



# DWGR

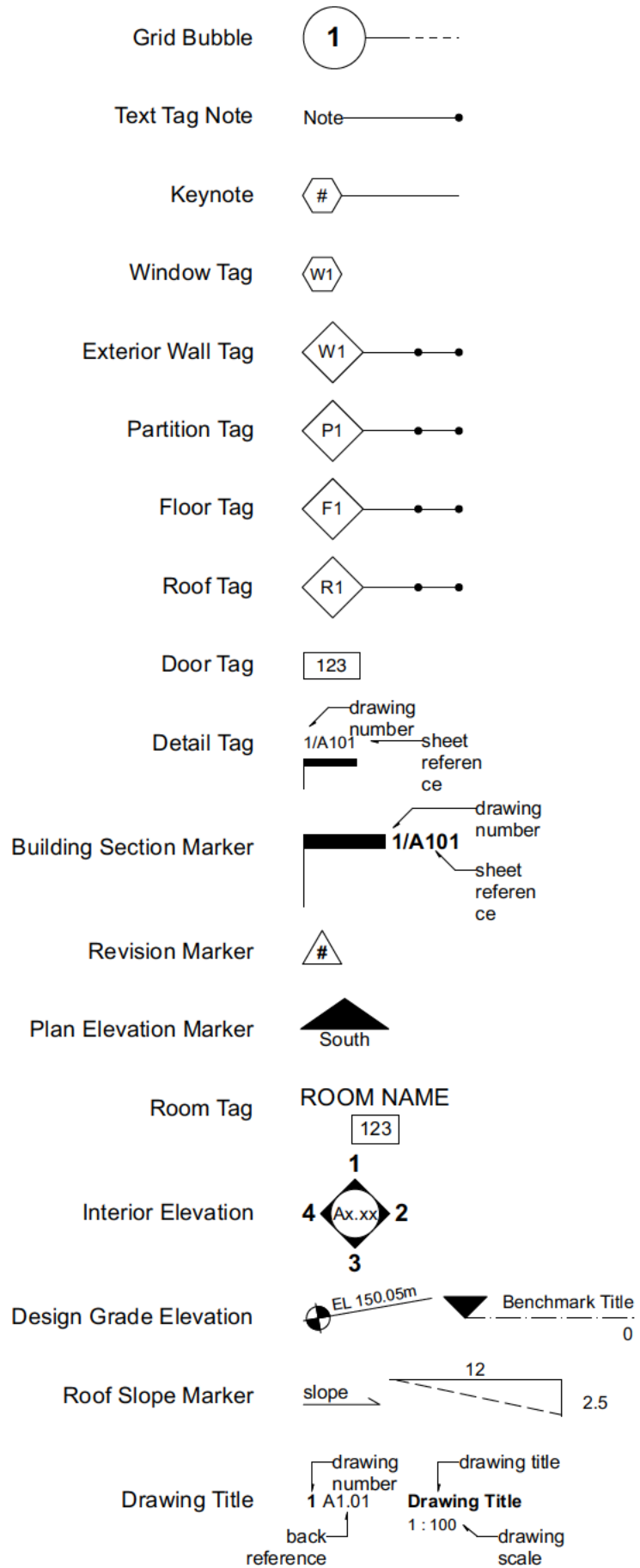
## Driftwood Gibsons Rental

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Date	Issue Notes
24.10.27	Issued for DP

No.	Date	Appr.	Revision Notes
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### Graphic Symbols



### Zoning summary

<b>1.0 Description</b> The proposed development seeks DP approval for a 4-storey development comprised of 42 residential units with amenities, and a commercial space on the ground floor. We are seeking discretionally approval on proposed parking spaces and height limit. Included in the proposal is a new right of way by the TOG.			
<b>2.0 Site details</b>			
Project civic address	672 North Road, Gibsons BC, V0N 1V9, Canada		
Legal description	LOT 11 OF LOT 1, BLOCK 7, DISTRICT LOT 688, PLAN 7392 / PID: 010-636-056		
District schedule	Upper Gibsons Commercial District 1 (C-1)		
Neighborhood	Creekside / Hillcrest		
Site area	1863.80 sqm		
Land Use	Medium Density Residential		
Site dimensions	± 63 m x 29 m		
Gross Floor Area	3,368 sm	36,253 sf	
<b>3.0 Zoning data (metric)</b>			
	required	proposed	relaxation
FSR	-	1.55	-
Building height	12.00	16.25	+4.25
Front setback	-	5.59	-
Rear setback	6.00	6.00	0.00
South setback	-	0.46	-
North setback	-	5.51	-
<b>4.0 Lot Coverage</b>			
	Percentage	Sm	
Maximum permitted	80.00%	1,491.04	
Building footprint	57.59%	1,073.40	
Paved Surfaces	7.21%	134.47	
Total Proposed	64.80%	1,207.87	
<b>5.0 Uses</b>			
	residential	commercial	amenities
Area sqm	2,631	43	348.74
Dwelling units	42	-	-
Outdoor Roof Deck	-	-	178
Indoor Roof Amenities	-	-	50
Area sqm	2,631	43	228
<b>6.0 Parking</b>			
	required	proposed	relaxation
Bicycles Class 1	53	65	-
Bicycles Class 2	9	9	-
Small car	11 max	12	+1
Accessible Comercial	1	1	-
Accessible	2	2	-
Visitor	5	0	-5
Total parking	63	33	required
<b>*Notes</b> Building height: Review Zoning Bylaw 1065, 2007 - 11.09 Maximum Height Of Buildings Rear setback: Review Zoning Bylaw 1065, 2007 - 11.07 Setback (4) rear lot line FSR: "Town of Gibsons Official Community Plan Bylaw No. 985, 2005"			

### Drawing list

#### Architectural

##### Architectural

A0.00  
A0.01  
A0.02

Cover Sheet  
Site Context  
Site plan

##### A1 Floor Plans

A1.01  
A1.02  
A1.03  
A1.04

Ground Level Plan  
Service Level Plan  
Levels 2, 3 & 4 Typ. Plan  
Roof Plan

##### A2 Sections

A2.01  
A2.02

Section A-A  
Section B-B

##### A3 Elevations

A3.01  
A3.02

West/East Elevations  
North/South Elevations

##### A9 Material Boards

A9.01  
A9.02

Material Board 01  
Material Board 02

##### Survey

-

Site Survey

##### Landscape

L-1.01  
L-1.02  
L-4.01  
L-4.02  
-

Landscape Site Plan  
Landscape Roof Plan  
Tree Plan  
Planting Plan  
Landscape Estimate

##### Civil

C1  
C2

Off Site Key Plan  
On Site Key Plan

##### Notes:

- Architectural set prints correct scale when sheet size is 22" x 34"
- All dimensions are in mm except where indicate

##### Unit Area Analysis - 42 Units

unit type	bedrooms	unit area	unit count	total m2
type A	2	70 m2	6	422
type B	1 + den	58 m2	6	349
type C	1 + den	56 m2	12	670
type D	1 + den	60 m2	6	358
type E	2	73 m2	6	437
type F	1 + flex	67 m2	3	201
type G	1 + flex	65 m2	3	194
total		448 m2	42	2,631

### Project data

#### Civic Address

672 North Road  
Gibsons BC V0N 1V9

#### Legal Description

LOT 11 OF LOT 1, BLOCK 7, DISTRICT LOT 688, PLAN 7392 / PID: 010-636-056

#### PID

No. 010-636-056

#### Utilities

Water, sewer and storm sewer at North Road

### Code analysis

#### Bylaw

Zoning Bylaw #1065, 2007

#### Code Edition

BCBC 2024

# RSA

# AW

Rafael Santa Ana  
Architecture Workshop Inc

503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7881  
RSAAW.com

### DWG

Driftwood Gibsons

672 North Road, Gibsons, BC

scale	drawn by
NTS	LC/PM

status	reviewed by
DP	RSA

### Cover Sheet

# A0.00

#### Client



#### Architectural

Rafael Santa Ana Architecture Workshop Inc  
Lewis Canning

1737 W 3rd Ave Unit 230  
Vancouver BC V6J 1K7

lcanning@rsaaw.com  
rsantaana@rsaaw.com  
604 628 7881

RSAAW.com

#### Structural

ASPECT Structural Engineers  
David Rajendran

101 190 W 3rd Ave  
Vancouver BC V5Y 1E9

david@aspectengineers.com  
andrew@aspectengineers.com  
604 762 7844

aspectengineers.com

#### Civil

Core Concepts  
Justin Hayre

220 2639 Viking Way  
Richmond BC V6V 3B7

jhayre@coreconcept.com  
akos@coreconcept.com  
604 249 5040

aspectengineers.com

#### Landscape

Lifestyle Designed Landscape  
Mahsa Azari

mahsa@lifestyledesigned.com  
778 919 7783

#### Traffic/Parking Analysis

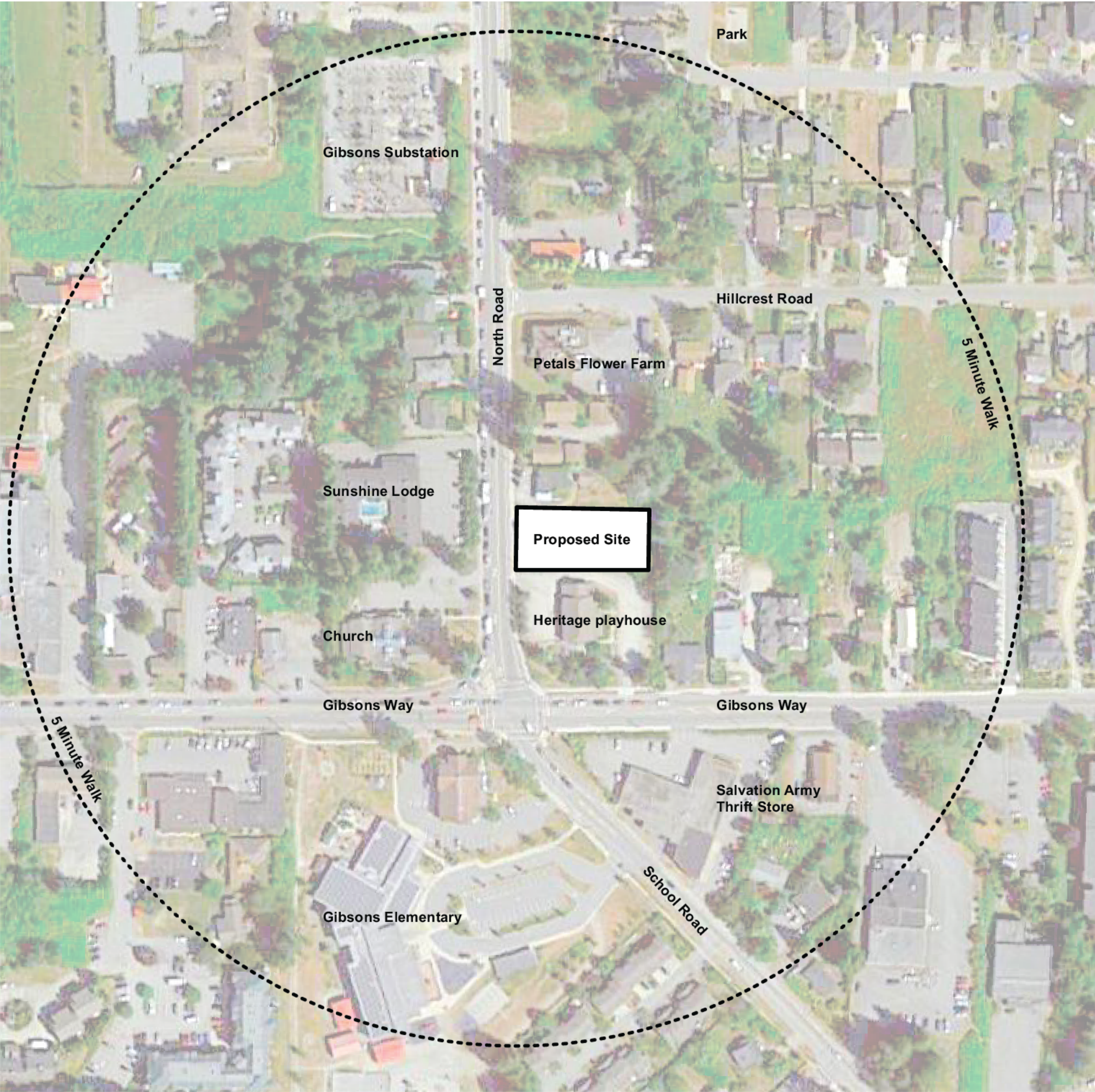
Creative Transport Solutions  
Jan Voss

Unit 101A 1952 Kingsway Ave  
Port Coquiam BC V3C 6C2

jvoss@cts.bc.com  
250 404 9094

cts bc.com





1 Existing Aerial View  
NTS



A View of context to the West of site



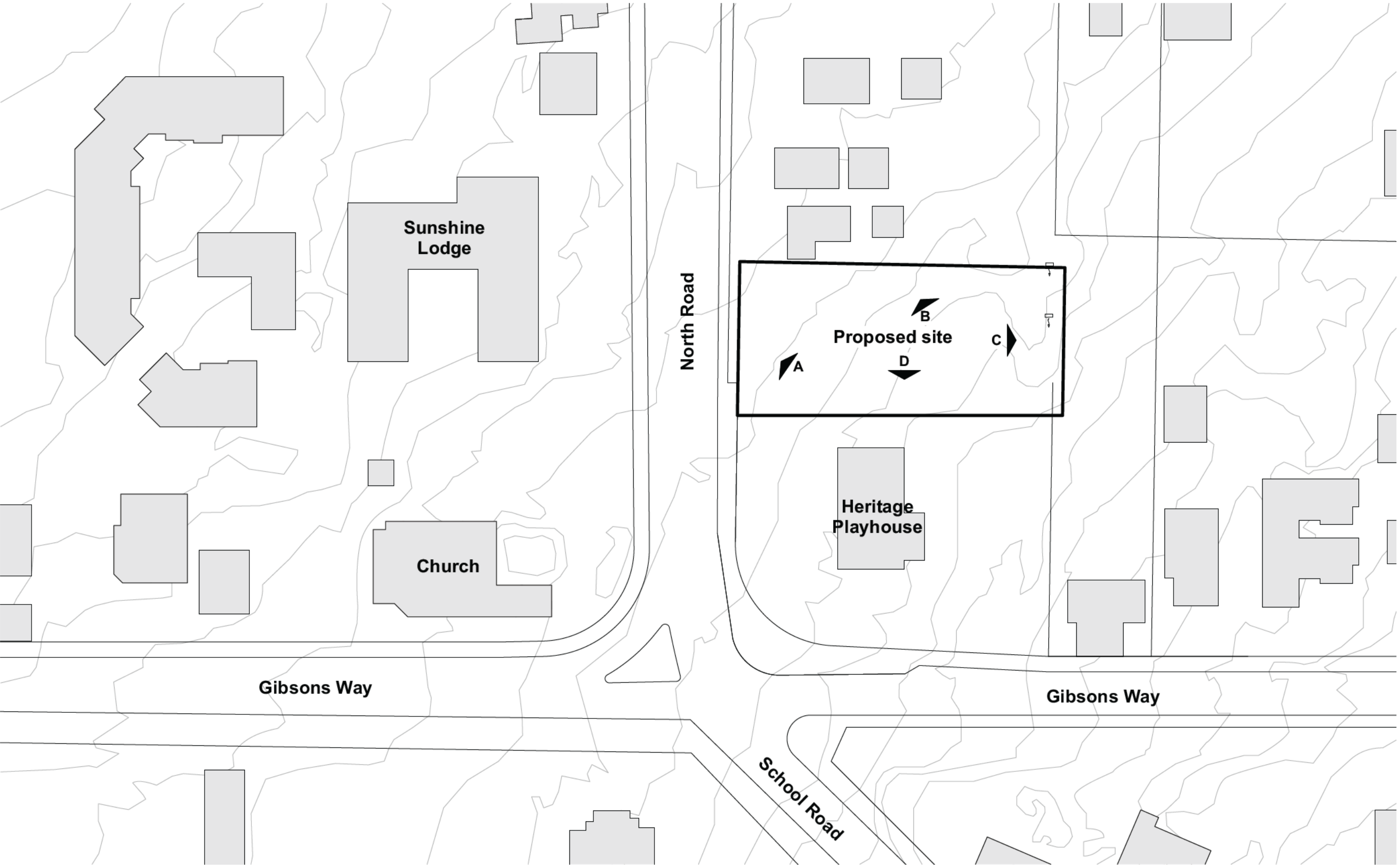
C View of context to the East of site



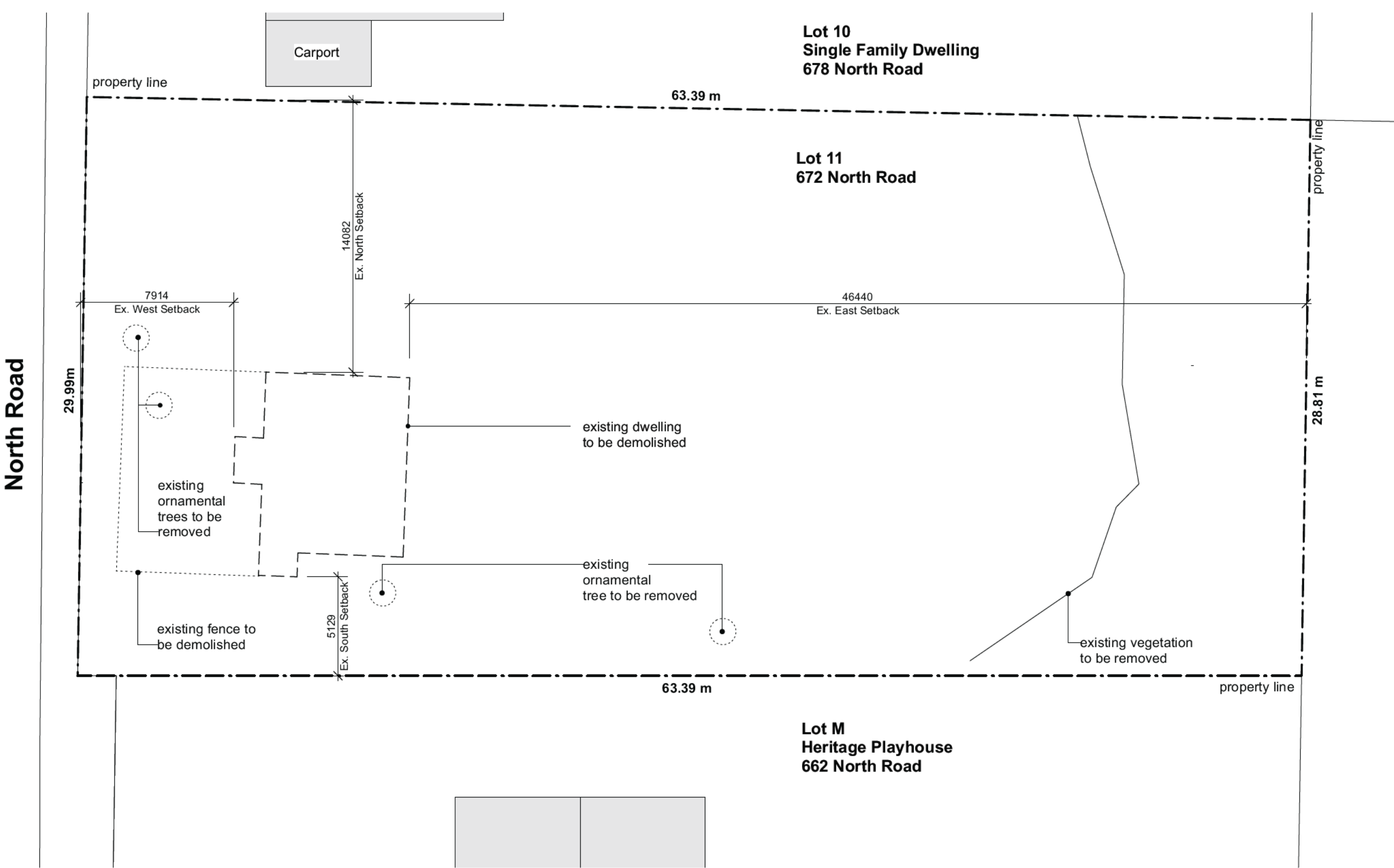
B View of context to the North of site



D View of context to the South of site



2 Context Plan  
1:750



3 Existing Site Plan  
1:200

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AW

Rafael Santa Ana  
Architecture Workshop Inc.  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7881  
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Driftwood Gibsons

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scale as noted	drawn by LC/FM
status DP	reviewed by RSA

Site context

A0.01



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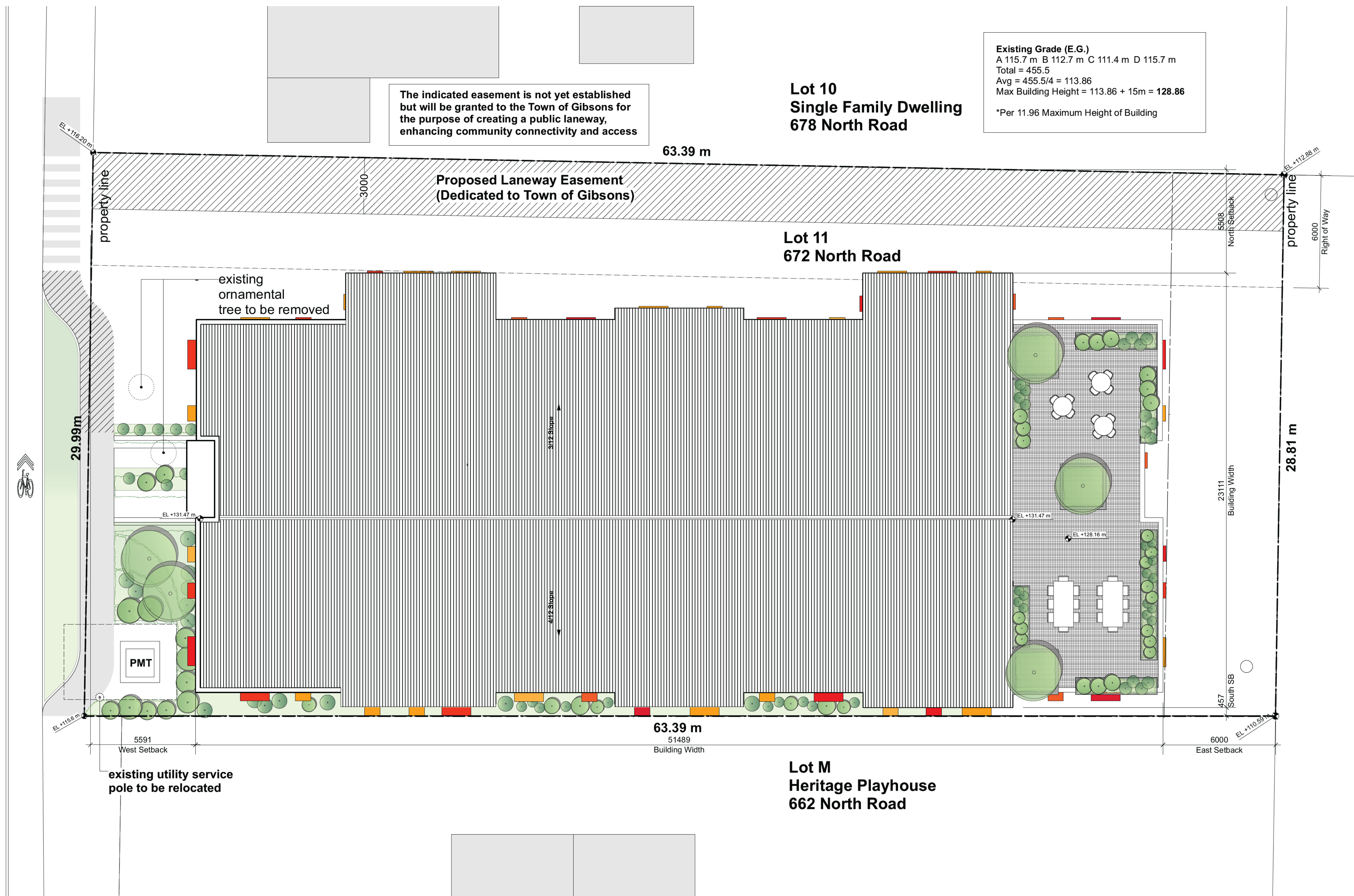
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503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
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scale <b>1:200</b>	drawn by <b>LC/FM</b>
status <b>DP</b>	reviewed by <b>RSA</b>

## A0.02







Occupancies

- Common areas
- Circulation
- Commercial
- Service
- Dwelling

Keynotes

- 1 Landscaping
- 2 Public Sidewalk
- 3 Existing Sanitary Manhole
- 4 BC Hydro PMT
- 5 Impermeable Asphalt
- 6 Permeable Driveway

Wall Legend

- Concrete Shear Wall
- Wood Frame Wall
- Concrete Pony Wall
- Curtain Wall

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AW

Rafael Santa Ana  
Architecture Workshop Inc.  
230 1737 W 3rd Ave  
Vancouver BC  
V6I 1K7  
604.628.7981  
RSAAW.com

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Driftwood Gibsons

672 North Road, Gibsons, BC

scale 1:100  
drawn by LC/FM  
status DP  
reviewed by RSA

Ground Level Plan

A1.01



- Occupancies**
- Common areas
  - Circulation
  - Commercial
  - Service
  - Dwelling

- Wall Legend**
- Concrete Shear Wall
  - Wood Frame Wall
  - Concrete Pony Wall
  - Curtain Wall

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Architecture Workshop Inc.  
230 1737 W 3rd Ave  
Vancouver BC  
V6J 1K7  
604.628.7981  
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1:100

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status  
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Service Level Plan

**A1.02**

D-D/A2.01

North A3.02

A-A/A2.01

South A3.02

**Bike Parking Spaces**

Total Required - 53  
Total Proposed - 65  
Max Vertical (33%) - 21  
Proposed Vertical - 4



Slab efficiency

unit type	bedrooms	unit area	unit count	total m2
type A	2	70 m2	2	141
type B	1 + den	58 m2	2	116
type C	1 + den	56 m2	4	223
type D	1 + den	60 m2	2	119
type E	2	73 m2	2	146
type F	1 + flex	67 m2	1	67
type G	1 + flex	65 m2	1	65
total unit m2		448		877
circulation m2		99 m2	1	99
total m2				976

total units	14
total rentable area m2	877.02
total area m2	975.90
slab efficiency %	89.87

Wall Legend

	Concrete Shear Wall
	Wood Frame Wall
	Concrete Pony Wall
	Curtain Wall

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230 1737 W 3rd Ave  
Vancouver BC  
V6J 1K7  
604.628.7981  
RSAAW.com



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status

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reviewed by

RSA

Levels 2, 3 & 4  
type plan

A1.03





- Occupancies**
- Common areas
  - Circulation
  - Commercial
  - Service
  - Dwelling

- Wall Legend**
- Concrete Shear Wall
  - Wood Frame Wall
  - Concrete Pony Wall
  - Curtain Wall

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Architecture Workshop Inc.  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7981  
RSAANW.com



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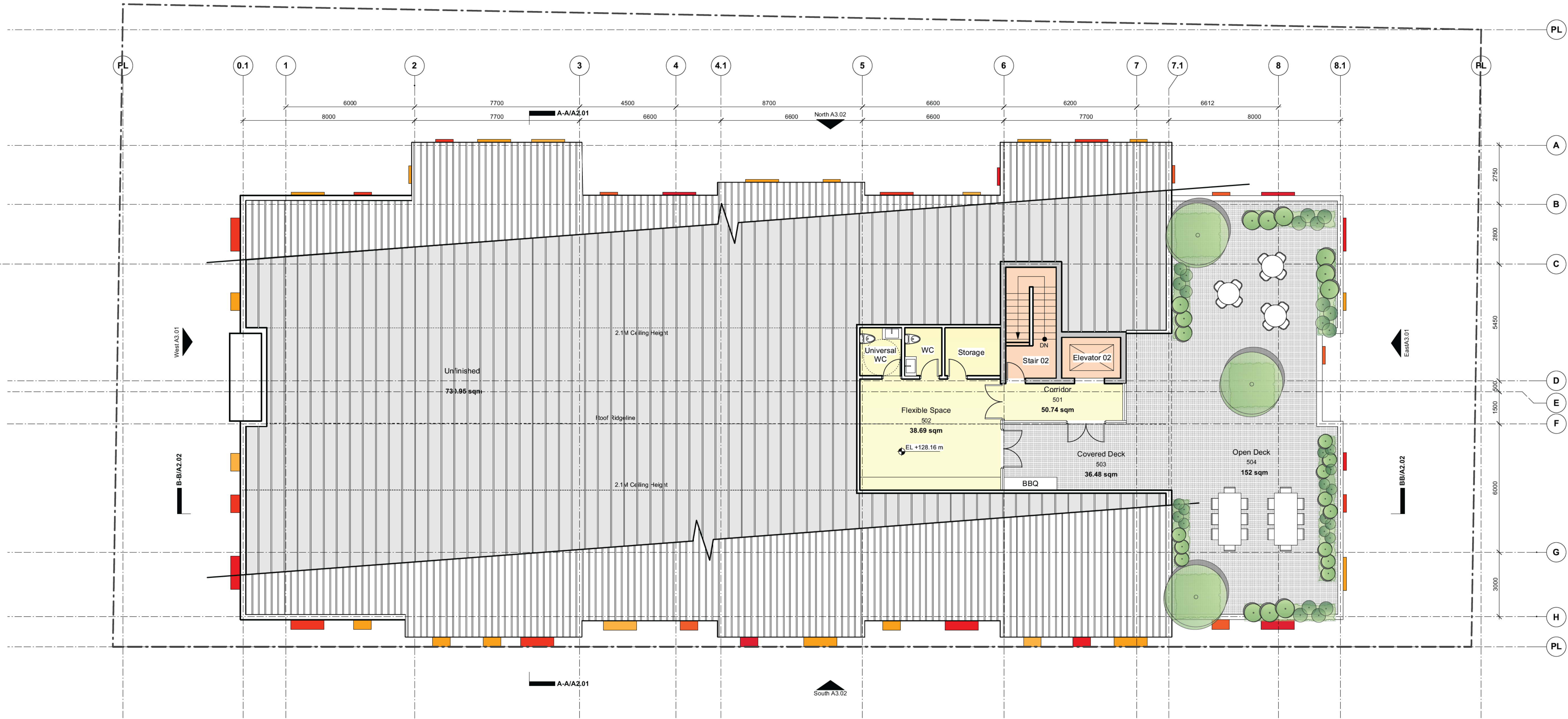
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status  
**DP**

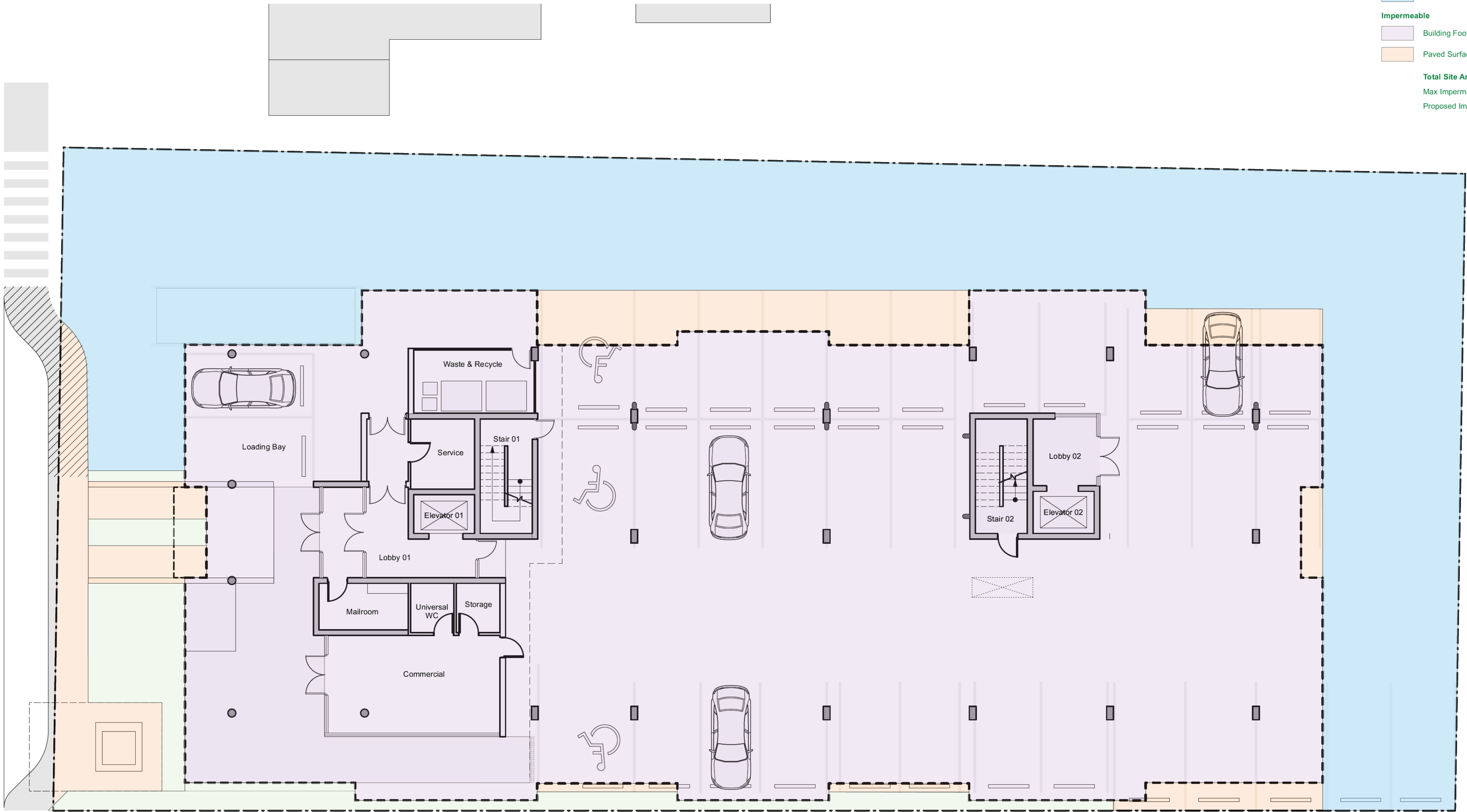
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Roof Plan

**A1.04**







Lot Coverage colour code

Permeable		
Landscaping	51.52sm	
Permeable Pavement	582.92sm	
Impermeable		
Building Footprint	1073.40sm	
Paved Surfaces	134.47sm	
Total Site Area 1,863.80sm		
Max Impermeable 1,491.04sm (80%)		
Proposed Impermeable 1,207.87sm (65%)		

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Rafael Santa Ana  
Architecture Workshop Inc.  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7981  
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Ground Level Plan

A1.01



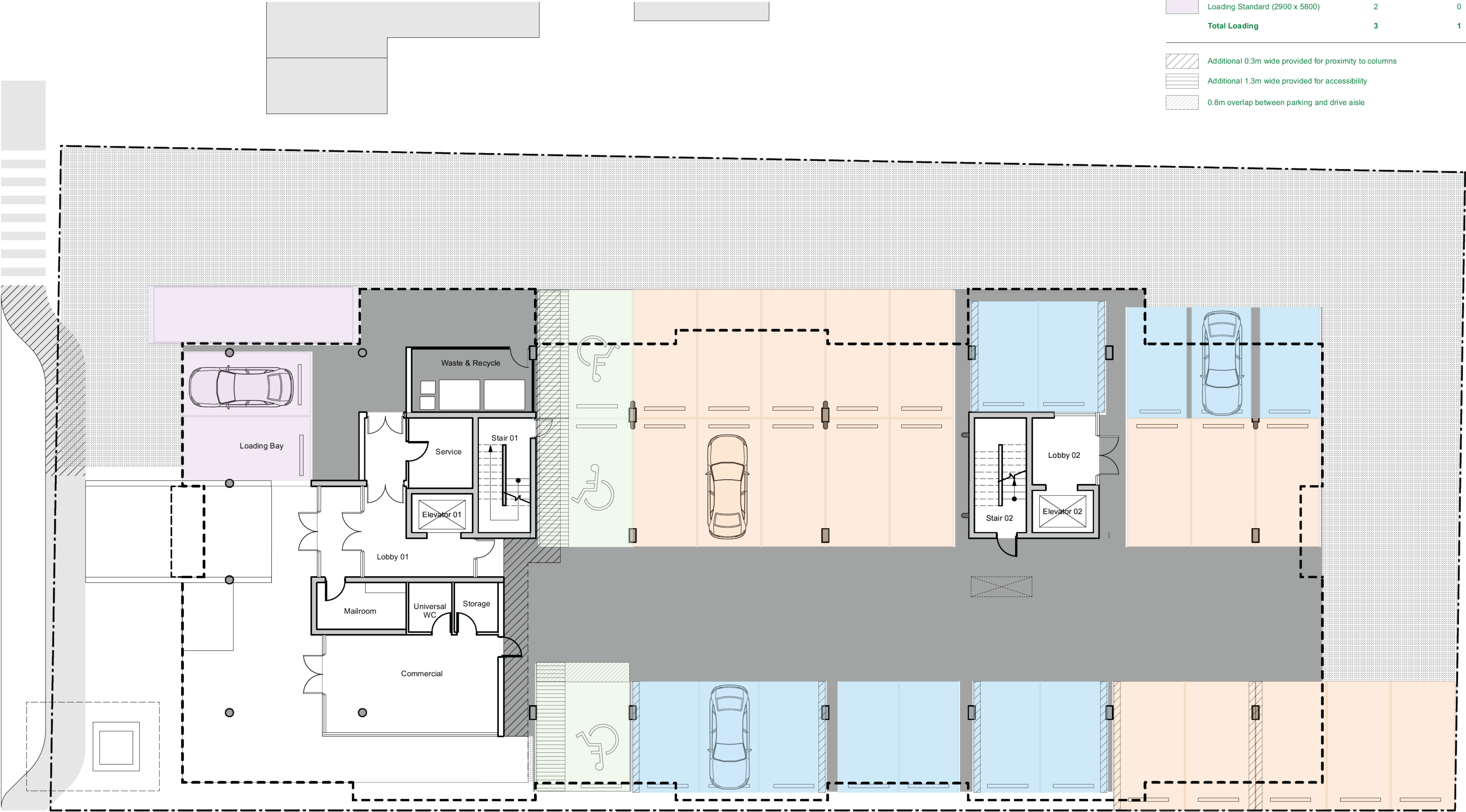
Parking Legend

Residential		Proposed	Required
<div></div>	Residential Standard (2900x5800)	18	
<div></div>	Residential Small Car (2700x5000)	12	11 max (30% of proposed total)
<div></div>	Residential Accessible (2900 x 5800)	2	2
	Visitor Standard (2900 x 5800)	0	5
Total Residential		32 (0.75)	63 (1.5)

Commercial			
<div></div>	Commercial Accessible (2900 x 5800)	1	1
Total Parking		33	64

Loading			
<div></div>	Loading Large (Vehicle 9.0m x 2.5m x 3.6m)	1	1
<div></div>	Loading Standard (2900 x 5800)	2	0
Total Loading		3	1

- Additional 0.3m wide provided for proximity to columns
- Additional 1.3m wide provided for accessibility
- 0.8m overlap between parking and drive aisle



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Rafael Santa Ana  
Architecture Workshop Inc  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
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RSAAW.com



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Ground Level Plan

A1.01



Occupancies

- Common areas
- Circulation
- Commercial
- Service
- Dwelling

Wall Legend

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- Curtain Wall

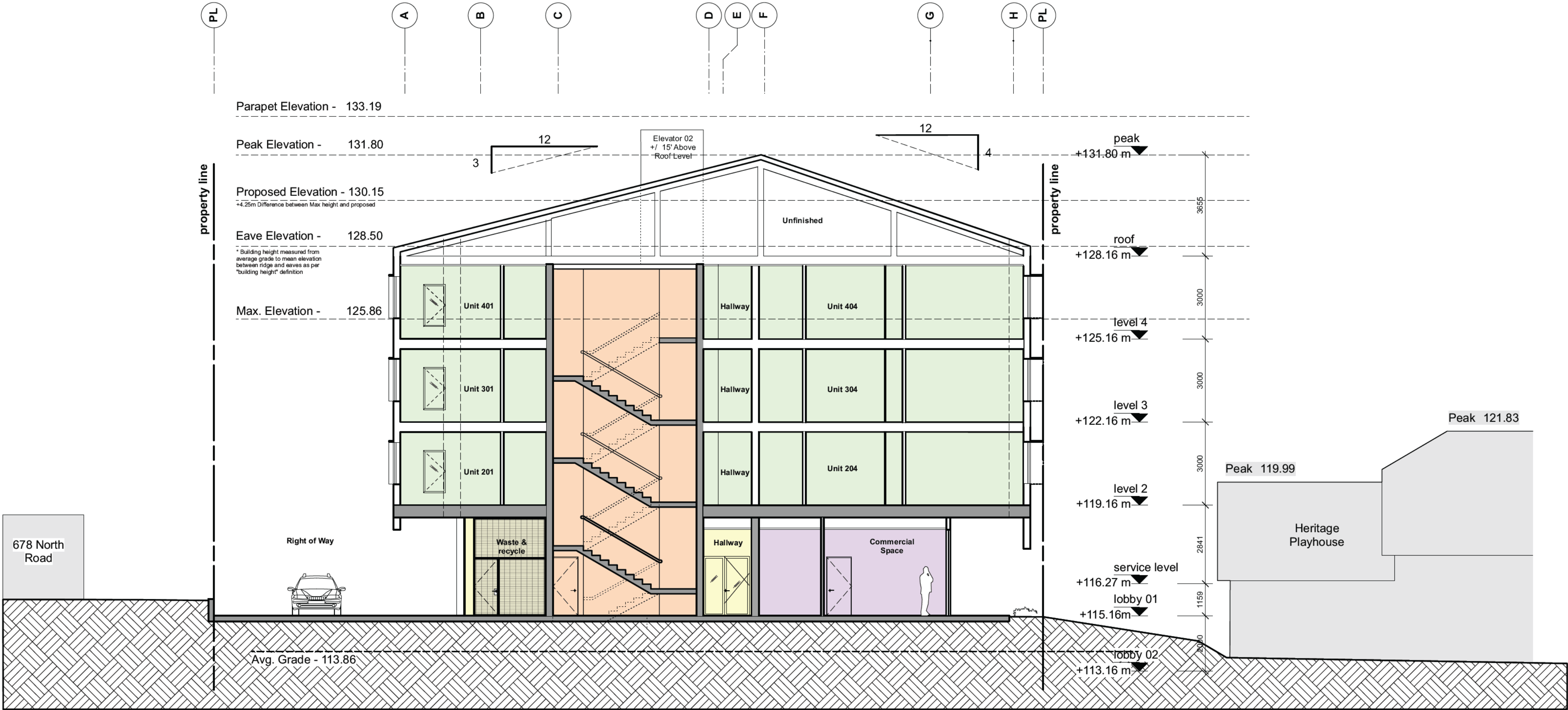
Floor Legend

- Concrete Slab
- TGI Floor

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Rafael Santa Ana  
Architecture Workshop Inc.  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7981  
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Section A-A

A2.01





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Section B-B

**A2.02**





West Elevation



East Elevation

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Architecture Workshop Inc.  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7981  
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West/East  
Elevations

**A3.01**





North Elevation



South Elevation

**Keynotes**

- 1 Dark tone vertical wood look siding
- 2 Glazing
- 3 Light tone vertical wood look siding
- 4 Painted metal window protector
- 5 Hardie panels
- 6 Concrete wall

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Architecture Workshop Inc.  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7981  
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North/South Elevations

**A3.02**





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Rafael Santa Ana  
Architecture Workshop Inc  
503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7981  
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Material Board

# A9.01





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503 602 W Hastings St  
Vancouver BC  
V6B 1P2  
604.628.7981  
RSAAW.com

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