



STAFF REPORT

TO: Advisory Design Panel **MEETING DATE:** February 9, 2024
FROM: Planner II **FILE NO:** 3220-Shaw-508
SUBJECT: Zoning Amendment and Development Permit for a Garden Suite at 508 Shaw Road

REPORT FOR ADP RECOMMENDATION TO COUNCIL

PURPOSE

The Town has received an application for a Garden Suite at 508 Shaw Road. The purpose of this report is to provide the Panel with the proposal and obtain a recommendation for Council.

BACKGROUND

The property is outside the Garden Suite Area and therefore the Town is received the following applications:

- Zoning Amendment to allow a Garden Suite
- Development Permit for form and character under DPA 8

Staff request Panelists to frame the discussion on two key points:

1. Is the Zoning Amendment to allow a Garden Suite at 508 Shaw Road supported?
2. Does the proposed Garden Suite conform to the form and character guidelines of Development Permit Area No.8 (DPA 8)?

DISCUSSION

Site and Surrounding Uses

508 Shaw Road has an existing one-storey single detached home on the property, and is located on the north east corner of Shaw Road and Oceanmount Boulevard, as shown in Figure 1. The lot is accessed from Shaw Road. The existing home does not contain a secondary suite.

Table 1 provides a summary of the existing uses, zoning designations and OCP land use designations for the surrounding properties.

The lot area is approximately 1008m² in size and is relatively flat.



Figure 1: Location of the subject property

Table 1: Surrounding Uses

	Existing Land Use	Existing Zoning	Exiting OCP Designation
North	Multi-Family	Multi-Family Residential 1 (RM-1)	Low Density Residential 1
South	Single Family	Single-Family Residential Zone 1 (R-1)	Detached Residential
East	Single Family	Single-Family Residential Zone 1 (R-1)	Detached Residential
West	Single Family	Single-Family and Two-Family Residential Zone 3 (R-3)	Low Density Residential 1

Application Proposal

The applicant has applied to construct a Garden Suite in a vacant portion of the parcel, as shown in Figure 2 and Figure 3. The existing single-family home will remain.

A Garden Suite is a detached accessory dwelling. The proposal is to develop a one storey, one bedroom suite. The driveway would be extended to allow an additional parking space on-site.

The rationale for the Garden Suite is to allow the homeowners to age-in-place and provide separate accommodation for family or a carer to live.

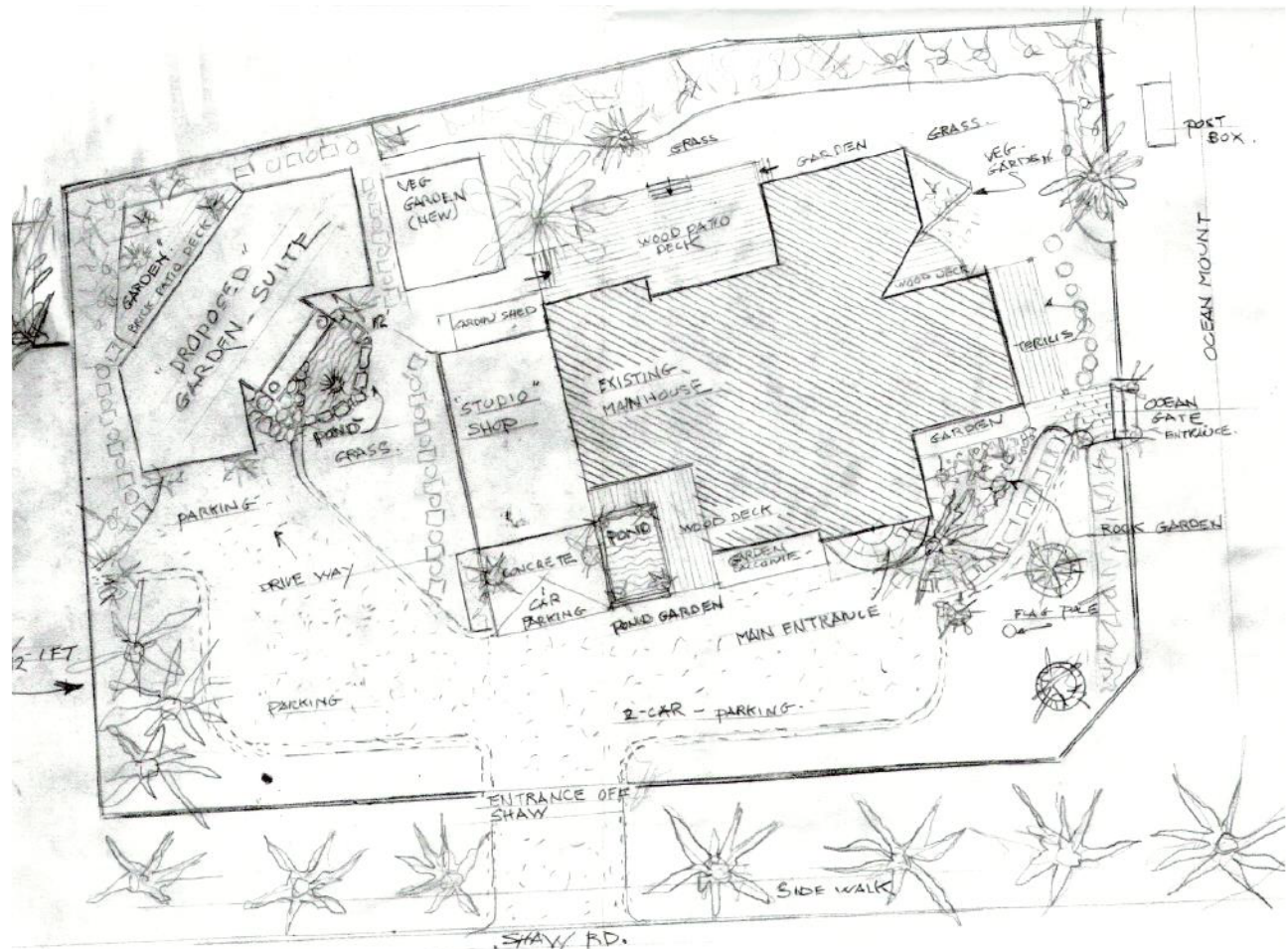


Figure 2: Proposed site plan.

Planning Review

A Plan check was completed, and is provided in Table 2:

Table 2: Plan Check

	BYLAW	PROPOSED	MET?
Rear Setback (North)	1.5 m	1.4m	No – to conform at BP
Setback from Principal Dwelling	5 m	3.4m	No – to include in the Zoning Amendment
Interior Side Setback (East)	1.5 m	1.4m	No – to conform at BP
Exterior Side Setback (West)	3.0 m	> 3.0m	Yes
Height	6 m	4m	Yes
Lot Cover	45%	30%	Yes
Parking	1 additional	2 additional	Yes
Total Floor Area Maximum	90m ²	55m ²	Yes

Planning Context

Official Community Plan

The OCP designates 508 Shaw Road as Detached Residential. The intent of this designation is:

To permit single-detached dwellings, and duplex housing with a maximum floor space ratio (FSR) of 0.5 (generally 15 to 20 units per hectare).

The OCP supports the zoning amendment to allow a Garden Suite on the property.

Zoning Bylaw

The property is zoned Single-Family Residential 1 (R-1). The permitted use of the lot is to allow for a single-family home with a secondary suite. The property is outside the Garden Suite designated area and therefore, the development proposal for the Garden Suite requires a Zoning Amendment.

Proposed Zoning Amendment

The proposed Zoning Amendment would add the property to the Garden Suite Area, and provide a site-specific condition that would allow the Garden Suite to be located closer to the principal dwelling. Currently the Bylaw requires a Garden Suite to be at least 5 m from the principal dwelling, whereas the proposed site plan shows that the 5 m cannot be achieved on the lot; therefore, a building separation of 3 m would be given to this property only.

Development Permit (DPA 8)

All Garden Suites must obtain a Development Permit for form and character prior to applying for a Building Permit.

Garden Suites fall under Development Permit 8 (DPA8). A summary table with the design guidelines are enclosed as Attachment C to assist with review.

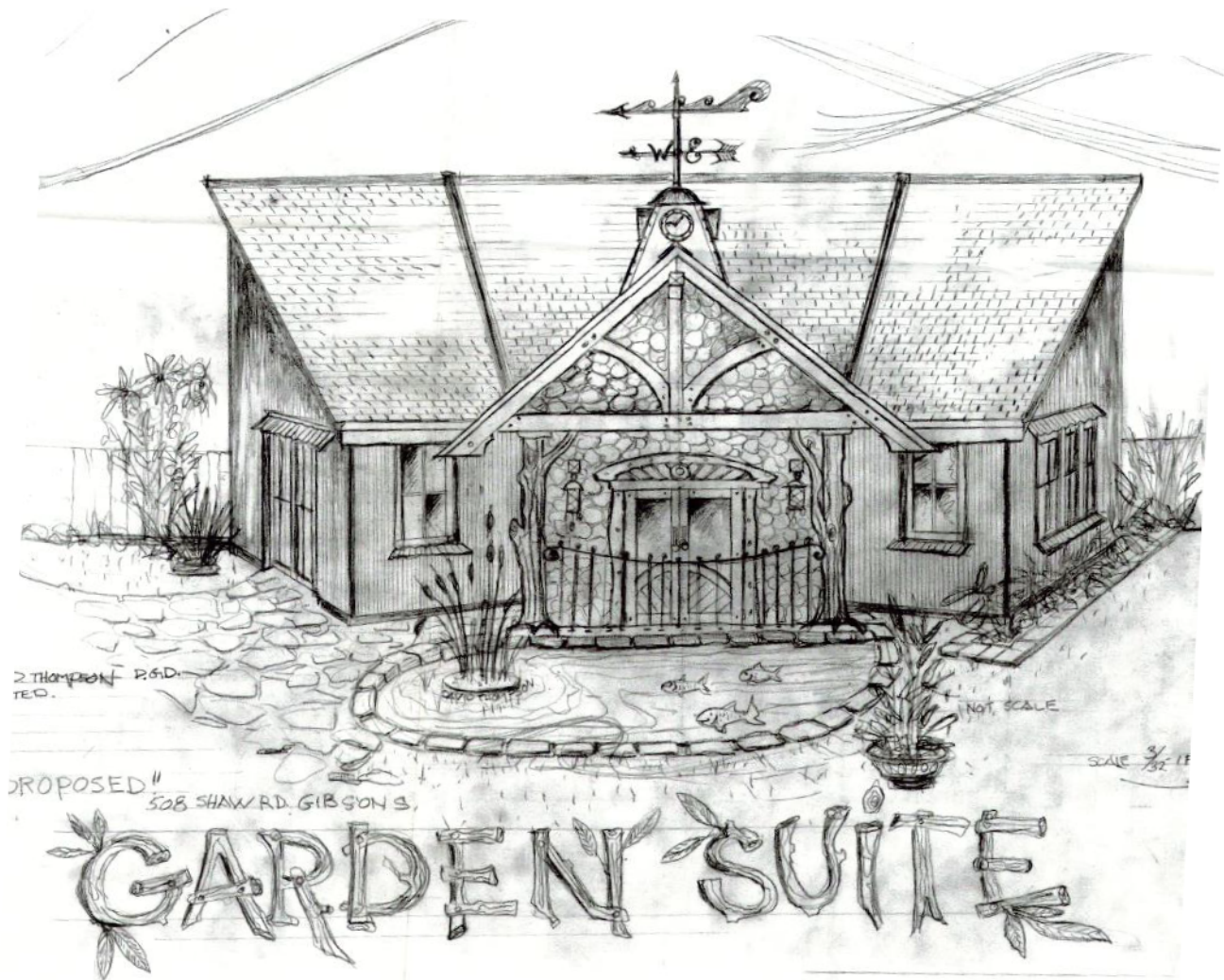


Figure 3: Proposed Garden Suite front elevation

Staff have reviewed the plans and have provided a summary for the ADPs consideration:

General Form and Character

The guidelines suggest that development should fit with the small-town character of Gibsons by demonstrating architecture, landscape design and site design that respects the surrounding

context. The Garden suite is one storey, with windows placed to avoid overlook to neighbouring properties.

The Garden Suite is proposed to be finished in rusted corrugated metal, with the main entry accentuated with two logs and timber.

The design of the proposed single-story garden suite fits with the existing principle dwelling and is sensitive to the scale and mass of the adjacent buildings.

Solar orientation

The guidelines state that Garden Suites be orientated to ensure that most of the primary living space receives direct sunlight. The main structure is positioned for southern solar exposure, and the applicant has stated that solar panels are proposed to be placed on the roof of the Garden Suite.

Parking and Access

Two additional gravel parking spaces will be added to the site. The guidelines state that parking should not dominate the proposed Garden Suite, and that there should be a 4.0 m wide clear area connecting the street and Garden Suite to ensure safe fire access to all units. The 4.0 m wide access is met. Staff note that much of the site is taken up by parking, however there are landscaping elements such as a new pond in front of the Garden Suite and the existing mature tall hedge along Shaw Road as shown in Figure 4, which limit the visual impacts of the parking.



Figure 4: Entry to the property from Shaw Road

Landscaping

The applicant has been careful to retain as much of the existing landscaping to comply with the guidelines, and a private patio at the rear of the Garden Suite is proposed. The new vegetable garden buffers the Garden Suite from the rear yard of the principal dwelling creating some privacy.

REFERRAL

The application was referred in January to the SCRD, MOTI, the Gibsons and District Volunteer Fire Department and the following Town departments: Infrastructure Services, Building, Public Works as well as Finance. Referral comments will be collated with the ADP's recommendation for Council's consideration.

POLICY / PLAN IMPLICATIONS

Strategic Plan Implications

The Strategic Plan looks to encourage secondary and accessory suites. This development proposal meets this objective.

Financial Plan Implications

Increased density generally has a positive impact on the Financial Plan as it enables the Town to collect comparatively more property taxes and user fees without significant infrastructure expansion being required.

NEXT STEPS

This application will be presented to Council with a draft Bylaw, referral comments, and the ADP's recommendations.

As the proposal meets the OCPs vision, a Public Hearing will not be held. Residents within 100m of the subject property will be mailed a Notice of First Reading.

RECOMMENDATIONS / ALTERNATIVES

Staff have provided a guide for the requested recommendations below:

*THAT the Advisory Design Panel [**supports/ does not support**] the Zoning Amendment application (ZA-2023-05) for the proposed Garden Suite at 508 Shaw Road;*

AND THAT the Advisory Design Panel recommends that Council issues DP-2023-10 for the development at 508 Shaw Road as proposed;

OR

AND THAT the Advisory Design Panel recommends Council issues DP-2023-10 for the development at 508 Shaw Road with the following changes/ conditions:

[list additional changes/conditions]

Attachments

- Attachment A – Application Drawings and applicant proposal
- Attachment B - Design Guidelines for DPA8

Respectfully Submitted,

Katie Thomas
Planner II

Report reviewed by:

	Chief Administrative Officer
	Director of Corporate Services
	Director of Finance
	Director of Infrastructure Services
X	Director of Planning and Development

FOR THE PURPOSES OF An APPLICATION FOR GUARDEN SUIT 508 SHAW RD GIBSONS BC.VON1V8

DAVID ,PENNY THOMPSON

ONLINE ACCT NO 988026 ACCESS CODE450117

Legal Description Lot1Blk Sec

Lot 1of 7

Pid(s):012-788-46

Plan:22060

Roll number 00988026

LOT SIZE (ESTIMATED) 4148 SQ MET

(estimated)House, artist(shop) and proposed Garden Suite 1018 SQ M(combined)

Proposed Suit 611 SQ M main floor with the possibility of storage area loft.

EXISTING PROPERTY

Fenced with perimeter gardens flower beds large trees, lawns. During Dry summer gardens and flower beds watered by automatic systems. A existing 4000 gal under ground system provides irrigation. Water sheds from roofs. West property line shaded with mature cedar trees. Entrance is accessed from Shaw RD trough a large gate to existing gravel and parking areas. The through gate entrance is accessed over grass planter pavers. The proposal would allow for 2 or more off road parking locations. The current location has parking for three vehicles which would not be affected by proposal. Adjacent to the side entrance is a fish pond with flowering plants. The existing main house entrance is shielded from proposed suite. The main entrance is treed and with side rock garden. Ocean mount face of structure has Vegetable Garden, flower beds trees and lawn. East fenced property has a continues flower beds and small trees and sun deck. The North east corner of property is currently fenced. Two raised veg gardens and flower beds grace the corner of property. Two permitted additions to existing home completed in last several years.

PROPOSED GARDEN SUITE

The garden suite located to the North East corner to least affect both neighbors and main house. The existing gardens to be relocated to East South with deer fence. Main structure is rotated to a south facing for sun exposure and solar panels on roof. At the rear of the structure the rotation will allow a private deck with gardens. At the Main entrance a garden fish pond to enhance the natural river rock stone and finishes. The main column front roof supports tree trunks. The exterior building finish rusted corrugated metal. Construction and building structure six X six timber. Gravel drive way from Shaw entrance will provide off street parking for two vehicles. To the North West corner, the large trees will still prove to the secluded feeling of 508 Shaw Rd.

PROPOSED INTERIOR

The structure is proposed to be a double occupancy . The concept is to be a open plan with entrance living room kitchen and bed room to be divided off with partial height walls. The ceiling for the most part open to rafters. Bath room with ceiling. A small closet main floor and storage area above bath and bed room. The entertainment area and kitchen a view to patio at rear of suite. The kitchen a view to the gardens in south view. In time the exterior that faces neighbors hood to the northeast to have trellis vines.

INTENTION OF OWNERS

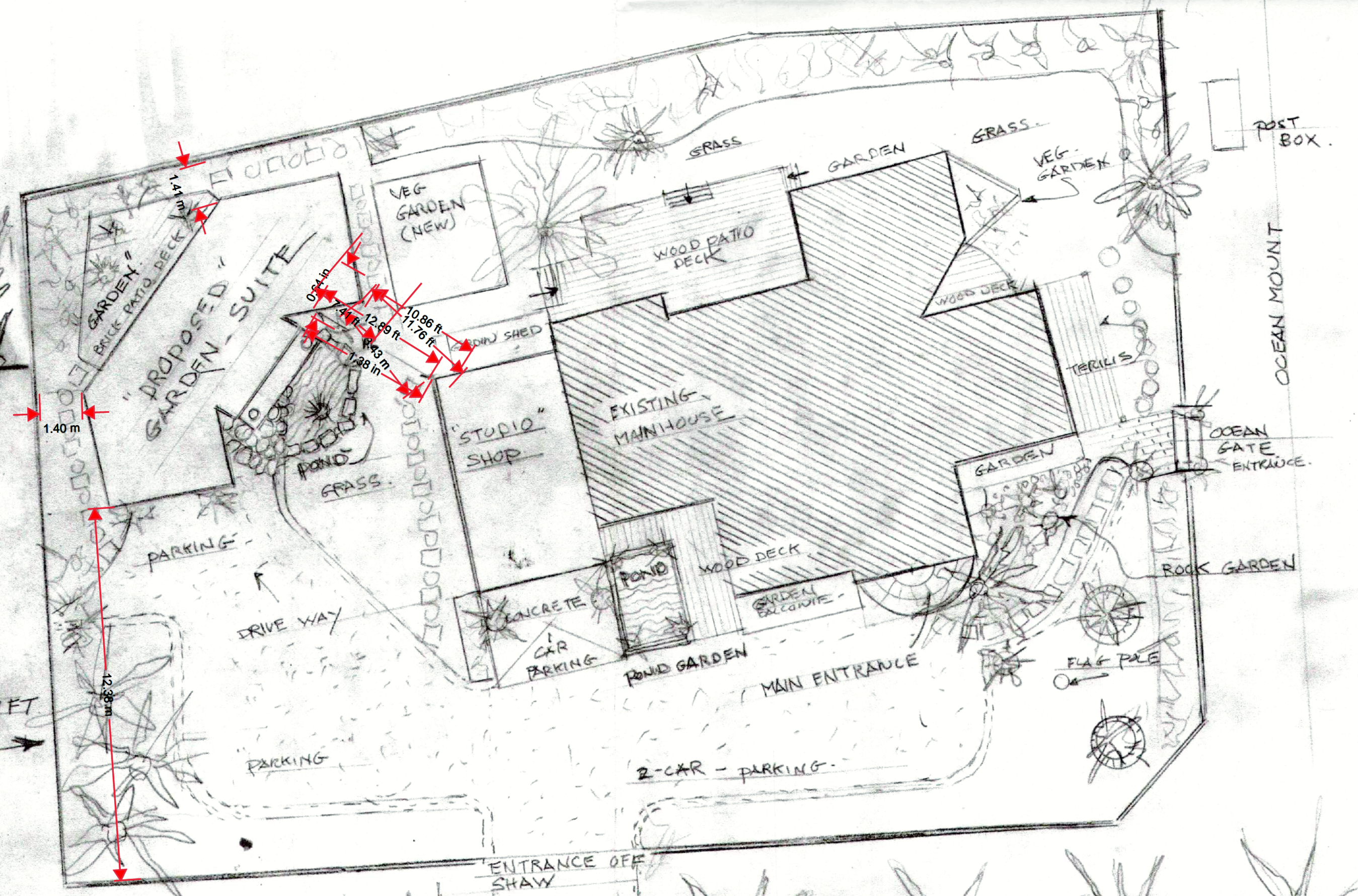
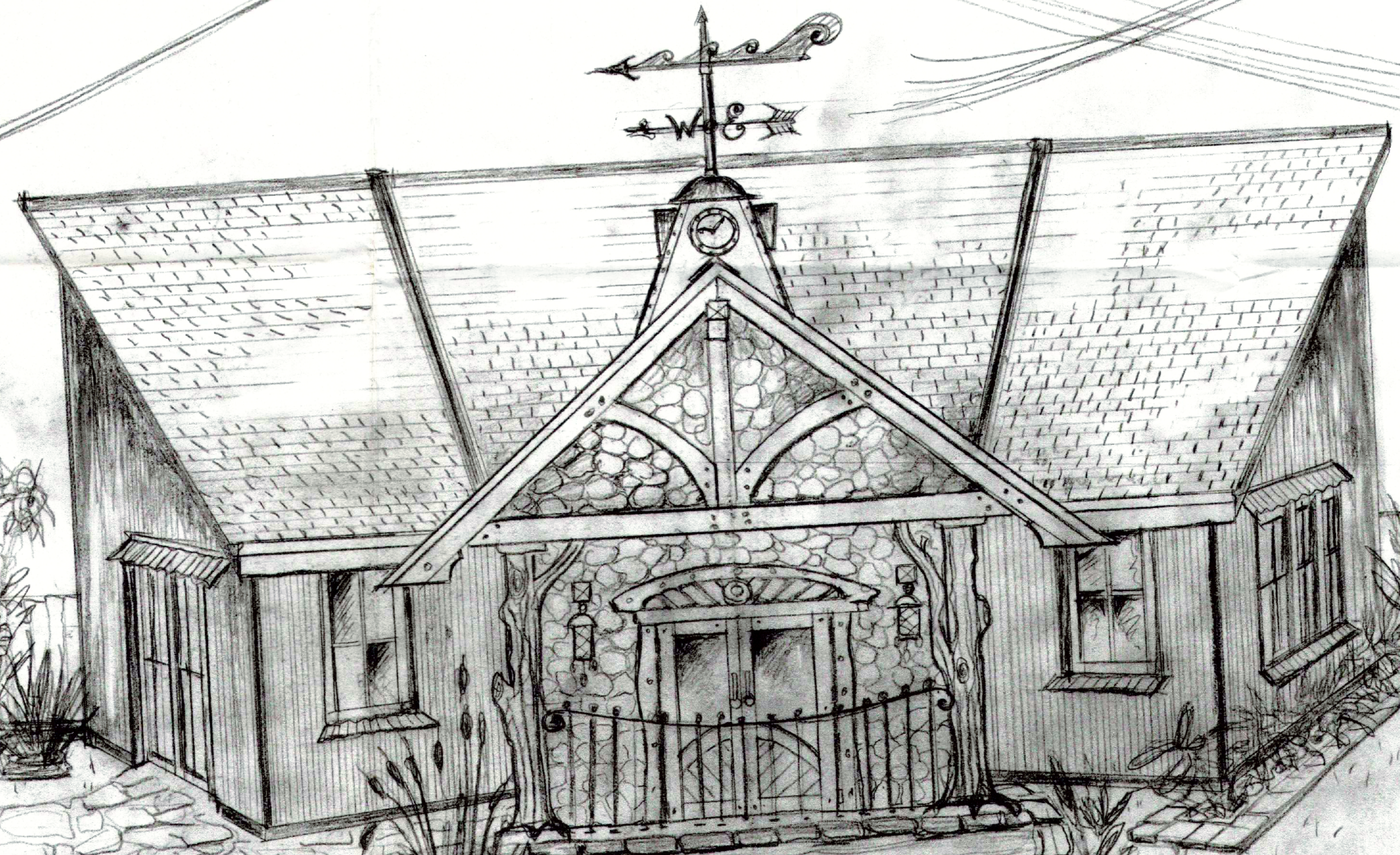
The owners are both in their eighties and looking for option of live in caretakers or the option of the children to occupy the main house or garden suit.

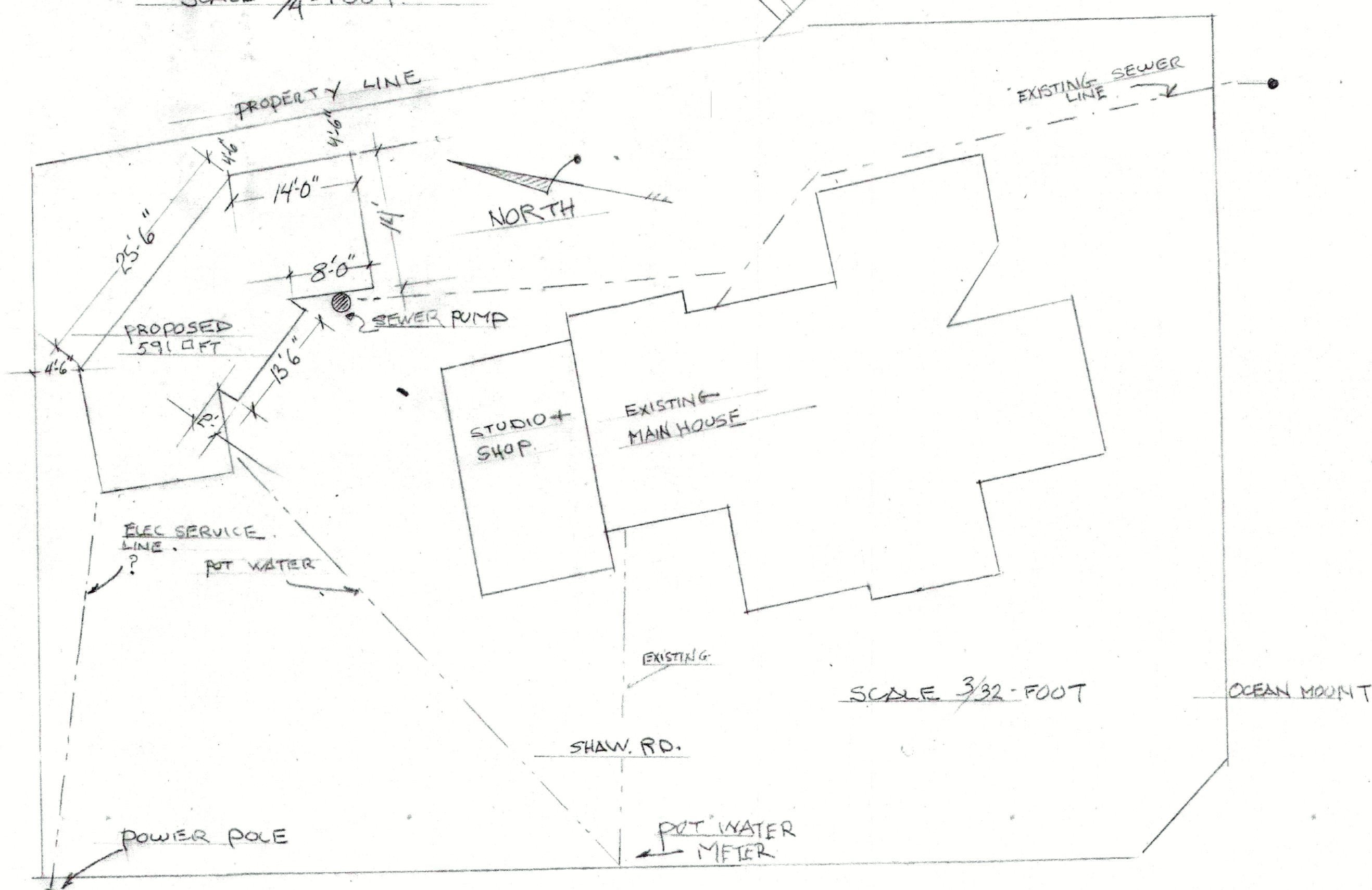
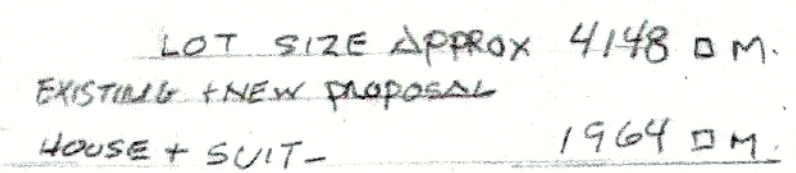
David and Penny Thompson

DRAWN BY D. THOMPSON P.S.D.
SCALE AS NOTED.

"PROPOSED"
508 SHAW RD. GIBSON S.

GARDEN SUITE





DPA 8 Guidelines	ADP Evaluation Notes
<i>General Form and Character</i>	
Development should fit with the small town character of Gibsons by demonstrating architecture, landscape design and site design that respects the surrounding context.	
Local and natural building materials such as timber and stone are preferred. The use of vinyl siding is discouraged.	
The use of natural colours is encouraged, and the use of a variety of complementary colours as accents is also encouraged to promote visual interest.	
Vary materials and/or colours to distinguish individual dwelling units on the property	
<p>Reflect an environmentally friendly ("green") image through the design and exterior features of the development. This may be achieved in such ways as:</p> <ul style="list-style-type: none"> • buildings and driveways should be sited to retain existing trees, vegetation, and other important natural features where possible • incorporation of visible "green" landscaping features such as rain gardens and infiltration trenches • incorporation of visible "green" building features and materials such as skylights, rain barrels, local wood and stone, green walls and roofs, rain gardens, solar panels, recycled exterior materials, exterior elements for window shading • incorporation of permeable pavement or wheel strips for parking spaces to reduce the visual and environmental impact of driveways 	
Design lighting to minimize light spill, glare and sky glow by using non-glare full cutoff fixtures.	
<i>Building Massing and Street Rhythm</i>	
To achieve harmonious integration with surroundings, Garden Suites should be sensitive to scale, mass and form of adjacent buildings.	
Garden Suites should be smaller than and complement the scale, mass, built form and character of the principle dwelling unit as well as the neighbourhood.	
Roof ridges should be orientated roughly in the same direction as the slope allowing for overlook and views from uphill properties should be taken into consideration.	

DPA 8 Guidelines	ADP Evaluation Notes
<i>Relationship to the Street or Lane</i>	
Garden Suites positioned at the rear of the property should have a clear and obvious approach from the street or lane.	
Provide a clearly identifiable door to the street or lane and public open space.	
<i>Relationship Between Buildings</i>	
Garden Suites should be screened from the principle building to create privacy between the two buildings.	
Windows and balconies should be placed to reduce overlook.	
<i>Solar Orientation</i>	
Building orientation and massing should ensure that a majority of primary living space receives direct sunlight and therefore is positioned to face towards the South, East or West.	
Garden Suites should be positioned and scaled to minimize the impact of shadows on adjacent developed properties.	
<i>Parking and Access</i>	
A walking path providing direct access to the Garden Suite should be clearly visible from the street or lane	
All buildings should be sited to provide for safe fire access to all units.	
All parking spaces should access the site via a single, shared driveway and/or directly from a public lane where available.	
Parking should not dominate the proposed Garden Suite.	
If the parking space for the Garden Suite is not enclosed in the building, permeable pavement or wheel strips should be used, to minimize additional impermeable surfaces.	
Parking pads and garages should be located to the rear or side of the dwelling wherever possible, and always where there is access from a rear lane.	
Vehicular access from the street is strongly discouraged unless a property is not served by a lane or is subject to prohibitively steep grades.	

DPA 8 Guidelines	ADP Evaluation Notes
Where there is no lane, there should be a 4.0m wide clear area connecting the street and Garden Suite, to provide clear, safe access to the Garden Suite.	
<i>Screening and Landscaping</i>	
Retain the existing landscaping to the extent possible, especially where it can function as a buffer between adjacent properties.	
A usable private open space should be provided for the Garden Suite, either at grade or on a balcony. If on a balcony, this open space should be no less than 5ft deep and no less than 50 ft ² . If at grade, the open space should be no less than 100 ft ² .	
Vehicle access should be screened from the view of neighbouring properties.	
A landscaping plan is required showing how the site is landscaped and screened with the goal of ensuring privacy for the Garden Suite and adjacent properties.	
<i>Other</i>	
The location of extra garbage and recycling should be taken into consideration, and should be sited away from the primary entrance of both the principle building and the Garden Suite, and should be screened from public views.	