

Figure 1: Location of subject property

Proposal

The proposal is for a mixed-use building composed of 30 residential strata units, 3 Live/Work units and a 250 m² commercial retail unit. Residential parking will be predominantly underground, with access from the south side of the building. Surface parking provides 1 residential accessible space and 12 commercial spaces located along the northern frontage of the building.

An outdoor building amenity/gathering space is provided on level 1 above the parkade with community gardens and 2 BBQ areas with seating, shown in Figure 5. This area can be accessed via Mahan Road through a gate to the south of the commercial retail unit, or directly from the 5 residential units on level 1.

The proposed building will be 4 storeys from the north and 5 storeys from the south, as shown in Figure 2-4. Figure 6 shows the site in context with an adjacent development proposal that requires both an OCP and zoning amendment.



Figure 2: Cross-section (west) of the building, showing the four storeys and elevation change of the lot.



Figure 3: North elevation



Figure 4: South elevation

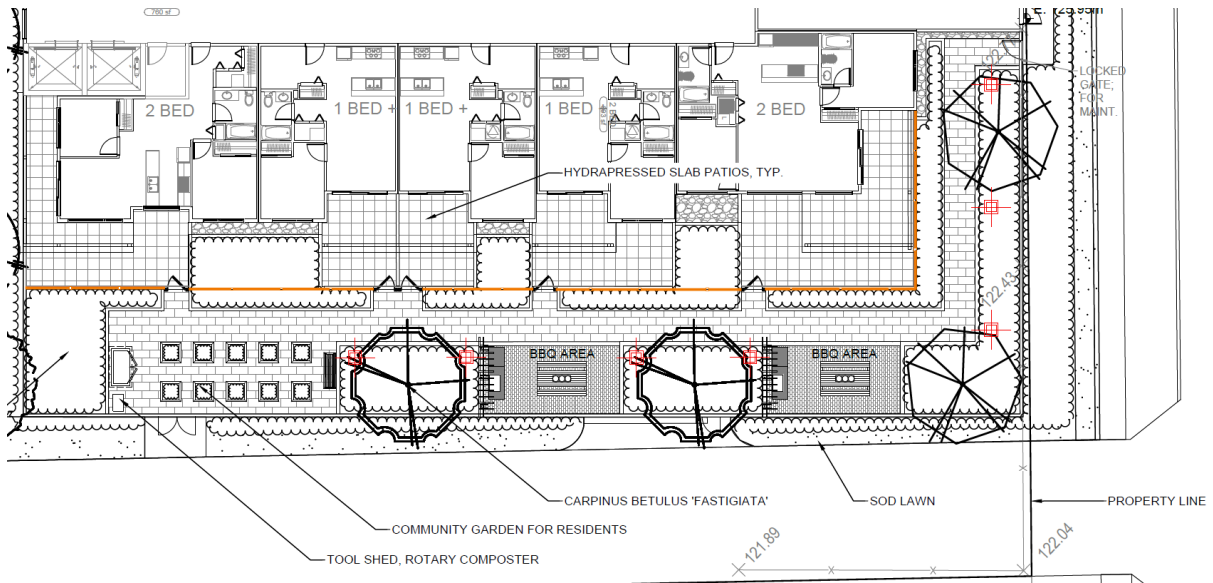


Figure 5: Excerpt of the Landscape Plan, showing the outdoor amenity area



Figure 6: Subject property in context with the adjacent development proposal

Planning Context

The property at 629 Mahan Road is designated Mixed-Use Commercial under the Official Community Plan (OCP) and is zoned Upper Gibsons Commercial District 1 (C-1) under Zoning Bylaw No.1065.

Official Community Plan

The property is within Development Permit Area 3 – Upper Gibsons Commercial Area (DPA 3) and ADP members are requested to assess the proposal alongside the DPA 3 guidelines.

Zoning Bylaw

The proposed use of the property conforms with the C-1 zone. Staff have reviewed the proposal under the Zoning Bylaw, and an initial plan check is shown in Table 1.

The proposal requires a variance to height and to allow residential use to be located at grade.

Table 1: Plan check

	BYLAW	PROPOSED	MET?
Use	Commercial at grade Residential above	Commercial and residential at grade, residential above	DVP required
Rear Setback	3 m	5.3 m	Yes
Interior Side Setback (North)	1.5 m	15.7 m	Yes
Interior Side Setback (South)	3.0 m	7.9 m	Yes
Front Setback	0 m	0 m	Yes
Height	12 m	16 m	DVP required
Lot Cover	80 %	77 %	Yes
Vehicle Parking	Commercial: 12 spaces Residential: 50 spaces	Commercial: 12 spaces Residential: 50 spaces	Yes
Bike Parking	Total residential and commercial combined: Class 1: 43 Class 2: 8	Class 1:38 Class 2: 4	To be updated prior to Council consideration

Parking Covenant

There is currently a restrictive covenant on the title of Lot 2 Mahan Road requiring 6 parking spaces for Lot B (1009 Gibsons Way – 101 Brewhouse) on the property. The applicant would like to remove this covenant, and proposes to add 4 parking spaces to the south of 641 Mahan, as shown in Figure 6, and 2 spaces on the property on Lot A. This will need to be formalized in a covenant on both properties.

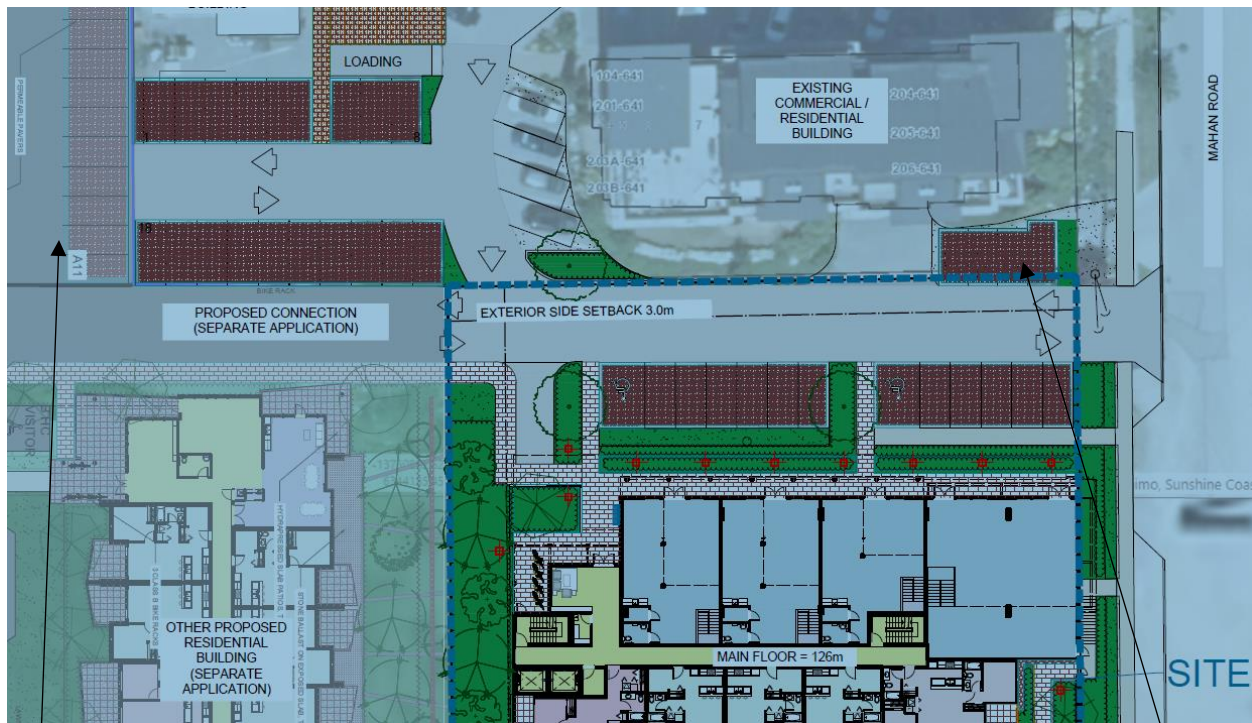


Figure 7: Excerpt of the site plan, showing the placement of the additional parking spaces.

2 new parking spaces to be added here (Lot A)

4 new parking spaces to be added here (641 Mahan)

Development Permit (DPA 3)

All commercial and mixed-use buildings must obtain a Development Permit for form and character prior to applying for a Building Permit.

Staff have reviewed the plans and provide the following comments:

General form and Character

The guidelines suggest locating the buildings near the front of the parcel with the building’s front face and main access facing the street. The front lot line is Mahan Road and the proposal is orientated towards the street and northern internal road with a double height commercial retail unit.

Parking is encouraged at the side or rear of buildings to encourage pedestrian orientation. The proposal provides most of the parking under the building and 13 parking spaces along the northern frontage (side yard).

The guidelines request that West Coast design features be included in the design and that the form and character should support and enhance the small-town character. The Architects have used sloped roofs, timber supports and natural materials to portray a west-coast design feel, and the styles mimic architectural elements from the existing Blue Heron buildings to the north.

Siting of Buildings and Structures

As the proposal is tucked away from Gibsons Way, not all the guidelines in this section apply. The sloped roof and double height commercial retail unit reinforces the Mahan Road and internal lane corner and will direct visitors to the site towards the commercial hub.

Landscaping

A detailed landscaping plan has been provided and is enclosed as Attachment B.

The rear property is landscaped with 2-3 m tall trees, which will provide a buffer between the upcoming development to the west of the site.

The existing property does not have any natural tree stands, and therefore the development will add vegetation and landscaping to the site.

No street trees are proposed on-site; however, frontage works will be required off-site and street trees will be required along the street edge. The Development Permit only applies on-site (on the property); a Servicing Agreement will apply to the off-site (off property) landscaping.

Parking

The guidelines state that parking should not visually dominate a development. Parking is to be integrated into developments by such means as incorporating significant landscaping, coordination of outdoor elements and linking of buildings with parking by distinctively paved walkways.

Staff considers that locating residential parking beneath the building helps to reduce the visibility of parking, and the proposal meets the guideline to ensure that no more than 10 parking spaces are permitted without a landscaping break.

REFERRAL

The application was referred in January to the SCRD, MOTI, the Gibsons and District Volunteer Fire Department and the following Town departments: Infrastructure Services, Building, Public Works and Finance. Referral comments will be collated with the ADP's recommendation for Council's consideration.

NEXT STEPS

This application includes a variance request to height.

Neighbours within 50 metres of the subject property will be mailed a notice of application and Council decision before it is presented to Council.

If Council supports the height increase and development permit, the owners can then apply for a building permit.

If Council does not support the height increase, then the owners will need to redesign to reduce the height to 12 m (approx. 4 storeys).

RECOMMENDATIONS / ALTERNATIVES

Staff request the Panel members comment on both the height variance and the form and character of the proposal in respect to DPA 3.

Staff have provided a guide for the requested recommendations below:

*THAT the Advisory Design Panel [**supports/ does not support**] the Development Variance request at 629 Mahan Road to allow a maximum building height of 16 metres.*

AND THAT the Advisory Design Panel recommends that Council issues DP-2023-19 for the development at 629 Mahan Road as proposed;

OR

AND THAT the Advisory Design Panel recommends that Council issues DP-2023-19 for the development at 629 Mahan Road with the following changes/ conditions:

[list additional changes/conditions]

Attachments

- Attachment A – Application package
- Attachment B – Landscape Plan
- Attachment C – Summary of DPA 3 guidelines

Respectfully Submitted,

Katie Thomas
Planner II

Report reviewed by:

	Chief Administrative Officer
	Director of Corporate Services
	Director of Finance
	Director of Infrastructure Services
X	Director of Planning and Development