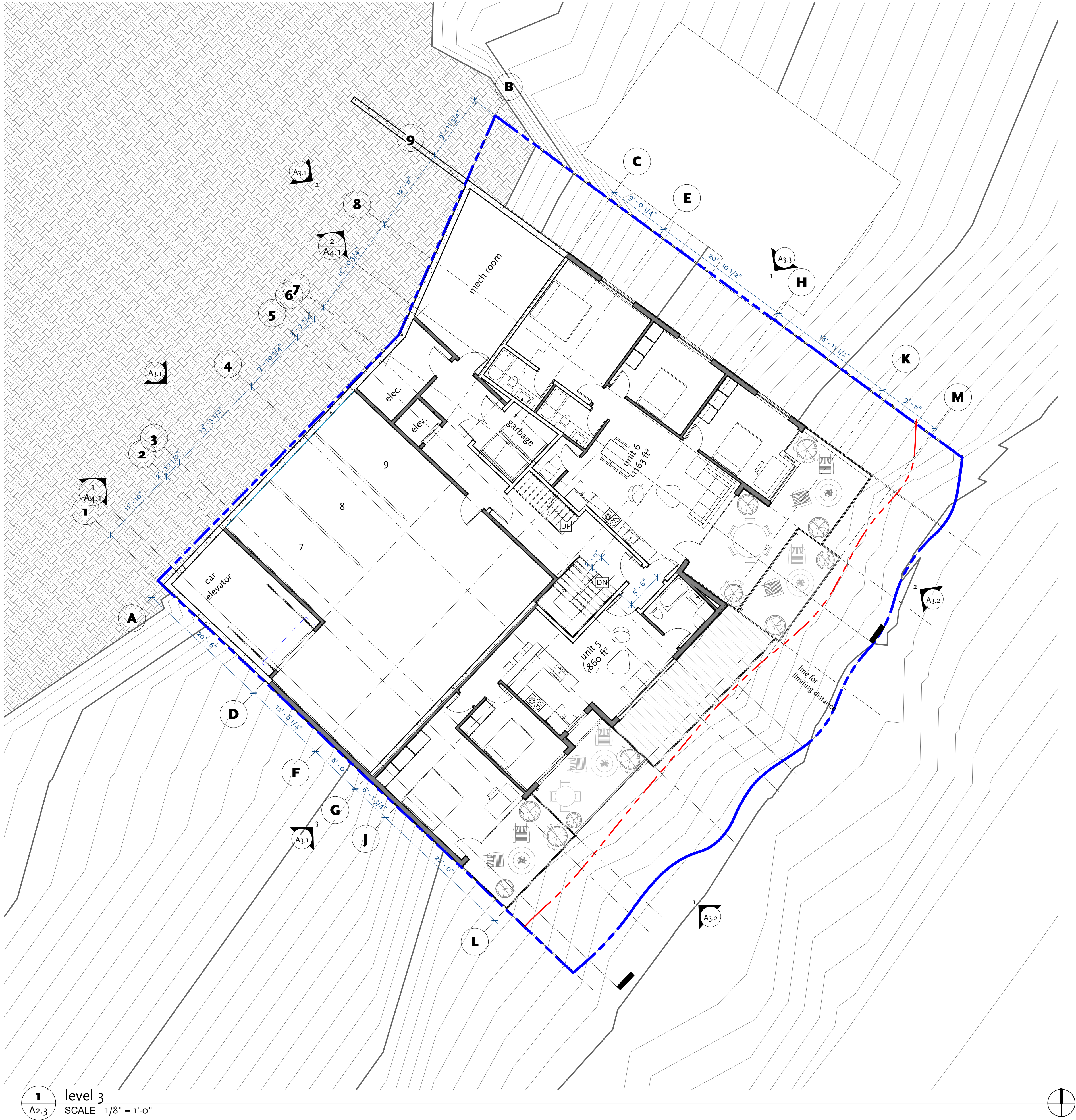
proposed plan -  
level 2

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**A2.2**  
25 aug 2023





wall types:

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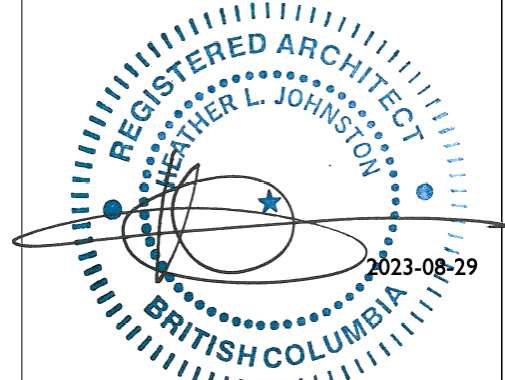


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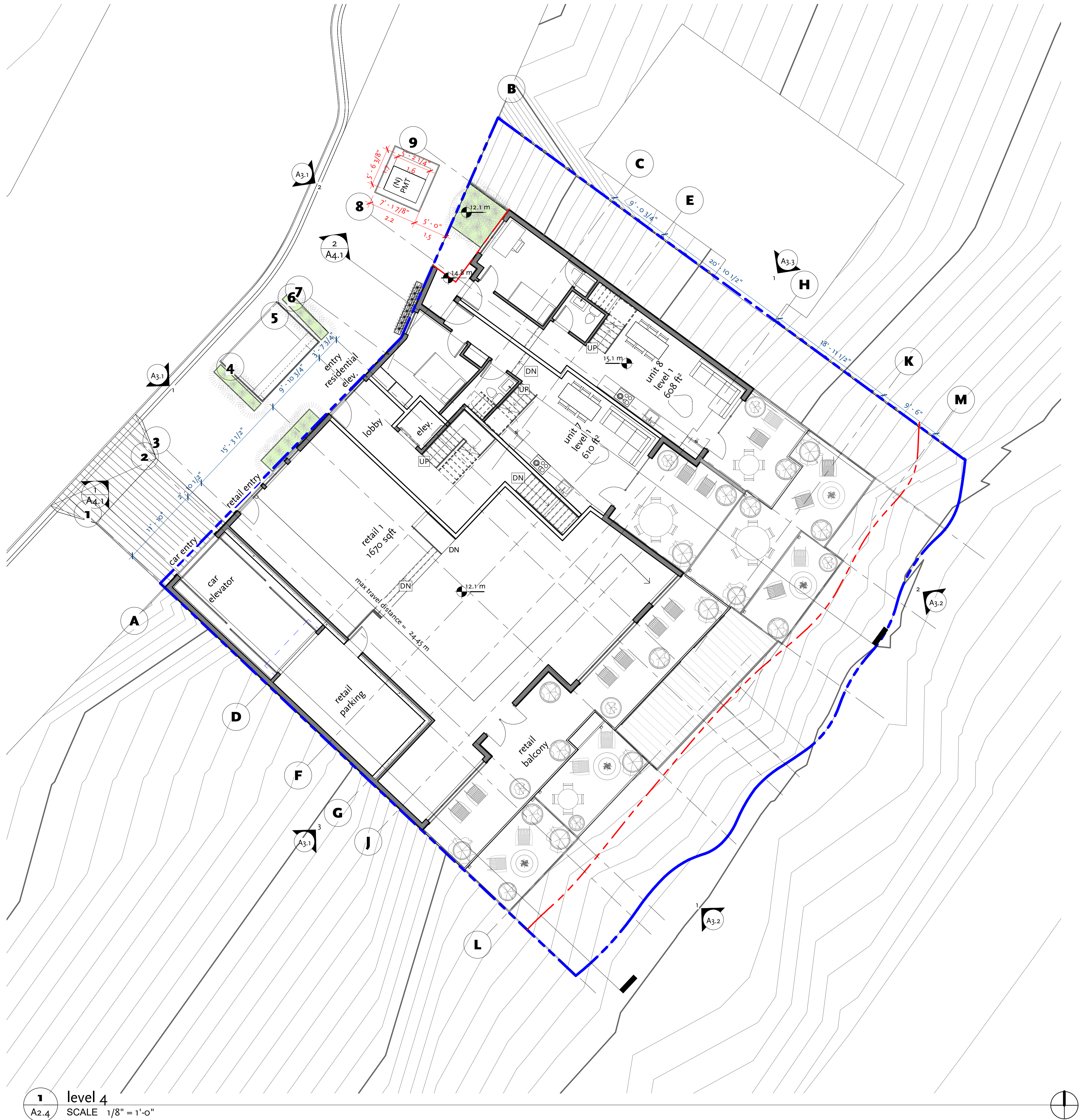
proposed plan -  
level 3

heather l. johnston  
architect AIBC, AAA, MAA, SAA  
  
PLACE architect ltd.  
6262 st georges avenue  
west vancouver bc, v7w 1z7  
778 386 6769  
www.placearchitects.com



**A2.3**  
25 aug 2023





**1** level 4  
A2.4 SCALE 1/8" = 1'-0"

- wall types:
- new walls
  - interior walls to be 2x4 w/ 1/2" gwb ea. side u.n.o.
  - existing building elements shown half toned
  - demolished wall

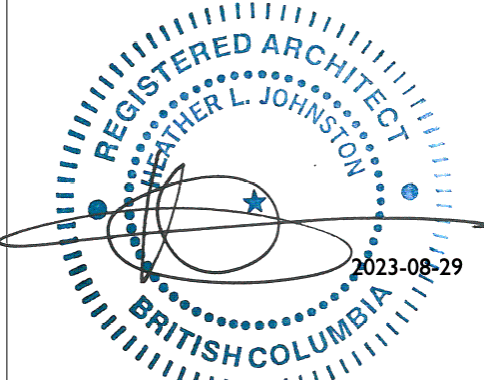


**THE TERRACES**  
456 - 458 MARINE DR., GIBSONS, BC V0N 1V1  
LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686  
009-446-958 - 010-897-283

PROJECT #		2231
no.	date	issue
01	26 july 2022	concept design
02	21 oct 2022	progress set
03	28 nov 2022	issue for DP
04	31 may 2023	DP REV1
05	25 aug 2023	ADP meeting

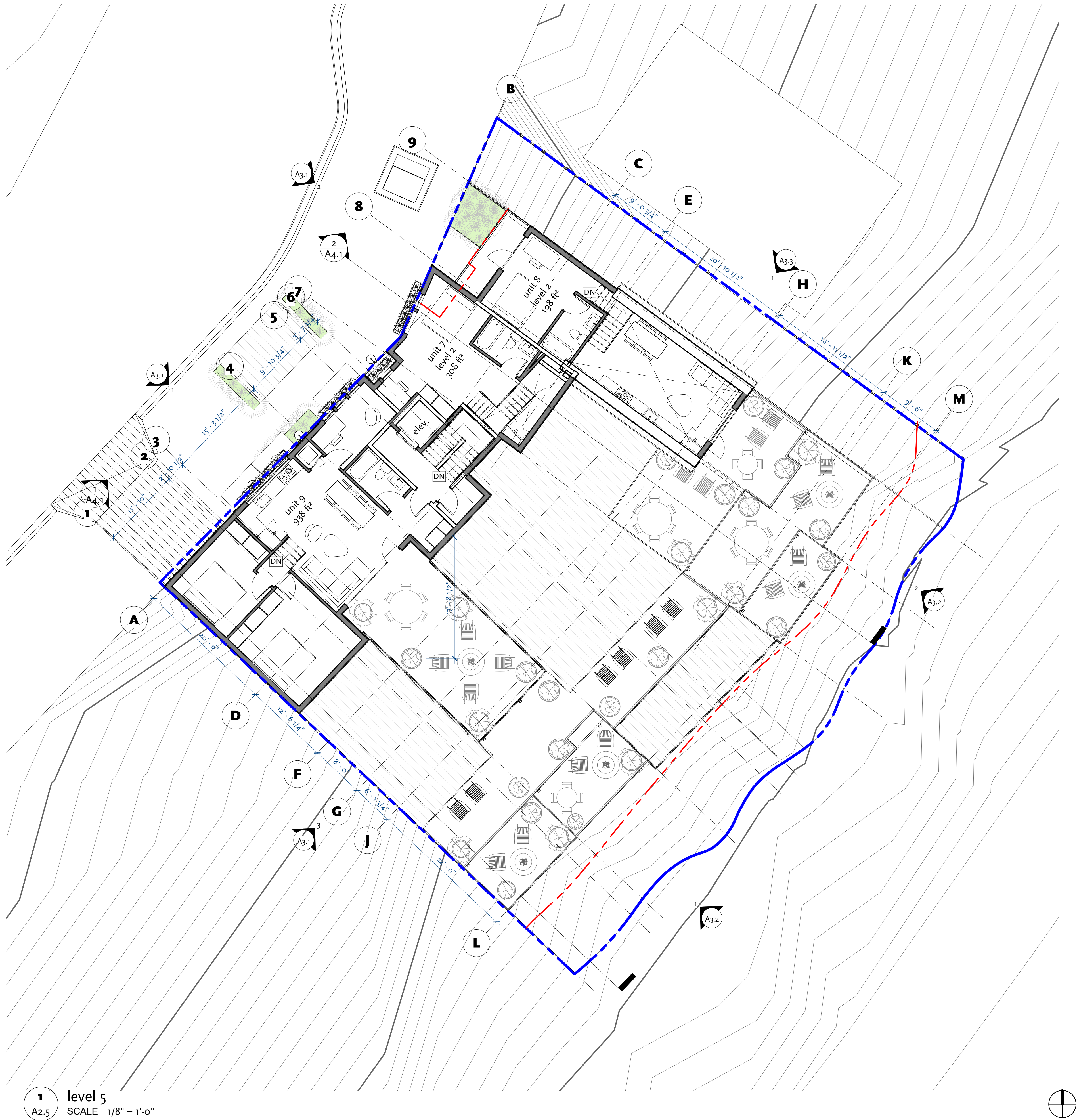
proposed plan -  
level 4 (street  
level)

heather l. johnston  
architect AIBC, AAA, MAA, SAA  
  
PLACE architect ltd.  
6262 st georges avenue  
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**A2.4**  
25 aug 2023





**1** level 5  
A2.5 SCALE 1/8" = 1'-0"

- wall types:
- new walls
  - interior walls to be 2x4 w/ 1/2" gwb ea. side u.n.o.
  - existing building elements shown half toned
  - demolished wall

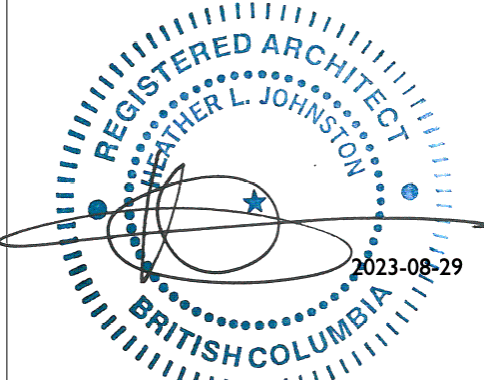


**THE TERRACES**  
456 - 458 MARINE DR., GIBSONS, BC V0N 1V1  
LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686  
009-446-958 - 010-897-283

PROJECT #		2231
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04	31 may 2023	DP REV1
05	25 aug 2023	ADP meeting

proposed plan -  
level 5

heather l. johnston  
architect AIBC, AAA, MAA, SAA  
  
PLACE architect ltd.  
6262 st georges avenue  
west vancouver bc, v7w 1z7  
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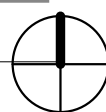


**A2.5**  
25 aug 2023





**1** roof plan  
A2.6 SCALE 1/8" = 1'-0"



# THE TERRACES

456 - 458 MARINE DR., GIBSONS, BC V0N 1V1

LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686

009-446-958 - 010-897-283

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05	25 aug 2023	ADP meeting

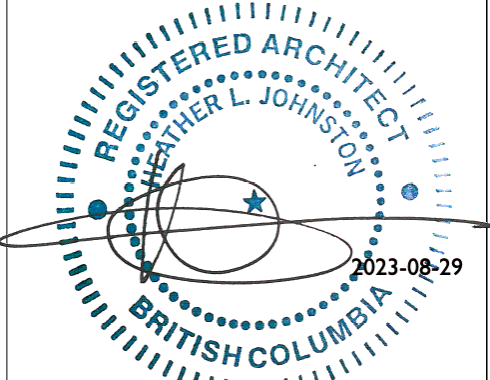
proposed plan -  
roof plan

heather l. johnston  
architect AIBC, AAA, MAA, SAA

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6262 st georges avenue  
west vancouver bc, v7w 1z7

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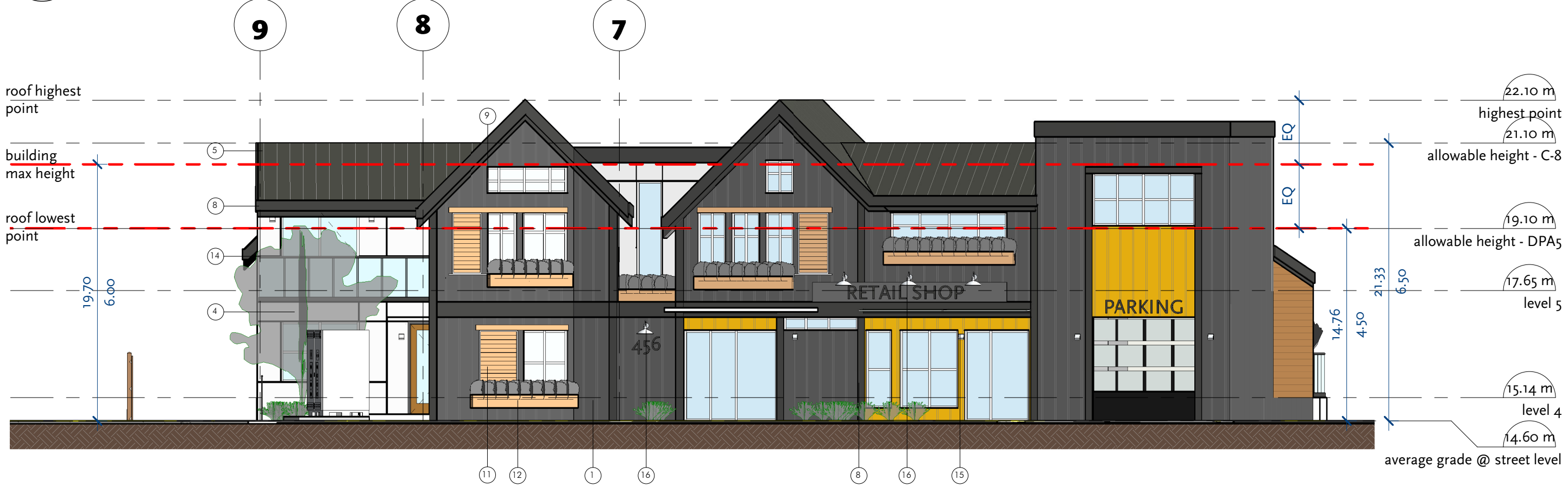
## A2.6

25 aug 2023

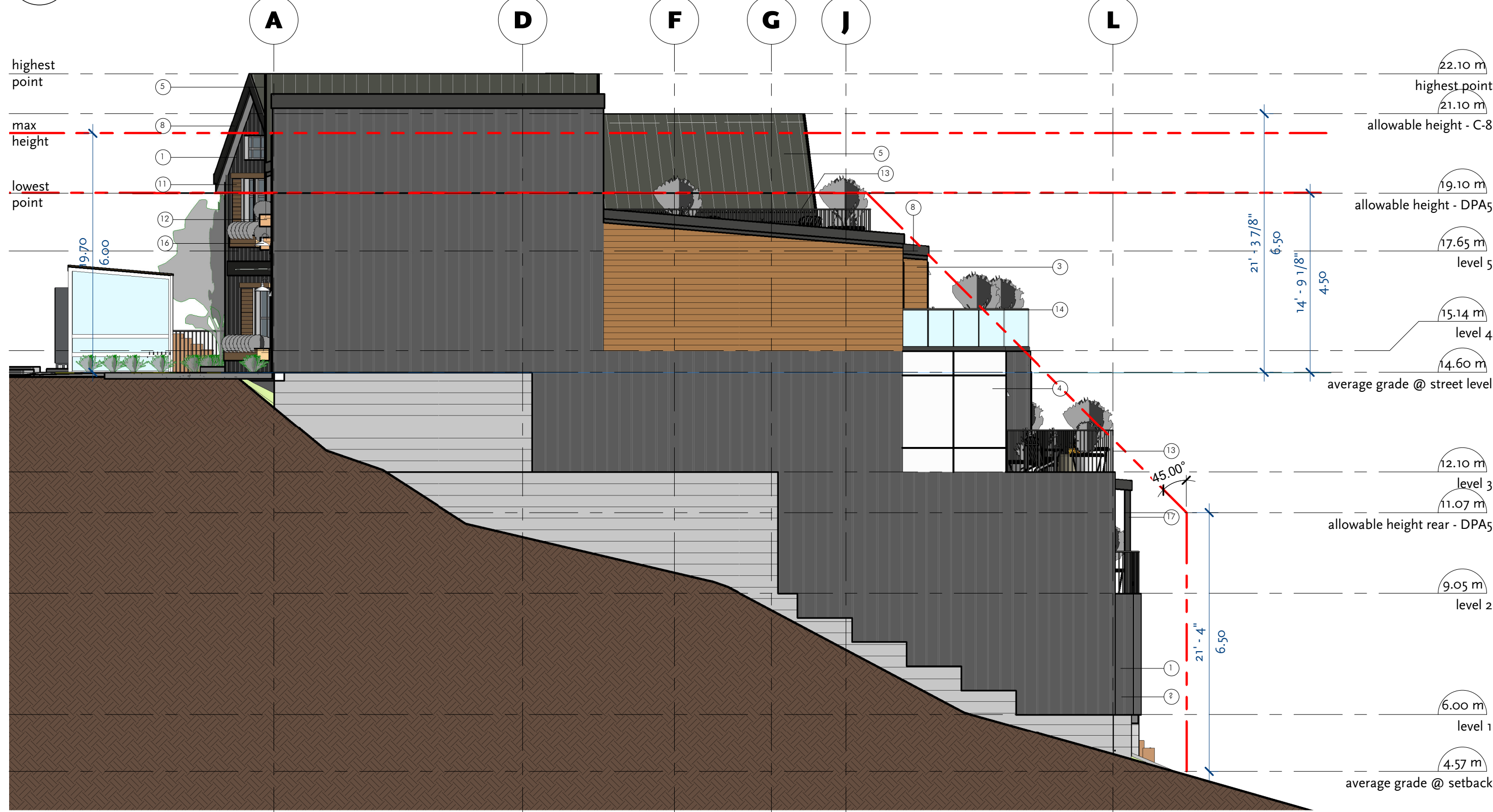




**1** West (streetside) elevation - south portion  
A3.1 SCALE 1/8" = 1'-0"



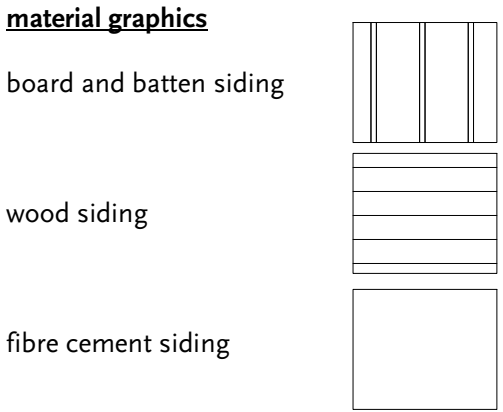
**2** West (streetside) elevation - north portion  
A3.1 SCALE 1/8" = 1'-0"



**3** South side elevation  
A3.1 SCALE 1/8" = 1'-0"

MATERIALS LEGEND - EXTERIOR					
TAG	MATERIAL	DESCRIPTION	LOCATION	COMMENTS	SAMPLE
1	Board & Batten	<varies>			
		<varies>			
1	Board & Batten	Allura Trim (smooth) thickness: 5/4 (1") width: 10" colour: SW 7674 Peppercorn		installed vertically painted on site	
2	Board & Batten - accent color yellow	Allura Trim (reversible Cedar) thickness: 5/4 (1") width: 10" colour: SW 6902 Decisive Yellow		installed vertically painted on site	
3	lap siding	Allura Lap siding (Traditional Cedar) thickness: 5/16" width: 6 1/4" Colour: Virtual Taupe			
4	Fiber Cement Panel	Allura flat panel TBD thickness: 1/4"		staggered pattern per elevations	
5	Metal Roofing	Westform Metals Prolong Roofing colour: Iron Ore	roof	color Iron Ore	
6	parapet/fascia flashing	Painted Colour: SW 7069 Iron Ore			
7	door/window trim	Painted Colour: SW 7006 Extra White		windows and door on lap siding only	
8	exterior trim	Painted Colour: SW 7069 Iron Ore			
9	vinyl windows/doors	white exterior, white interior			
10	overhead garage door	black exterior, black interior			
11	wood exterior window shutter	Formica Planked Urban Oak			
12	wood flower box	Formica Planked Urban Oak			
13	metal guardrail	Painted Colour: SW 7069 Iron Ore			
14	glass guardrail	metal Painted Colour: SW 7069 Iron Ore			
15	exterior wall sconce	Pitch Single Outdoor Wall		Visual Comfort & Co. finish: silver	
16	exterior wall sconce	Gladstone wall sconce		Barn Light Electric Company finish: galvanized	
17	exterior post	Painted Colour: SW 7069 Iron Ore			
18	exposed concrete finish				

Elevation	North Group C	East Group C	East Group E	South Group C	South Group E	West Group C	West Group E	Code Ref.
Area Exposing Building Face sq.m	172.2	349.1	46.9	164.7	28.3	118.2	11.1	
Area of Unprotected Opening sq.m	13.3	135.6	17.7	0	0	30	6.7	
Limiting Distance	3	>15	>8	0	0	>8	>5	
Permitted % Unprotected Openings	22%	100%	100%	0%	0%	100%	100%	Table 3.2.3.1.-D & E
Actual % Unprotected Openings	7.7%	38.8%	37.7%	0%	0%	25.3%	60.0%	Table 3.2.3.7.
Fire-Resistance Rating Required	1 hr	45 min	1 hr	1 hr	2 hr	45 min	1 hr	Table 3.2.3.7.
Type of Construction Required	Comb.	Comb.	Comb.	Noncomb.	Noncomb.	Comb.	Comb.	
Type of Cladding Required	Noncomb.	Noncomb.	Noncomb.	Noncomb.	Noncomb.	Noncomb.	Noncomb.	



Gladstone wall sconce - above sign



Pitch Single Outdoor Wall



**THE TERRACES**  
456 - 458 MARINE DR., GIBSONS, BC V0N 1V1  
LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686  
009-446-938 - 010-897-283

PROJECT #		2231
no.	date	issue
01	26 july 2022	concept design
02	21 oct 2022	progress set
03	28 nov 2022	issue for DP
04	31 may 2023	DP REV1
05	25 aug 2023	ADP meeting

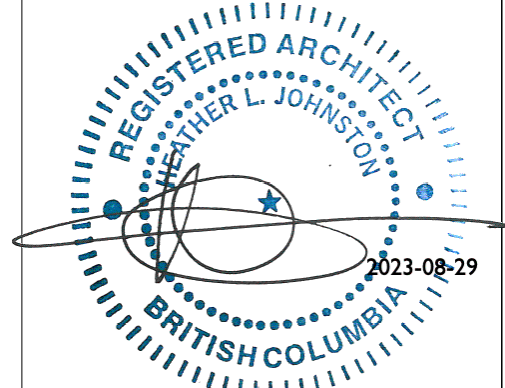
elevations

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architect AIBC, AAA, MAA, SAA

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778 386 6769

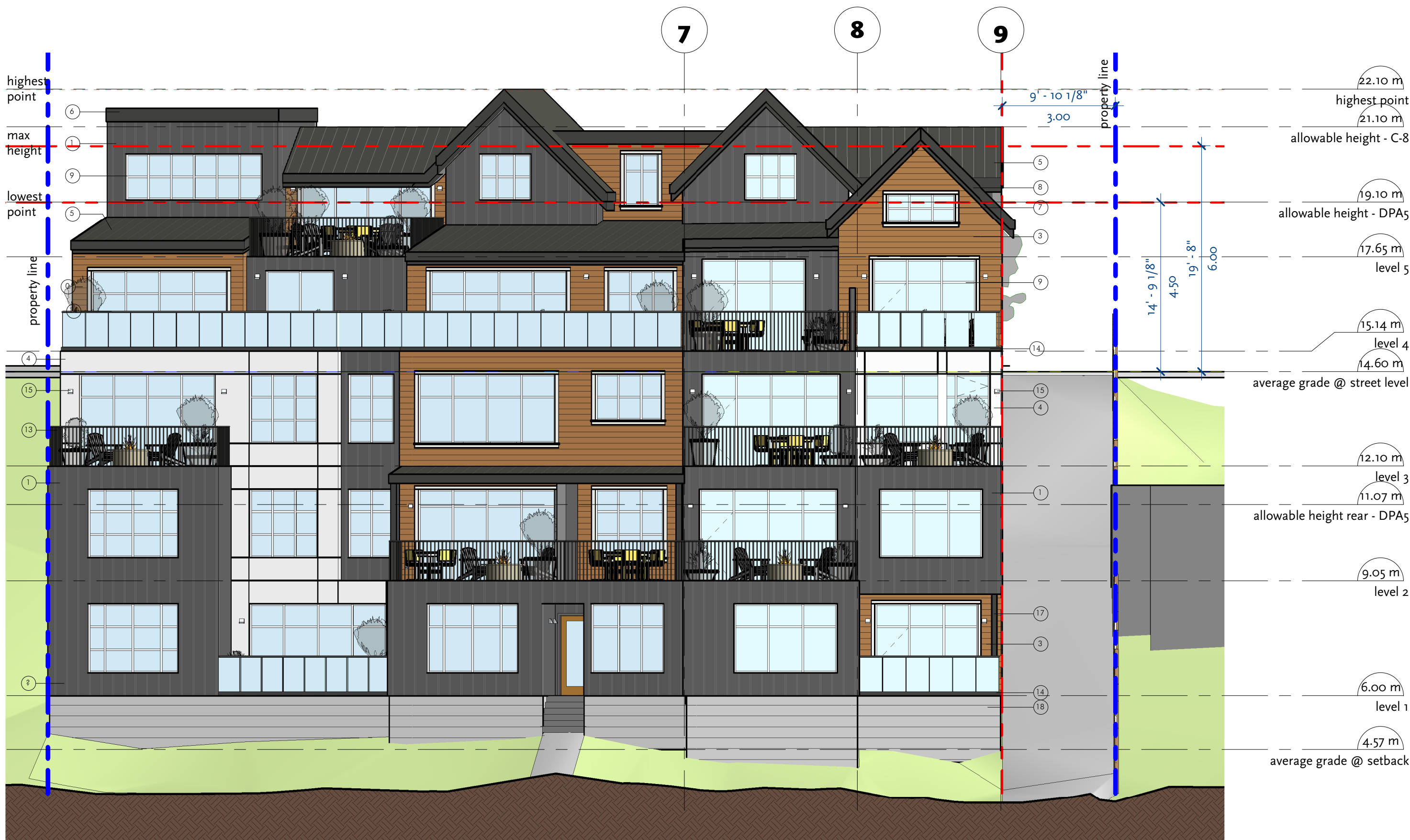
www.placearchitects.com



**A3.1**

25 aug 2023





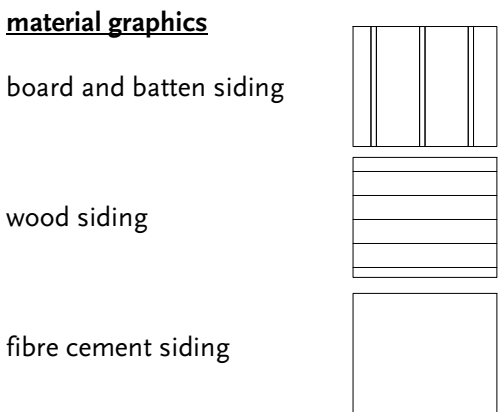
2 East (waterside) elevation - north portion  
SCALE 1/8" = 1'-0"



1 East (waterside) elevation - south portion  
SCALE 1/8" = 1'-0"

MATERIALS LEGEND - EXTERIOR					
TAG	MATERIAL	DESCRIPTION	LOCATION	COMMENTS	SAMPLE
1	Board & Batten	<varies>		installed vertically painted on site	
2	Board & Batten - accent color yellow	Allura Trim (smooth) thickness: 5/4 (1") width: 10" colour: SW 7674 Peppercorn		installed vertically painted on site	
3	lap siding	Allura Lap siding (Traditional Cedar) thickness: 5/16" width: 6 1/4" Colour: Virtual Taupe			
4	Fiber Cement Panel	Allura flat panel TBD thickness: 1/4"		staggered pattern per elevations	
5	Metal Roofing	Westform Metals Prolong Roofing colour: Iron Ore	roof	color Iron Ore	
6	parapet/fascia flashing	Painted Colour: SW 7069 Iron Ore			
7	door/window trim	Painted Colour: SW 7006 Extra White		windows and door on lap siding only	
8	exterior trim	Painted Colour: SW 7069 Iron Ore			
9	vinyl windows/doors	white exterior, white interior			
10	overhead garage door	black exterior, black interior			
11	wood exterior window shutter	Formica Planked Urban Oak			
12	wood flower box	Formica Planked Urban Oak			
13	metal guardrail	Painted Colour: SW 7069 Iron Ore			
14	glass guardrail	metal Painted Colour: SW 7069 Iron Ore			
15	exterior wall sconce	Pitch Single Outdoor Wall		Visual Comfort & Co. finish: silver	
16	exterior wall sconce	Gladstone wall sconce		Barn Light Electric Company finish: galvanized	
17	exterior post	Painted Colour: SW 7069 Iron Ore			
18	exposed concrete finish				

Elevation	North Group C	East Group C	East Group E	South Group C	South Group E	West Group C	West Group E	Code Ref.
Area Exposing Building Face sq.m	172.2	349.1	46.9	164.7	28.3	118.2	11.1	
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Permitted % Unprotected Openings	22%	100%	100%	0%	0%	100%	100%	Table 3.2.3.1.-D & E
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Fire-Resistance Rating Required	1 hr	45 min	1 hr	1 hr	2 hr	45 min	1 hr	Table 3.2.3.7.
Type of Construction Required	Comb.	Comb.	Comb.	Noncomb.	Noncomb.	Comb.	Comb.	
Type of Cladding Required	Noncomb.	Noncomb.	Noncomb.	Noncomb.	Noncomb.	Noncomb.	Noncomb.	



Pitch Single Outdoor Wall



THE TERRACES  
456 - 458 MARINE DR., GIBSONS, BC V0N 1V1  
LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686  
009-446-958 - 010-897-283

PROJECT #		2231
no.	date	issue
01	26 july 2022	concept design
02	21 oct 2022	progress set
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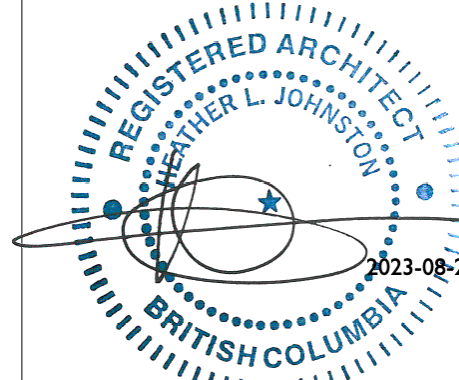
elevations

heather l. johnston  
architect AIBC, AAA, MAA, SAA

PLACE architect Ltd.  
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west vancouver bc, v7w 1z7

778 386 6769

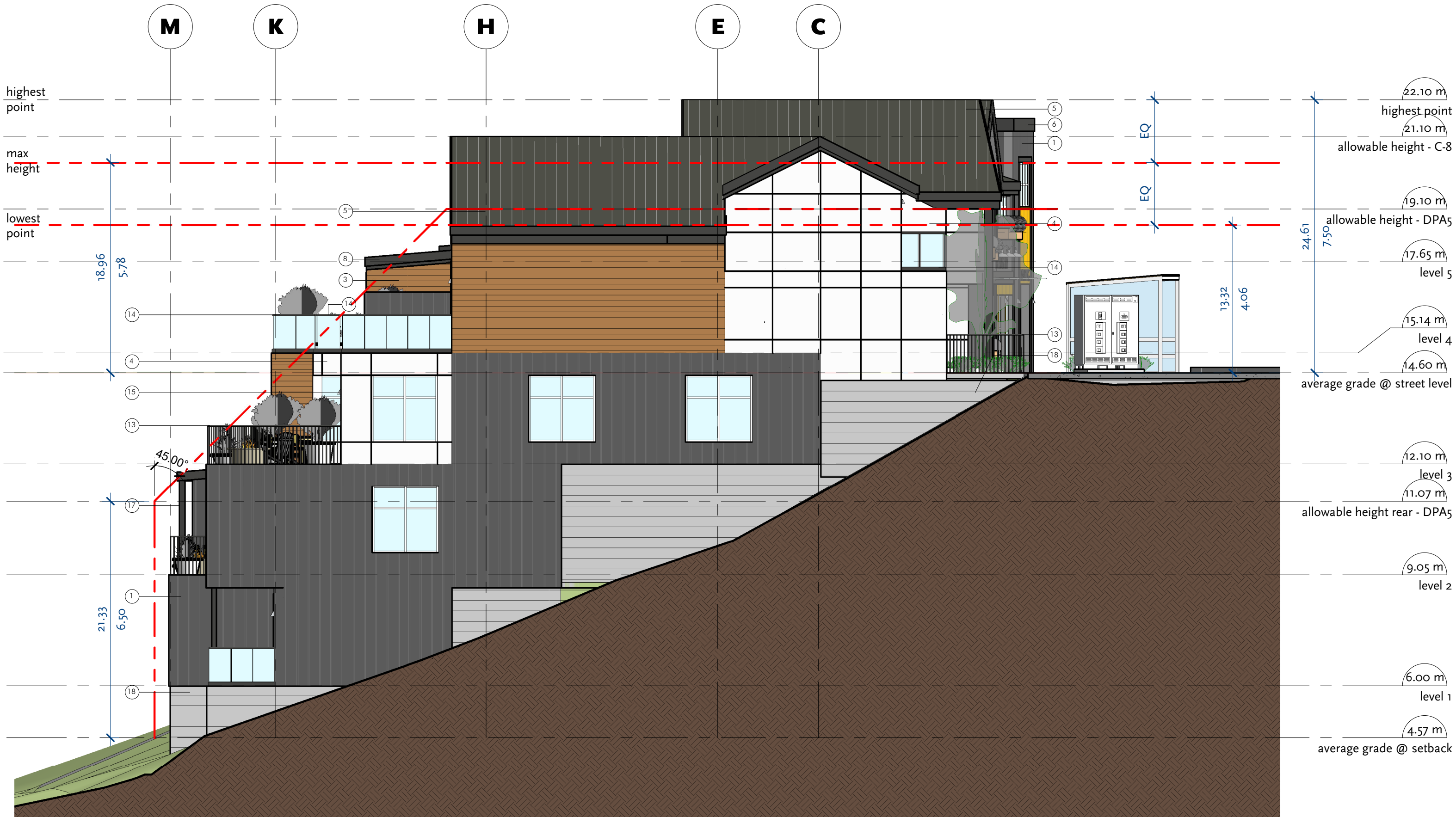
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A3.2

25 aug 2023





**1** North side elevation  
A3.3 SCALE 1/8" = 1'-0"

MATERIALS LEGEND - EXTERIOR					
TAG	MATERIAL	DESCRIPTION	LOCATION	COMMENTS	SAMPLE
1	Board & Batten	<varies>			
		Allura Trim (smooth) thickness: 5/4 (1") width: 10" colour: SW 7674 Peppercorn		installed vertically painted on site	
2	Board & Batten - accent color yellow	Allura Trim (reversible Cedar) thickness: 5/4 (1") width: 10" colour: SW 6902 Decisive Yellow		installed vertically painted on site	
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8	exterior trim	Painted Colour: SW 7069 Iron Ore			
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11	wood exterior window shutter	Formica Planked Urban Oak			
12	wood flower box	Formica Planked Urban Oak			
13	metal guardrail	Painted Colour: SW 7069 Iron Ore			
14	glass guardrail	metal Painted Colour: SW 7069 Iron Ore			
15	exterior wall sconce	Pitch Single Outdoor Wall		Visual Comfort & Co. finish: silver	
16	exterior wall sconce	Gladstone wall sconce		Barn Light Electric Company finish: galvanized	
17	exterior post	Painted Colour: SW 7069 Iron Ore			
18	exposed concrete finish				

material graphics

board and batten siding

wood siding

fibre cement siding



Gladstone wall sconce - above sign



Pitch Single Outdoor Wall

Elevation	North Group C	East Group C	East Group E	South Group C	South Group E	West Group C	West Group E	Code Ref.
Area Exposing Building Face sq.m	172.2	349.1	46.9	164.7	28.3	118.2	11.1	
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**THE TERRACES**

456 - 458 MARINE DR., GIBSONS, BC V0N 1V1

LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686

LOT A BLOCK D PLAN VAP6401 DISTRICT LOT 686

009-446-938 - 010-897-283

PROJECT # 2231

no.	date	issue
01	26 july 2022	concept design
02	21 oct 2022	progress set
03	28 nov 2022	issue for DP
04	31 may 2023	DP REV1
05	25 aug 2023	ADP meeting

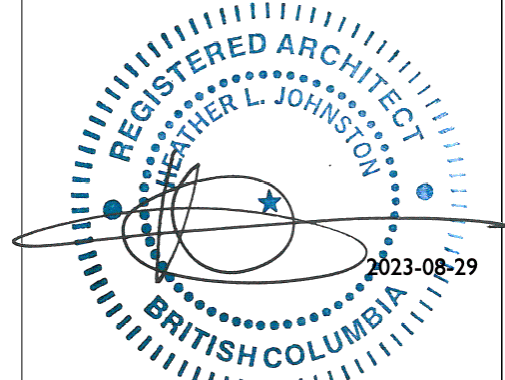
## elevations

heather l. johnston  
architect AIBC, AAA, MAA, SAA

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6262 st georges avenue  
west vancouver bc, v7w 1z7

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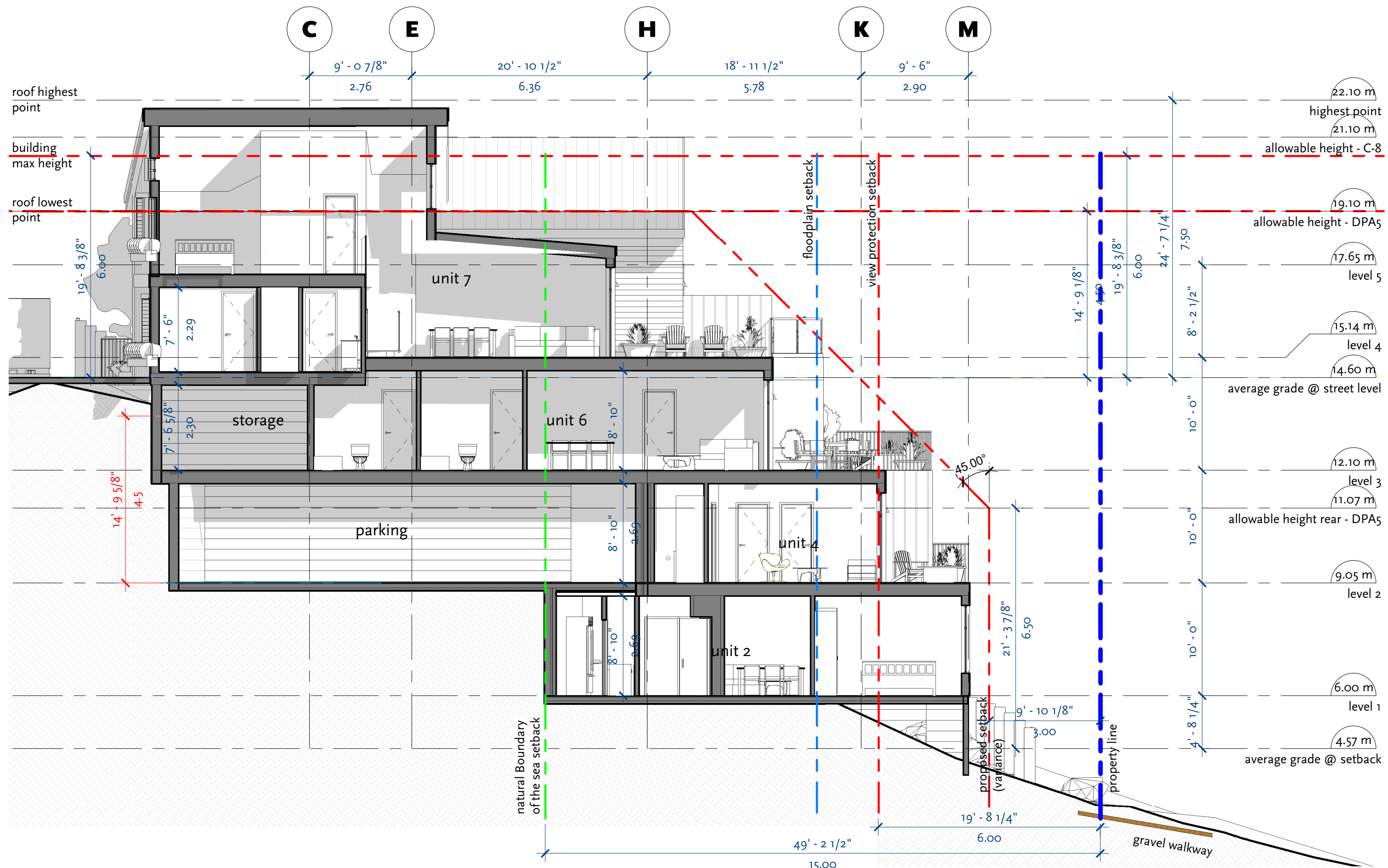
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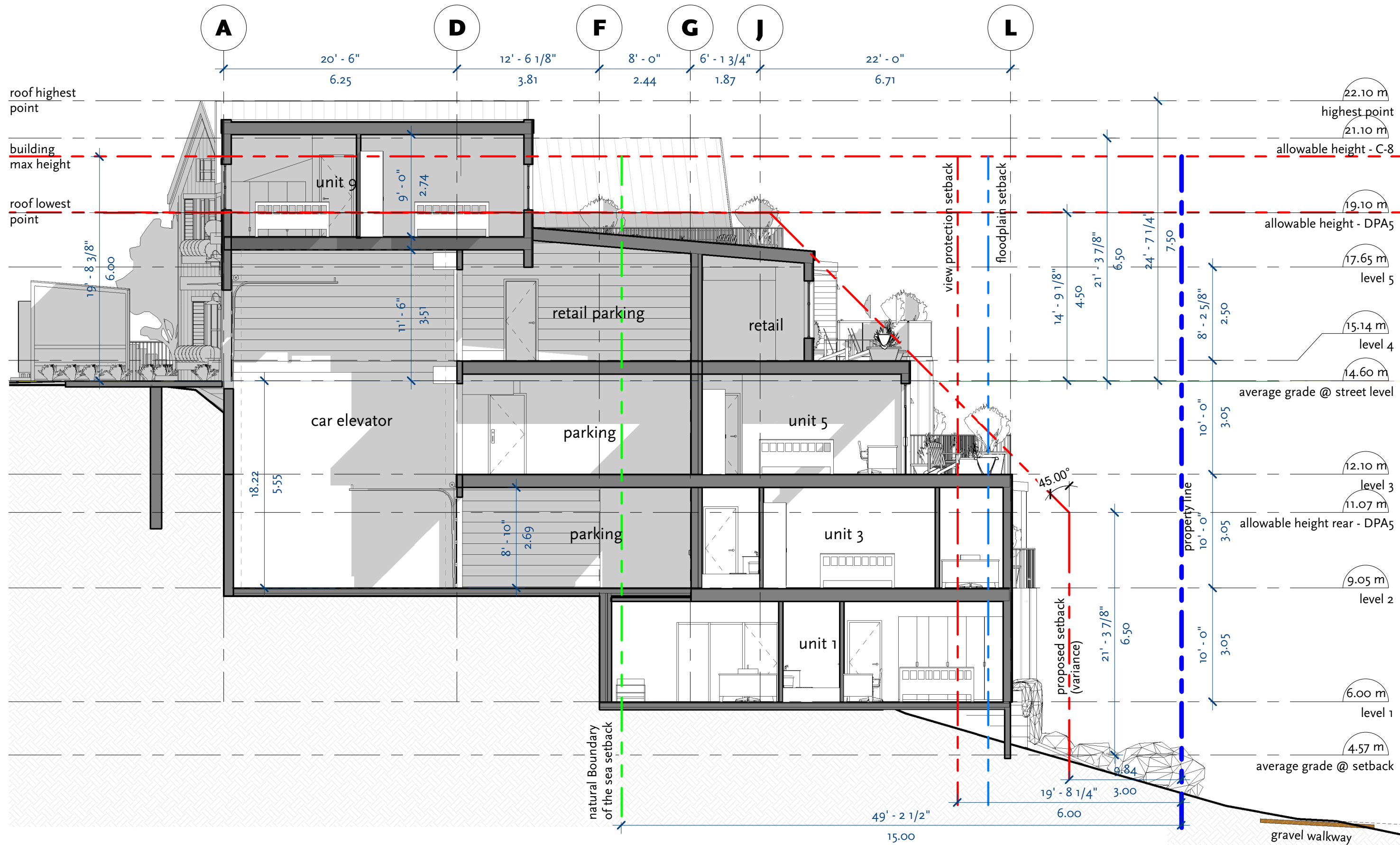
**A3.3**

25 aug 2023





2 Section 2  
A4.1 SCALE 1/8" = 1'-0"



1 Section 1  
A4.1 SCALE 1/8" = 1'-0"



**THE TERRACES**  
456 - 458 MARINE DR., GIBSONS, BC V0N 1V1  
LOT B BLOCK D PLAN VAP3971 DISTRICT LOT 686  
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sections

heather l. johnston  
architect AIBC, AAA, MAA, SAA

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west vancouver bc, v7w 1z7  
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REGISTERED ARCHITECT  
HEATHER L. JOHNSON  
BRITISH COLUMBIA  
2023-08-29

**A4.1**  
25 aug 2023