Town of Gibsons

Official Community Plan & Zoning Bylaw Update 2025

Phase 1 Engagement Summary Report

Prepared for the Town of Gibsons

Prepared by McElhanney

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BEST MANAGED COMPANIES CANADA

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Introduction

In Fall 2024, the Town of Gibsons launched the first phase of public engagement to inform the update of its Official Community Plan (OCP). The overall approach to public engagement events was a blend of in-person events and online activities. Advance notice of public engagement was provided through updates on the project website and engagement hub, and frequent posts on the Town's official social media pages, including Facebook and Instagram, as well as posters on community information boards in Upper and Lower Gibsons. The six (6) in-person events and online engagement opportunities, conducted between October 23rd and November 15th, 2024, aimed to involve the community on the trajectory of the OCP and gather feedback on a number of key issues and topics. At the in-person events, business cards with QR codes and a short web link to the online engagement hub were available to hand out to residents who didn't have time to engage in person. The online engagement hub was available throughout the duration of the engagement period.

The OCP is a document that will guide the community for the next 5-10 years, and requires input from the public when it is updated. Community engagement when updating an OCP is both a good practice and a requirement of the Local Government Act. The goal of the first round of public engagement was to gather public input to help guide the update of the OCP and create a vision for the future growth, development, and preservation of the area. We invited the public to provide their thoughts on key themes and to identify gaps in the current OCP to be addressed.

The rest of this report will present a summary of the feedback received from the in-person engagement sessions and the online engagement platforms.

Engagement Approach and Goals

Section 475 of the Local Government Act (LGA) requires public engagement before developing or amending an OCP bylaw, and it's an excellent opportunity to involve and engage residents who are most impacted by policy changes. The engagement approach was designed to identify a vision for the Gibsons OCP and to identify what priorities and values matter most to residents. Engagement strategies were informed in consultation with Town of Gibsons administration and by the Gibsons Residents Assembly. In Spring 2024, 25 Gibsons residents were randomly selected to take part in the Gibsons Residents Assembly as a preliminary step in the public engagement process for the OCP. Residents were asked to develop recommendations to answer the important question: *How can Gibsons best plan for the future and meet the housing needs of our growing population?* The Residents Assembly Report was published in June 2024 and included 15 "Assembly Values" that the OCP update should incorporate and which were used to inform questions asked during Phase 1 of public engagement.

Times and locations for in-person engagement were selected to provide multiple engagement opportunities that would accommodate a variety of schedules and target a variety of resident demographics, including youth, seniors, daytime shoppers, young adults and families, and anyone else that took an interest in the project. In-person engagement events were held in accessible and prominent locations including Sunnycrest Mall, Elphinstone Secondary School, the Gibsons Public Library, Tapworks Brewing Company, the Gibsons Public Market, and the Community Centre. The event at Elphinstone Secondary School engaged with students from grades 8-10, and 12. Online engagement tools were available over a 24 day period to provide respondents with the opportunity to share their input at a time and place convenient for them. The primary goals for Phase 1 of engagement included:

- Engaging with the community to create a shared OCP Vision
- Identifying common themes and concerns to consider when drafting the OCP update, including feedback on the 15 values of the Gibsons Residents Assembly
- Running an engagement process that is accessible to anyone who wants to participate
- Monitoring effectiveness of the engagement methods used and remaining flexible for improvements in future phases of engagement

The main topics investigated during the Phase 1 Engagement period included:

Inform an updated Community Vision

Identify areas for additional housing, services, recreation, and preservation

Measure support for the 15 Residents Assembly Community Values

Understand which housing forms and types are supported by residents

Determine how best to preserve Gibsons' "Seaside Village Character"

Identify community priorities and potential trade-offs to meet these needs

Project Engagement Communications Summary

The following methods *(Table 1)* were used before and during the first round of engagement to inform and involve Gibsons residents in the OCP update process.

Table 1. Engagement Communications Summary

Objective	Measure & Metrics
Inform	❖ *Promotion of engagement opportunities on the Gibsons website, project engagement hub, and social media channels, posters on community notice boards.* ❖ *Business cards with project information and a QR code linked to the project website, distributed by Town staff at engagement events.*
Involve	❖ *Popup event at Sunnycrest Mall on October 23rd from 2:30pm to 4:30pm.* ❖ *Popup event at Elphinstone Secondary on October 24th from 12:45pm to 3:00pm.* ❖ *Popup event at Gibsons Public Library on October 25th from 10:00am to 12:30pm.* ❖ *Popup event at Tapworks Brewing Company on October 28th from 5:00pm to 7:00pm.* ❖ *Popup event at Gibsons Public Market on November 6th from 3:00pm to 4:30pm.* ❖ *Popup event at Gibsons Community Centre on November 8th from 3:00pm to 5:00pm.* ❖ *Online survey available from October 23rd to November 15th.* ❖ *Mapping activity on display boards at in-person engagement events and available online through the project's Engagement Hub from October 23rd to November 15th.*

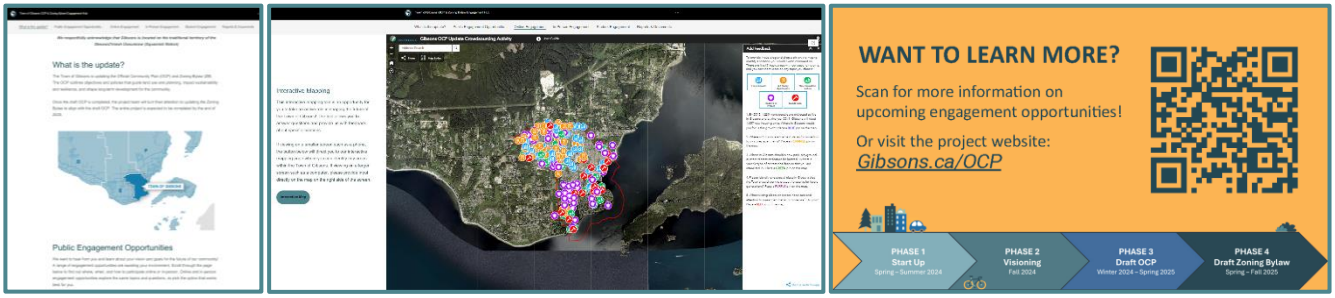


Figure 1. ***Inform the Community***: Phase 1 Engagement Communication Tools

In-Person Sessions and Online Engagement Opportunities

Six (6) in-person engagement sessions were held between October 23rd and November 15th and were open to the general public. All sessions included display boards which introduced the project and explained its relevance to the community, and presented questions on a variety of topics ranging from an overarching community vision for the OCP to questions on residential development, future park locations, and trade-offs related to landscaping, parking and building sizes. The online survey and crowdsource mapping activity (open between October 23rd to November 15th) asked participants similar questions to those on

the display boards. All public feedback gathered from the Phase 1 engagement opportunities is attached in *Appendices A-D*.

250* people attended the open house events

110* students engaged in the OCP update process

529 submissions of the online survey

213 comments on the online mapping activity

12.25 hours spent directly engaging with community members

Figure 2. ***Involve the Community:*** Engagement events around Gibsons

**number is approximate*

Key Findings: Feedback From Open House Events & Online Survey

The majority (56%) of respondents who attended the five (5) open house events or submitted an online survey (the general public) live in the Town of Gibsons. The majority (59%) of participants in attendance at the in-person engagement event held at Elphinstone Secondary School work and/or go to school in Gibsons but do not live in the Town. Students primarily live in neighbouring Electoral Areas of the Sunshine Coast Regional District, including the Elphinstone Electoral Area (36%) and the Roberts Creek Electoral Area (25%), while only 18% live in Gibsons.

1. COMMUNITY VISIONING

An OCP Vision Statement broadly defines the community's long-term goals and guides decision-making to shape community priorities and growth. The current Gibsons OCP has the following Vision Statement:

> *"Gibsons will continue to be a welcoming, sustainable community that offers residents and visitors an outstanding quality of life in a spectacular natural environment. We will ensure this beautiful town retains its seaside village character for the enjoyment of all and we will nurture our unique cultural heritage and natural assets while supporting opportunities for our local economy."*

1.1 Themes to Keep in the Updated OCP Vision Statement

Respondents were shown the current OCP Vision Statement and asked which themes should be retained or added to the updated statement. The majority of respondents selected the following three (3) goals as the most important to be retained:

General Public Feedback

- ✓ **385 Natural Environment**
- ✓ **374 Quality of Life**
- ✓ **364 Local Economy**

High School Student Feedback

- ✓ **39 Local Economy**
- ✓ **31 Quality of Life**
- ✓ **29 Natural Environment**

2.1 Additional Themes for the Updated OCP Vision Statement

Respondents were then asked what additional themes they would like incorporated in the updated OCP Vision Statement. The majority of respondents selected the following three (3) goals as the most important to add and provided comments on their choices:

General Public Feedback

- ✓ **318 Housing Options & Affordability**
- ✓ **312 Coastline Protection**
- ✓ **293 Climate Resilience & Adaptation**

High School Student Feedback

- ✓ **57 Housing Options & Affordability**
- ✓ **42 Mobility Access**
- ✓ **26 Biodiversity & Habitat Protection**

3.1 Key Themes and OCP Implications

Some common feedback in this section included:

Protecting the community's access to clean fresh water from the Gibsons Aquifer	**Sustainable growth and climate resilient infrastructure**	**Traffic management and a variety of transportation choices, including connected trail networks, bike routes, and expanded public transportation access**

Responses from the general public and high school students aligned on their top three (3) themes to retain in the OCP update. Both groups favoured incorporating housing options and affordability in the updated OCP Vision Statement and held similar support for preservation of Gibsons' natural environment and habitats. These priorities will be incorporated into the revised Vision Statement and reflected as key themes throughout the updated OCP document.

2. RESIDENTS ASSEMBLY & COMMUNITY VALUES

The Gibsons Residents Assembly developed 15 values for the OCP update to address. Participants were asked to vote "yes" or "no" to whether they supported each value and provided additional comments to elaborate on their choice and identify if any values were missing from the Residents Assembly's list.

2.1 Key Themes and OCP Implications

Of the 15 values, support was highest for the following five (5) values.[1]

[1] *This question was not asked to high school students.*

- ✓ **98% Access to and Protection of Nature**
- ✓ **95% Access to Health and Wellness Facilities**
- ✓ **95% Accessibility and Connectivity**
- ✓ **94% Personal Safety**
- ✓ **93% Sense of Community and Neighbourliness**

All 15 values received over 75% of support from respondents. Some open ended comments provided suggestions for alternative language and considerations for the existing values. A comment on the Affordable Housing value suggested including language to address homelessness, as well as consideration for housing for new immigrants and temporary workers. Additionally, there was frequent mention in the open ended comments in favour of affordable housing, though this topic did not reach the list of top five (5) supported values. The overwhelming support for all 15 of the Residents Assembly's values means that each should play a role in shaping the OCP update.

3. RESIDENTS ASSEMBLY RECOMMENDATIONS

In addition to the 15 values, the Gibsons Residents Assembly developed four (4) recommendations for Gibsons to meet the housing needs identified in the most recent Housing Needs Report (2024):

1,057 new homes are needed in Gibsons by 2041.

Participants were asked to vote "yes" or "no" on each of the four (4) recommendations. Those receiving the highest support may be incorporated into housing and land use policies in the updated OCP.

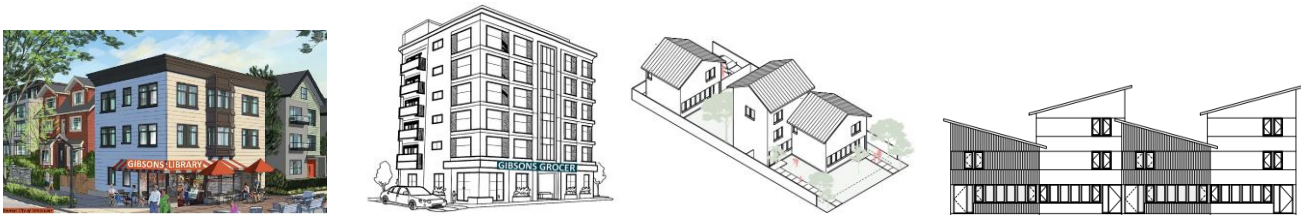


Figure 3. L-R: Apartments Above Public Buildings; Apartments Close to Shops and Services; Taller, Not Wider Homes; More Housing Types

3.1 Key Themes and OCP Implications

Of the four (4) recommendations, the following received the most support from participants:

General Public Feedback

- ✓ **86% More Housing Types**
- ✓ **85% Apartments Above Public Buildings**

High School Student Feedback

- ✓ **80% More Housing Types**
- ✓ **60% Apartments Close to Shops & Services**

There was overwhelming support for increasing housing choices in Gibsons. Some housing options to meet this interest could include low-rise apartments, multiplexes, or secondary suites and laneway homes on single-detached lots. Feedback on "Taller, Not Wider Homes," was less favourable from both the general public and high school students, which suggests that while there is interest in diverse housing options, they should still prioritize quality of life and functionality.

Additional comments opposed the development of apartments above six (6) storeys and had preference for taller buildings to be located in Upper Gibsons away from the shoreline. While support for taller homes was less favourable, there was encouragement for smaller home options on a single lot, which could include secondary suites, laneway homes, and multiplexes. There were also recommendations for new developments to reflect the seaside village design of existing buildings. Support for diverse housing types, especially near daily needs and services, will help ensure housing options for residents of all household sizes, incomes, and stages of life. This feedback will shape policies and land use decisions in the OCP update.

4. SEASIDE VILLAGE CHARACTER

Based on the OCP statement that Gibsons "*will ensure this beautiful town retains its seaside village character*" participants were shown a list of aspects relating to seaside character and asked to choose which were most important to them.

4.1 Key Themes and OCP Implications

Out of ten (10) possible options, the following three (3) aspects received the most support:

General Public Feedback

- ✓ **409 Walkability**
- ✓ **405 Publicly Accessible Waterfront**
- ✓ **331 Piers & Marinas**

High School Student Feedback

- ✓ **62 Views of the Ocean**
- ✓ **46 Variety of Restaurants & Shops**
- ✓ **43 Walkability**

Walkability and public access to the waterfront and marinas were identified as the top priorities for the general public, reflecting a strong support for connectivity and enjoyment of the town's natural assets. High school respondents also valued walkability, but emphasized the importance of ocean views and a diverse mix of shops and services. This preference for amenities alongside natural features suggests an interest in a balance between preserving the natural scenic elements of Gibsons, while having activities and attractions that complement the experience of being surrounded by nature.

Some comments expressed concern about using the term "seaside village character," suggesting that defining the Gibsons community through its maritime history felt subjective, limited potential for growth,

and reflected an outdated concept with colonial undertones. The OCP update can address these concerns by adopting a more inclusive term while preserving Lower Gibsons' distinct coastal architectural style. Design elements for Lower Gibsons in the OCP update can focus on preserving key elements, such as streetscapes, density, and architectural features, while allowing for thoughtful growth and modernization to meet evolving community needs. Additionally, the OCP update will review and replace outdated terms and references to ensure the document and maps include inclusive and noncolonial language.

5. TRADEOFFS AND LAND USE

Public policy often requires balancing diverse priorities. Respondents were asked to identify which features or community needs should take precedence over others when trade-offs need to be made on topics such as housing, natural assets, growth and development in Gibsons.

5.1 Key Themes and OCP Implications

(i) When asked to choose between which feature was more important to provide with housing, the majority of respondents favoured prioritizing:

Trees & Landscaping over **Parking Spaces**

(ii) When asked to choose between which natural assets should be prioritized as Gibsons grows, the majority of respondents favoured preserving:

Aquifer 560 and **Trees**

For the general public, **Absorbing Rainwater to Reduce Flooding** was also a priority, while high school students ranked preserving **Wildlife Habitats** as the third most important natural asset to maintain.

(iii) When asked to choose which three (3) features should be the highest priority for growth and development in Gibsons, the majority of respondents chose the following as their greatest priority:

Residential Housing and **Industry and Employment**

For their third option, the general public voted for **No Growth**, while high school students favoured **Recreation (including Parks)**.

The results of the trade off questions suggest that as Gibsons grows and incorporates gentle density and infrastructure to meet future needs, it is essential for Gibsons to preserve its natural assets to maintain a strong connection to nature. Respondents acknowledged that growth and development is inevitable, bringing the need for additional housing and economic shifts. Some residents are open to change if it is

balanced with the appropriate infrastructure to support population growth, and preserves the community's natural environment. Others believe the town's current level of development is sufficient and worry that further growth could harm the town's natural ecosystems. To address concerns about preserving the town's natural assets and avoiding unprepared growth, the OCP update will include objectives and policies to address these concerns to ensure future development aligns with residents' feedback and supports sustainable growth.

6. RECREATION AND CULTURAL SERVICES

Questions about recreation and cultural services aimed to identify the activities and facilities most valued by participants. Respondents were asked to rate their favour of each service and amenity in supporting quality of life in Gibsons on a five (5) point scale from "Very Important" to "Unimportant," including an option to state "No Opinion." Topics included:

- Trails and Walkways
- Recreation Centre
- Youth Amenities / Playgrounds
- Libraries
- Local Businesses
- Coastline / Beaches / Waterfront
- Cultural Venues (Galleries / Music / Arts)

6.1 Key Themes and OCP Implications

Access to the **Coastline, Beaches, and Waterfront** were unanimously identified as "very important" for maintaining a high quality of life in Gibsons, followed by access to local **Trails and Pathways**.

Among the general public, **Local Businesses** ranked third in importance.

High school students prioritized the Gibsons **Recreation Centre** as their third choice.

The results highlight shared community values for the town's natural assets. The varying responses suggest diverse needs and interests across age groups, providing valuable insights for Town administration to better understand and address the priorities of residents of all ages. Policies and strategies to improve and maintain access to coastal amenities and trails will be incorporated into the OCP based on this feedback.

7. OPEN-ENDED QUESTIONS

The final questions asked on the display boards at all in-person engagement events and in the online survey asked participants to provide their feedback freely through open-ended questions. Participants were asked:

- What do you like *most* about Gibsons?
- What do you like *least* about Gibsons?
- What changes or improvements would you like to see in Gibsons in the next 20 years?

7.1 Key Themes and OCP Implications

Some common themes from the question **"What do you like *most* about Gibsons"** are listed below. This feedback will be incorporated when drafting the objectives and policies of the updated OCP bylaw to preserve the most important elements of Gibsons for residents.

- **Views of nature / Proximity to nature / Natural landscape / Clean water and air**
- **Beaches / Coastline / Marina / Waterfront shops and restaurants**
- **Trails / Forests**
- **Walkability / Close proximity**
- **Coastal town life / Scenery / Small-town feel / Coastal village architecture**
- **Sense of community / Kind nature and friendliness of residents**

Participants were asked **"What do you like *least* about Gibsons"** to help understand some of the challenges and concerns common among respondents. This feedback can be used to identify opportunities for revitalization in underperforming areas and to address commonly cited issues through targeted policies and implementation items in the updated OCP document. Some common themes from the question included the following:

- **Limited indoor activities and amenities for youth / Lack of recreational opportunities**
- **Limited choice of stores, shops and restaurants / Few shops and restaurants open late**
- **High cost of living / Housing unaffordability**
- **Lack of sidewalks / Lack of sidewalk and bike route connectivity / Lack of lighting at night**
- **Traffic congestion / Poor road quality and safety / Highway streetscape too car-oriented**
- **Ferry traffic / Lack of ferry sailing times / Unreliable ferry services**
- **Lack of emergency preparedness / Forest fire risk / Threat to the aquifer from development**
- **Lack of tourist accommodations and tourism planning / Overcrowding at beaches**
- **Upper and Lower Gibsons disconnect**
- **Too much development without oversight / Pro-growth and pro-density mentality at all costs**
- **Multiple levels of government oversight and bureaucracy**

- **Derelict buildings, strip malls, and unkempt landscaping / Urban sprawl along the highway**
- **Homelessness issues**
- **Poor healthcare services / Lack of doctors / Limited options for aging-in-place**
- **Resistance to change and growth**

Participants were asked **"What changes or improvements would you like to see in Gibsons in the next 20 years"** to help gain a long-term vision from participants on their desired future for Gibsons based on their existing opinions and concerns. Their suggestions will be reflected in the drafting of updated objectives, policies, and implementation items for the OCP. Some common themes from the question included the following:

- **Slow the pace of growth / Sustainable growth / Prohibit apartments above six (6) storeys**
- **New development that retains Gibsons' coastal design**
- **Passenger ferry between Gibsons and Downtown Vancouver**
- **More frequent and expanded public transit services**
- **Improving pedestrian and cyclist access / Improving sidewalk, bike lane, and trail connectivity**
- **Addition of a dog park / More park space in Upper Gibsons**
- **Revitalization and preservation of Lower Gibsons without overdevelopment**
- **Seawall improvements and expansion**
- **Local infrastructure to meet growth (road improvements, water and waste management)**
- **Better landscaping and planting of native plant and tree species**
- **More affordable housing (ownership and rental) / A variety of housing options**
- **A highway bypass outside of Gibsons**
- **More community gathering spaces / More amenities and recreation / Build a public pool**
- **More variety for retail and food and beverage options**

Key Findings: Feedback From In-Person and Online Mapping Activity

During the open house and high school engagement events, the public was invited to pinpoint locations on a map of Gibsons in reference to the following five (5) questions:

1. By 2045, 1,230 more people are projected to live in Gibsons and by the year 2041, Gibsons will need 1,057 new housing units. Where in Gibsons would you focus this growth?
   *Participants were asked to place a **blue** pin on the map.*

2. Where in Gibsons are the best places for more four to six storey apartments?
   Participants were asked to place an ***orange*** pin on the map.

3. Where in Gibsons should a new park, playground, or other recreation feature be located?

*Participants were asked to place a **green** pin on the map.*

4. Please identify one special place in Gibsons that the Town should work to protect / preserve for future generations?
   *Participants were asked to place a **purple** pin on the map.*

5. What existing places or spaces need care and attention to make them better or more useful to you?
   *Participants were asked to place a **red** pin on the map.*

In addition to pinned responses, the online mapping activity also allowed participants to provide comments explaining the reasoning for their choices and collaborate with other participants through upvotes, downvotes, or comments.

8. IN-PERSON MAPPING ACTIVITY

Feedback provided by respondents on each map question will inform policies on land use, implementation actions, and will be reflected on the updated land use maps. Images and heat maps of the mapping results from the open house and high school engagement sessions are available in *Appendices A* and *B*.

8.1 Key Themes and OCP Implications

The heat maps illustrated the areas where participants at the in-person general public or high school engagement events placed pins in similar locations for each of the five (5) mapping indicators. Areas with the colours red to yellow on the heat maps indicated that several participants placed their pins in the same location, with the red areas indicating the most selected locations. Images and heat map results from the mapping activity during the general public and high school in-person engagement events are available in *Appendix A* and *B*, and are summarized below.

General Public In-Person Feedback

Focus Growth along and north of Gibsons Way.

4 – 6 Storey Apartments along and north of Gibsons Way.

New Recreational Features throughout Gibsons, but primarily in the northwest of town.

Protect or Preserve all areas in Lower Gibsons, but primarily around the Marina and Dougall Park.

Need Care around the Marina and the Gospel Rock area in Lower Gibsons.

High School Student In-Person Feedback

Focus Growth north and south of Gibsons Way, Charman Creek Lands, and around Dougall Park.

4 – 6 Storey Apartments near the elementary and high school, and along Gibsons Ravine Parks.

New Recreational Features all throughout Gibsons, including near the Marina and Rec Centre.

Protect or Preserve Dougall Park, Brothers Memorial Park and Rec Centre, and the Marina.

Need Care around Brothers Memorial Park and Rec Centre, Dougall Park, and Gibsons Park Plaza.

The general public and high school students both supported **focusing growth** around Gibsons Way but differed in their preferences for the location of **4 – 6 storey apartments**. The general public preferred these developments in the northwest of town along Gibsons Way, while high school students favored areas in the northeast, closer to parks and schools. Pin selection patterns from both groups indicated a need for **new recreational features** throughout town, with a particular emphasis on areas near the Marina in Lower Gibsons. Additionally, both groups highlighted the Marina and Park as key areas to **protect or preserve**. High school students specifically identified that recreational areas and parks **need care** most, possibly because their frequent use of these spaces for leisure or extracurricular activities have made them aware of the current conditions of these areas.

These findings suggest that the OCP update should prioritize a balanced approach to growth and development, focusing on creating mixed-use areas around Gibsons Way, addressing the identified need for recreational amenities throughout town, but especially near the Marina, and maintaining and improving the quality of parks and recreational spaces to meet the needs of diverse community members.

9. VIRTUAL MAPPING ACTIVITY

The online crowdsource mapping activity was open between October 23rd and November 15th on the project's Engagement Hub, and received 213 responses. Detailed results and heat maps from the online mapping activity are available in *Appendix D*.

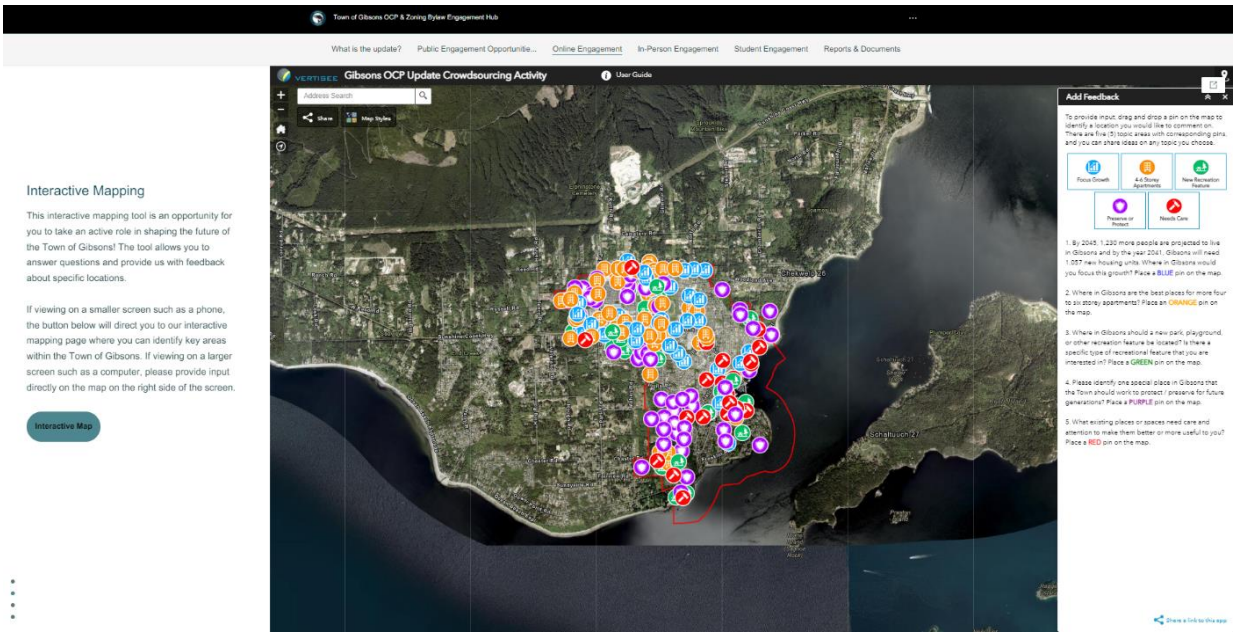


Figure 4. Interactive mapping activity using *Vertisee.*

9.1 Key Themes and OCP Implications

The heat maps illustrated the areas where participants through the virtual crowdsource mapping activity placed pins in similar locations for each of the five (5) mapping indicators. Areas with the colours red to yellow on the heat maps indicated that several participants placed their pins in the same location, with red areas indicating the most selected locations. These areas are shown on the data summary sheets and heat maps in *Appendix D*, but are summarized as follows.

Some common themes and responses on where to **focus growth** included a desire to focus housing development in Upper Gibsons due to its closer proximity to existing amenities and services. There was also support for gentle density in the neighbourhood north of Hillcrest Road and east of North Road in Upper Gibsons. The heat maps identified two parts of Town—the area between School Road, Marine Drive, and the marina in Lower Gibsons, and along the western portion of Gibsons Way in Upper Gibsons—with the highest density of responses to focus growth, suggesting that the OCP update should consider these two locations when revising land use policy on medium and higher density development.

When asked where to add **4 – 6 storey apartments** in Gibsons, comments identified support for low-rise apartments in nearly all neighbourhoods of Upper Gibsons, while pins suggesting apartments in Lower

Gibsons were downvoted by other participants. Some participants identified specific lots for potential mixed-use development in areas that are walking distance to shops and services, and which offer a variety of transportation choices. The heat maps identified areas in Upper Gibsons, particularly along Gibsons Way, as receiving the most support for the development of 4-6 storey apartments. Similar to the findings for the *focus growth* indicator above, Upper Gibsons and along Gibsons Way received the strongest support for introducing more mid-storey apartment buildings. The OCP update will reflect these findings through policy that supports higher density and infill development in Upper Gibsons.

When asked where to add **new recreational features** in Town, some common responses recommended adding amenities or a trail system throughout Gibsons Ravine Park. Support for additional parkland, playgrounds, and sport amenities, including tennis and soccer fields, were mentioned by respondents. The heat maps show that areas surrounding the marina received the strongest support as the location for new recreational amenities. Adding more recreational amenities near the marina could enhance its role as a vibrant community space for both residents and visitors.

Areas to **protect or preserve** include the Inglis Trail, Charman Creek, White Tower Trail, and Arrowhead park, as well as other neighbourhood pocket parks throughout Gibsons. Comments urged preservation of these natural areas and some identified invasive holly and ivy plants in these parks in need of urgent removal. Respondents identified natural, primarily forested areas in Lower and Upper Gibsons, such as Dougall Park and the White Tower Lands, as important areas to be preserved and protected for future generations, as identified on the heat maps. Preserving park land and natural open space will remain a priority in the OCP update.

Some common themes for areas that **need care** and attention involved poor road conditions in intersections. In Upper Gibsons, there were a number of comments and upvotes for road improvements along Gibsons Way, including the intersections of Gibsons Way and Payne Road, and Gibsons Way and Sunnycrest Road in Upper Gibsons due to increased traffic congestion. Some suggestions for improvements included working with MoTI to move the highway north of Town, adding a boulevard along Gibsons Way to improve pedestrian safety when crossing, and adding sidewalks and bike lane access to improve the safety of non-road users. In Lower Gibsons, the intersection around Pioneer Square faces several challenges, including pedestrians not using marked crosswalks, the ineffectiveness of the three-way stop at School Road, Molly's Lane, and poor visibility at night and under rainy weather conditions. The marina in Lower Gibsons and the intersection of Payne Road and Gibsons Way in Upper Gibsons were identified on the heat maps as areas most in need of care and maintenance. These areas of concern will be taken into account to inform transportation objectives and policies in the OCP update process.

The following participant comments received the most support through upvotes:

- **Need Care:** "The sewage treatment plant needs work to reduce the smell. This is even more urgent if larger volumes of waste are going to go through the plant with increased population." *(17 upvotes)*

- **Need Care:** "More and more people are using this route (near the beach along Gower Point Road) all the way to the beach. It[s] badly in need of work to make it safe and appropriate for the increasing traffic. Wider, safe lane and signs for pedestrians and cyclists, etc." *(5 upvotes)*

- **4 – 6 Storey Apartments:** "The new apartment housing on Venture Way is great. More of this in this area makes sense. As long as there is walking and biking connectivity." *(4 upvotes)*

- **Need Care:** "Vessels are being secured and then left to degrade and rot in the Gibsons waterlot. Better controls are needed to ensure the anchorage is usable by everyone." *(3 upvotes)*

The following participant comments received the most opposition through downvotes:

- **4 – 6 Storey Apartments:** Recommendation for a 4-6 storey apartment east of Mahan Road on the north edge of White Tower Park in Upper Gibsons. *(5 downvotes)*

- **4 – 6 Storey Apartments:** "Ideal area for larger buildings." Pin located on Ryan Dempster Field in Upper Gibsons. *(4 downvotes)*

- **4 – 6 Storey Apartments:** Recommendation for a 4-6 storey apartment in a forested area west of Wiren Way in Upper Gibsons. *(4 downvotes; 1 upvote)*

- **New Recreational Feature:** "Tennis Club." Pin located at Ryan Dempster Field. *(2 downvotes)*

Project Timeline and Next Steps

This engagement summary report represents the end of project Phase 2 for the Official Community Plan update. The project team will begin preparing the 1st draft of the OCP based on the feedback gathered from Gibsons Staff, technical working groups, and the community as part of project Phase 3.

Phase 1 Q2/3 2024: Project Initiation

- Work Plan, Communications & Engagement Plan
- Legistlative Review, Gap Analysis
- Council Report - Project Update #1

We Are Here

Phase 2 Q4 2024: Public Engagement

- Open Houses (x6), Online Survey, Project Website, Engagement Hub, Online Mapping
- Engagement Summary Report and Council Update

Next Steps

Phase 3 Q1-3 2025: Draft OCP & Feedback on Draft OCP

- Document Structure, Maps, Draft Vision, Objectives and Policies, Development Permit Areas
- Council Report – Draft OCP
- Open Houses, Online Survey, Project Website, Engagement Hub
- Engagement Summary Report

Phase 4 Q3/4 2025: Finalize & Adopt OCP; Draft Zoning Bylaw

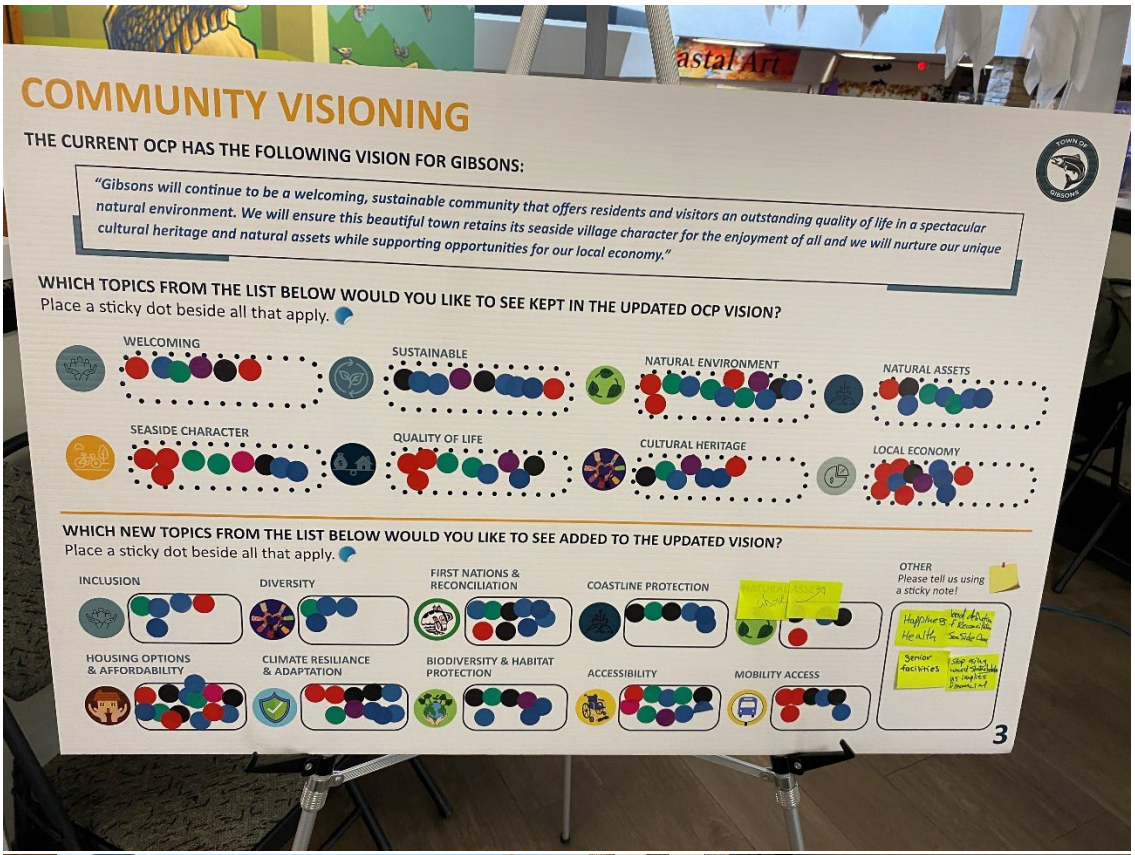
- Information Sharing, Gathering Feedback, Refinement, Final Draft OCP Bylaw
- Council Report and Public Hearing
- Draft Zoning Bylaw, Gathering Feedback, Refinement, Final Draft
- Council Report and Public Hearing

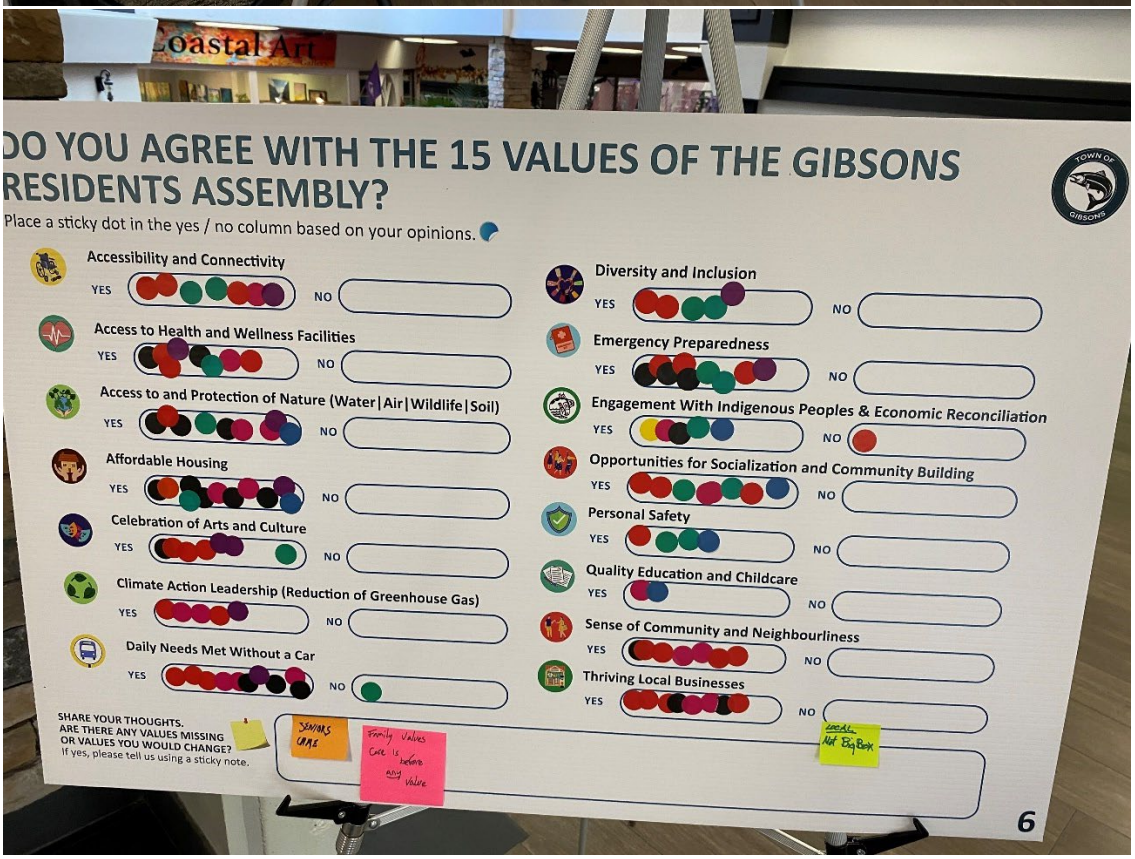
APPENDIX A – General Public

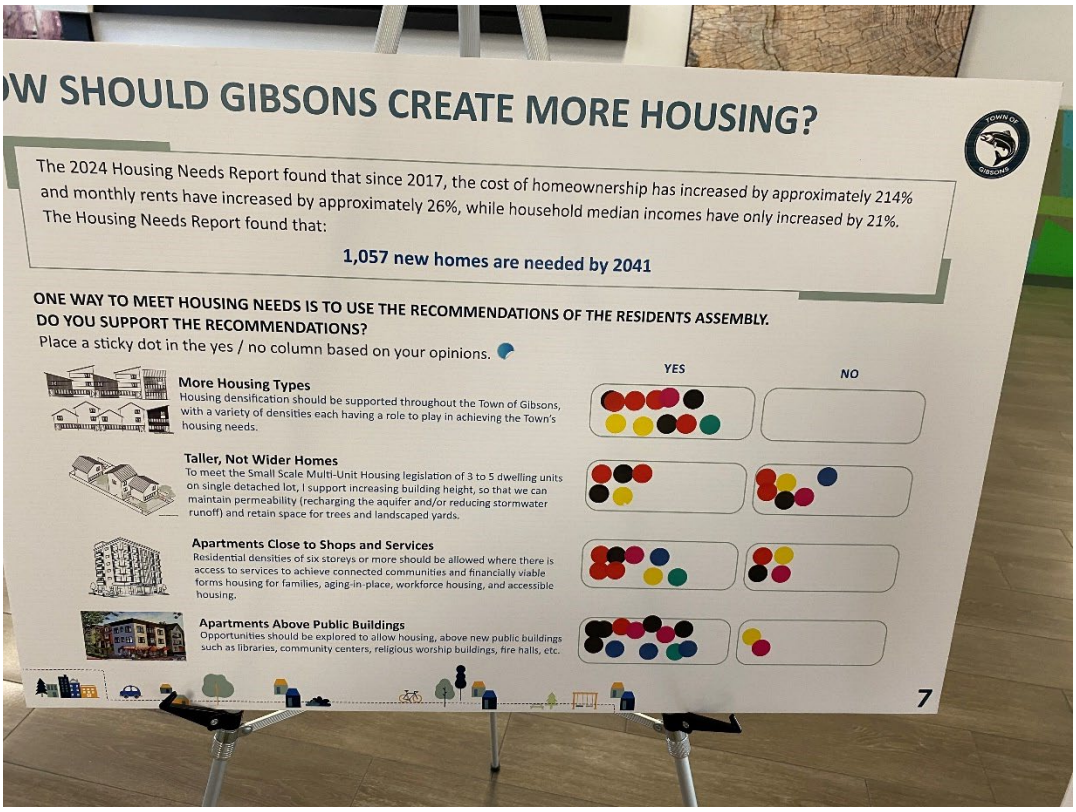
Display Board & Map Responses – General Public

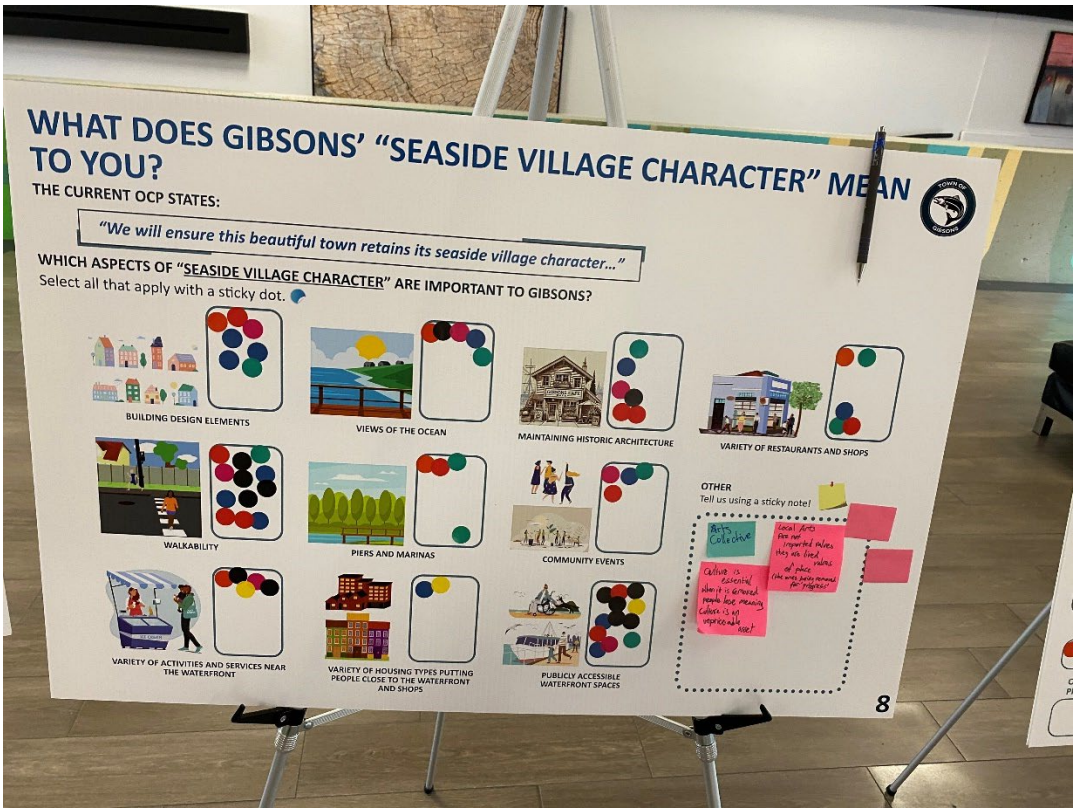
In-Person Engagement (General Public Sessions)

1. **Popup event at Sunnycrest Mall on October 23rd from 2:30pm to 4:30pm.**


COMMUNITY VISIONING
THE CURRENT OCP HAS THE FOLLOWING VISION FOR GIBSONS:
"Gibsons will continue to be a welcoming, sustainable community that offers residents and visitors an outstanding quality of life in a spectacular natural environment. We will ensure this beautiful town retains its seaside village character for the enjoyment of all and we will nurture our unique cultural heritage and natural assets while supporting opportunities for our local economy."
WHICH TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE KEPT IN THE UPDATED OCP VISION?
Place a sticky dot beside all that apply.
WELCOMING
SUSTAINABLE
NATURAL ENVIRONMENT
NATURAL ASSETS
SEASIDE CHARACTER
QUALITY OF LIFE
CULTURAL HERITAGE
LOCAL ECONOMY
WHICH NEW TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE ADDED TO THE UPDATED VISION?
Place a sticky dot beside all that apply.
INCLUSION
DIVERSITY
FIRST NATIONS & RECONCILIATION
COASTLINE PROTECTION
OTHER
Please tell us using a sticky note!
HOUSING OPTIONS & AFFORDABILITY
CLIMATE RESILIANCE & ADAPTATION
BIODIVERSITY & HABITAT PROTECTION
ACCESSIBILITY
MOBILITY ACCESS
3


DO YOU AGREE WITH THE 15 VALUES OF THE GIBSONS RESIDENTS ASSEMBLY?
Place a sticky dot in the yes / no column based on your opinions.
Accessibility and Connectivity
YES
NO
Access to Health and Wellness Facilities
YES
NO
Access to and Protection of Nature (Water|Air|Wildlife|Soil)
YES
NO
Affordable Housing
YES
NO
Celebration of Arts and Culture
YES
NO
Climate Action Leadership (Reduction of Greenhouse Gas)
YES
NO
Daily Needs Met Without a Car
YES
NO
Diversity and Inclusion
YES
NO
Emergency Preparedness
YES
NO
Engagement With Indigenous Peoples & Economic Reconciliation
YES
NO
Opportunities for Socialization and Community Building
YES
NO
Personal Safety
YES
NO
Quality Education and Childcare
YES
NO
Sense of Community and Neighbourliness
YES
NO
Thriving Local Businesses
YES
NO
SHARE YOUR THOUGHTS.
ARE THERE ANY VALUES MISSING OR VALUES YOU WOULD CHANGE?
If yes, please tell us using a sticky note.
SENIORS CARE
Family Values Care is before any Value
LOCAL Not Big Box
6


W SHOULD GIBSONS CREATE MORE HOUSING?
The 2024 Housing Needs Report found that since 2017, the cost of homeownership has increased by approximately 214% and monthly rents have increased by approximately 26%, while household median incomes have only increased by 21%.
The Housing Needs Report found that:
1,057 new homes are needed by 2041
ONE WAY TO MEET HOUSING NEEDS IS TO USE THE RECOMMENDATIONS OF THE RESIDENTS ASSEMBLY.
DO YOU SUPPORT THE RECOMMENDATIONS?
Place a sticky dot in the yes / no column based on your opinions.
YES
NO
More Housing Types
Housing densification should be supported throughout the Town of Gibsons, with a variety of densities each having a role to play in achieving the Town's housing needs.
Taller, Not Wider Homes
To meet the Small Scale Multi-Unit Housing legislation of 3 to 5 dwelling units on single detached lot, I support increasing building height, so that we can maintain permeability (recharging the aquifer and/or reducing stormwater runoff) and retain space for trees and landscaped yards.
Apartments Close to Shops and Services
Residential densities of six storeys or more should be allowed where there is access to services to achieve connected communities and financially viable forms housing for families, aging-in-place, workforce housing, and accessible housing.
Apartments Above Public Buildings
Opportunities should be explored to allow housing, above new public buildings such as libraries, community centers, religious worship buildings, fire halls, etc.
7


WHAT DOES GIBSONS' "SEASIDE VILLAGE CHARACTER" MEAN TO YOU?
THE CURRENT OCP STATES:
"We will ensure this beautiful town retains its seaside village character..."
WHICH ASPECTS OF "SEASIDE VILLAGE CHARACTER" ARE IMPORTANT TO GIBSONS?
Select all that apply with a sticky dot.
BUILDING DESIGN ELEMENTS
VIEWS OF THE OCEAN
MAINTAINING HISTORIC ARCHITECTURE
VARIETY OF RESTAURANTS AND SHOPS
WALKABILITY
PIERS AND MARINAS
COMMUNITY EVENTS
VARIETY OF ACTIVITIES AND SERVICES NEAR THE WATERFRONT
VARIETY OF HOUSING TYPES PUTTING PEOPLE CLOSE TO THE WATERFRONT AND SHOPS
PUBLICLY ACCESSIBLE WATERFRONT SPACES
OTHER
Tell us using a sticky note!
Arts Collective
Culture is essential when it is grounded people feel meaning. Culture is not unprincipled art
Local Arts
Fear not imported values they are lived values of place (like wines, beers, remained for progress)
8


TRADEOFFS AND LAND USE
AS GIBSONS GROWS, WHICH FEATURE IS MORE IMPORTANT TO PROVIDE WITH HOUSING?
Select one of the following using a sticky dot.
TREES & LANDSCAPING
PARKING SPACES
AS GIBSONS GROWS, WHICH NATURAL ASSETS WOULD YOU PRIORITIZE MOST?
Select three of the following using sticky dots.
AQUIFER 560 (ground water quality)
TREES
ABSORBING RAINWATER TO REDUCE FLOODING
NATURAL FEATURES (natural coastline)
WILDLIFE HABITAT
OTHER
Please specify with a sticky note.
WHAT SHOULD BE THE HIGHEST PRIORITY FOR FUTURE GROWTH AND DEVELOPMENT IN GIBSONS?
Select one of the following using a sticky dot.
RESIDENTIAL HOUSING
COMMERCIAL / RETAIL SERVICES
NO GROWTH
INDUSTRY AND EMPLOYMENT
RECREATION (including park space)
OTHER
Please specify with a sticky note.
9


RECREATION, CULTURE SERVICES, AND FINAL THOUGHTS
HOW IMPORTANT ARE THE THE FOLLOWING SERVICES AND AMENITIES IN SUPPORTING QUALITY OF LIFE IN GIBSONS?
Place a sticky dot in your chosen column.
VERY IMPORTANT
IMPORTANT
NEUTRAL
UNIMPORTANT
NO OPINION
TRAILS / WALKWAYS
RECREATION CENTRE
YOUTH AMENITIES / PLAYGROUNDS
LIBRARY
LOCAL BUSINESSES
COASTLINE / BEACHES / WATERFRONT
CULTURAL VENUES (GALLARIES / MUSIC / ART / ETC.)
Please use a sticky note to share your thoughts.
WHAT DO YOU LIKE MOST ABOUT GIBSONS?
WHAT DO YOU LIKE LEAST ABOUT GIBSONS?
WHAT CHANGES OR IMPROVEMENTS WOULD YOU LIKE TO SEE IN THE TOWN OF GIBSONS IN THE NEXT 20 YEARS?
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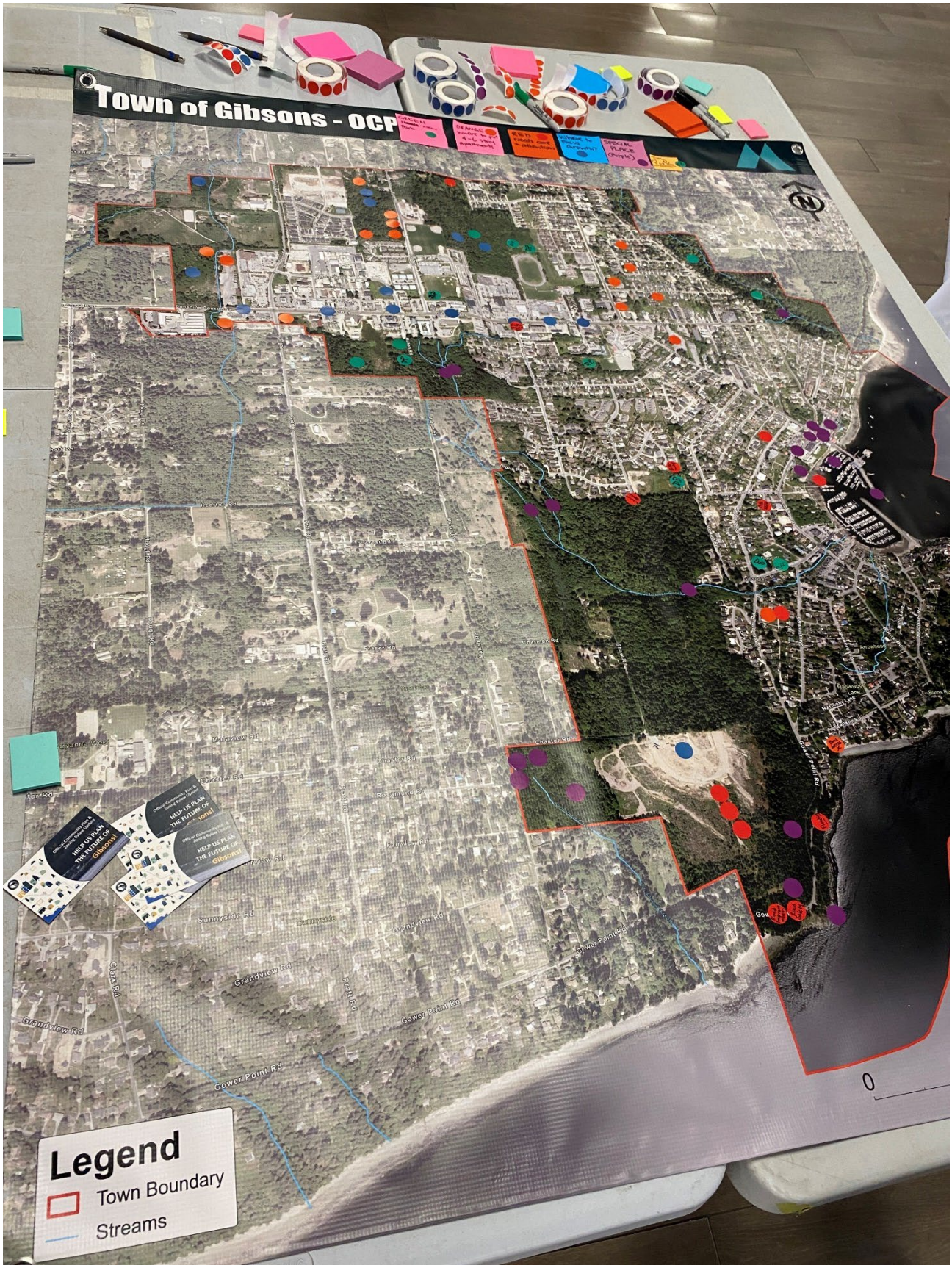
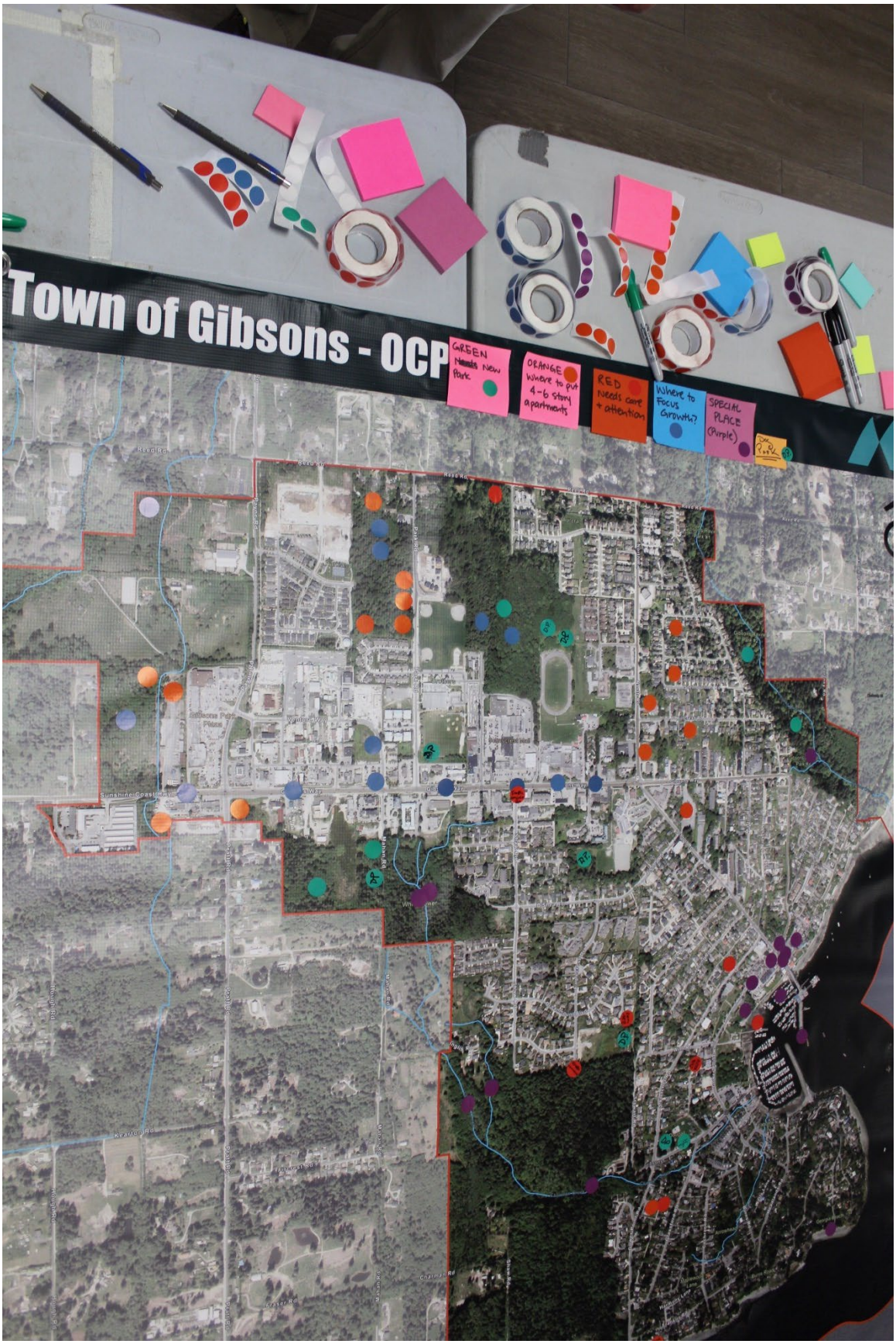
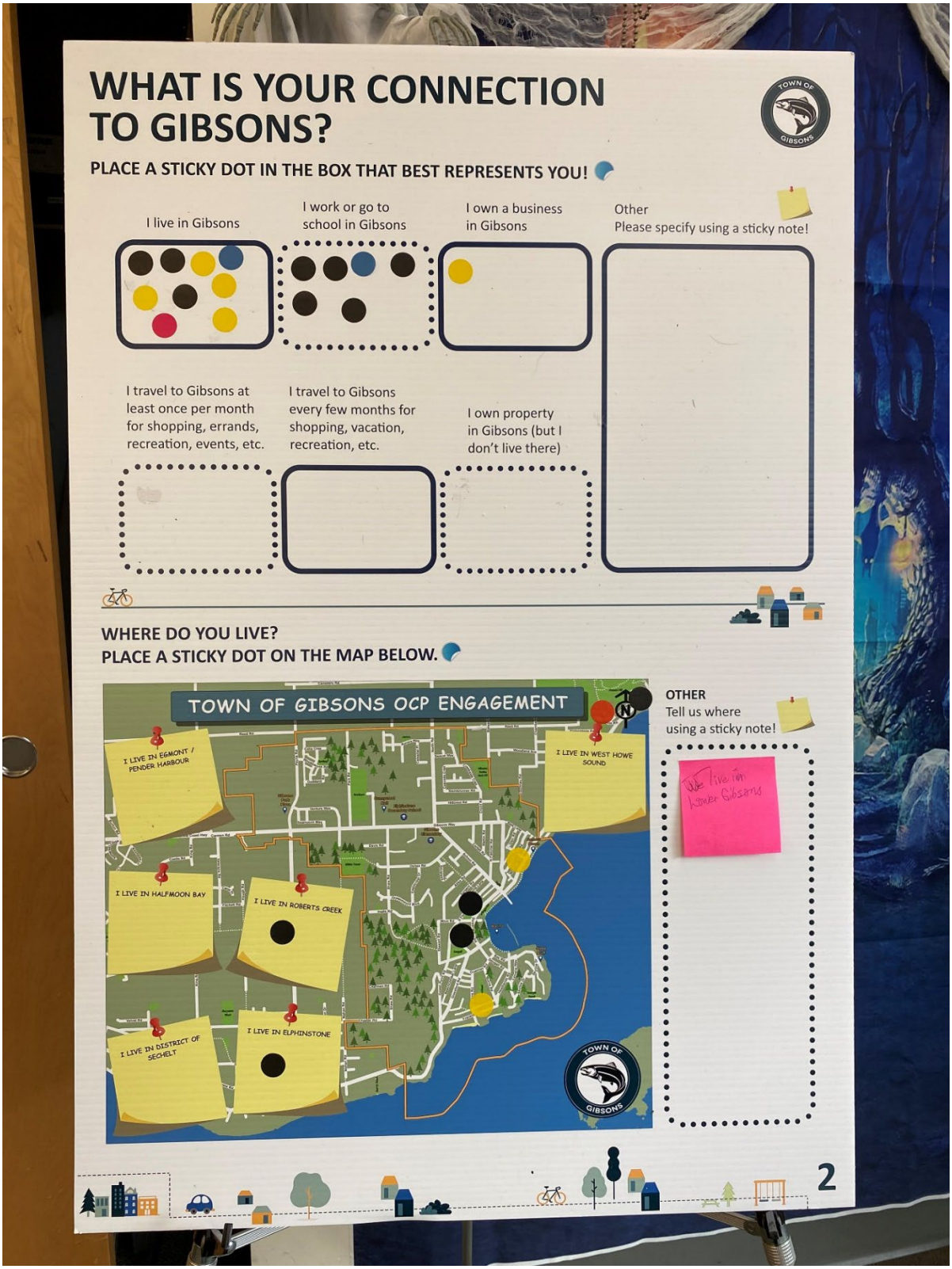
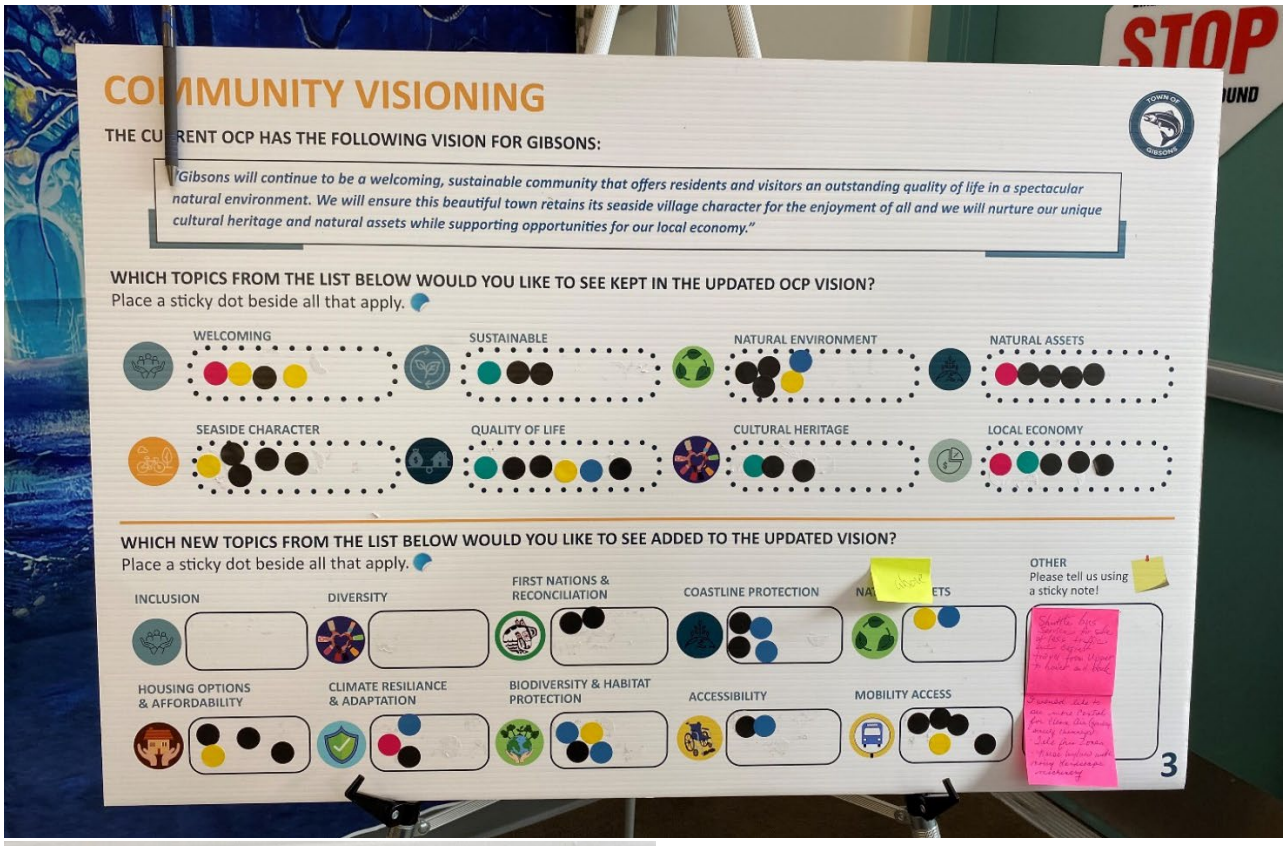

Town of Gibsons - OCP
Legend
Town Boundary
Streams
Grandview Rd
Gower Point Rd
Sunnyside Rd
Chaster Rd
Pratt Rd
Gibtex Rd
Fraser Rd
Roberts Rd
Arrowhead
Burns Rd
Gower Point Rd
HELP US PLAN THE FUTURE OF GIBSONS!


Legend
Town Boundary
Streams
0
250
500
1,000 meters
N


Town of Gibsons - OCP
GREEN New Park
ORANGE where to put 4-6 story apartments
RED needs care + attention
Where to Focus Growth?
SPECIAL PLACE (Purple)
Park

2. **Popup event at Gibsons Public Library on October 25th from 10:00am to 12:30pm.**

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MOBILITY ACCESS
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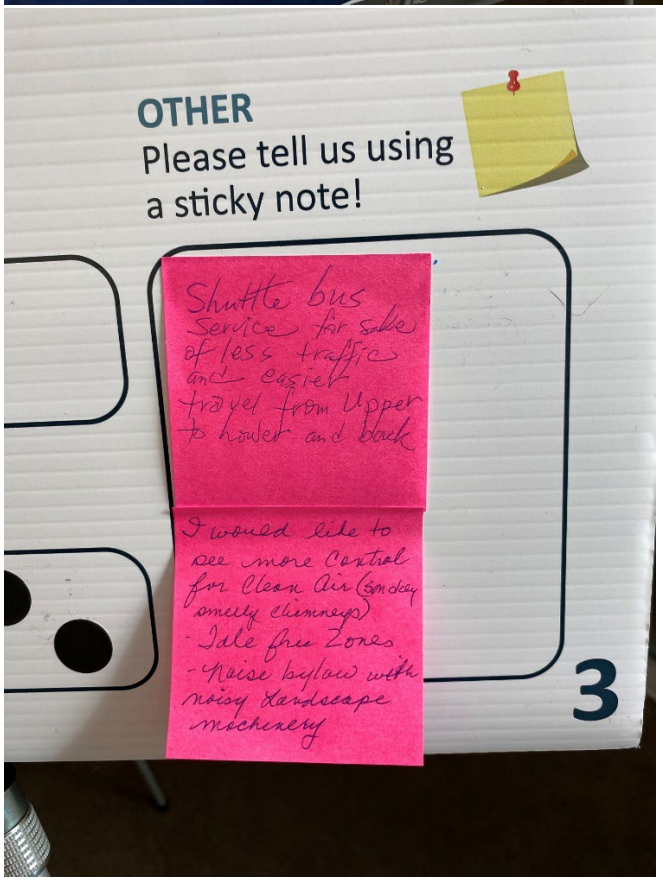
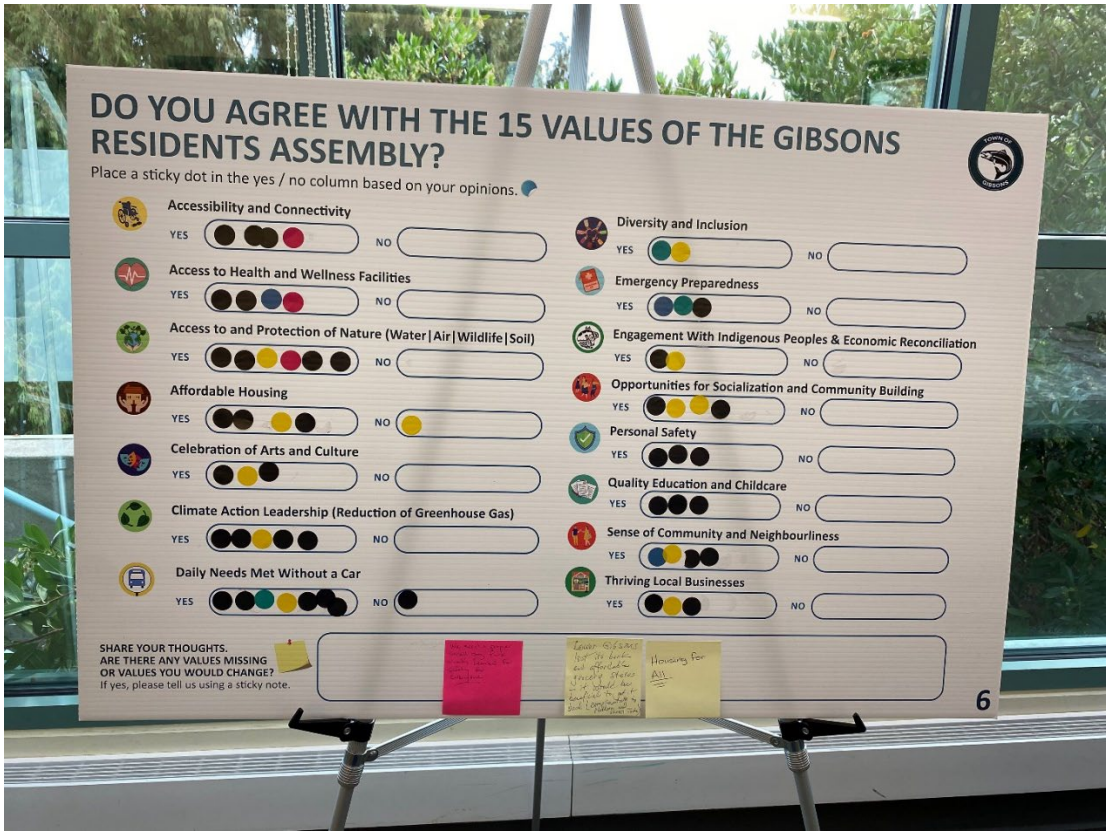

OTHER
Please tell us using a sticky note!
Shuttle bus service for sake of less traffic and easier travel from Upper to lower and back
I would like to see more Control for Clean Air (smoky smelly chimneys)
- Idle free Zones
- Noise bylaw with noisy Landscape machinery
3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NO
Emergency Preparedness
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NO
Engagement With Indigenous Peoples & Economic Reconciliation
YES
NO
Opportunities for Socialization and Community Building
YES
NO
Personal Safety
YES
NO
Quality Education and Childcare
YES
NO
Sense of Community and Neighbourliness
YES
NO
Thriving Local Businesses
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SHARE YOUR THOUGHTS.
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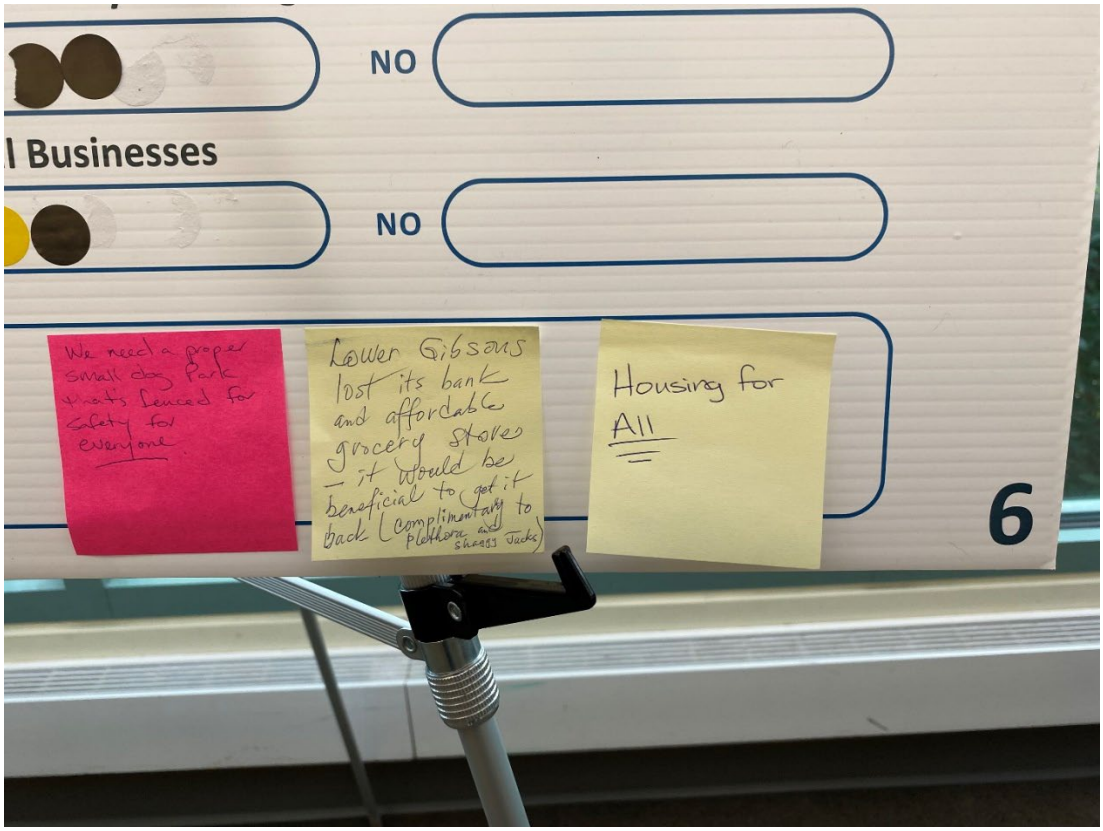
Housing for All
6


NO
l Businesses
NO
We need a proper small dog Park that's fenced for safety for everyone
Lower Gibsons lost its bank and affordable grocery stores – it would be beneficial to get it back (complimentary to Plethora and Sheesh Jacks)
Housing for All
6

OW SHOULD GIBSONS CREATE MORE HOUSING?

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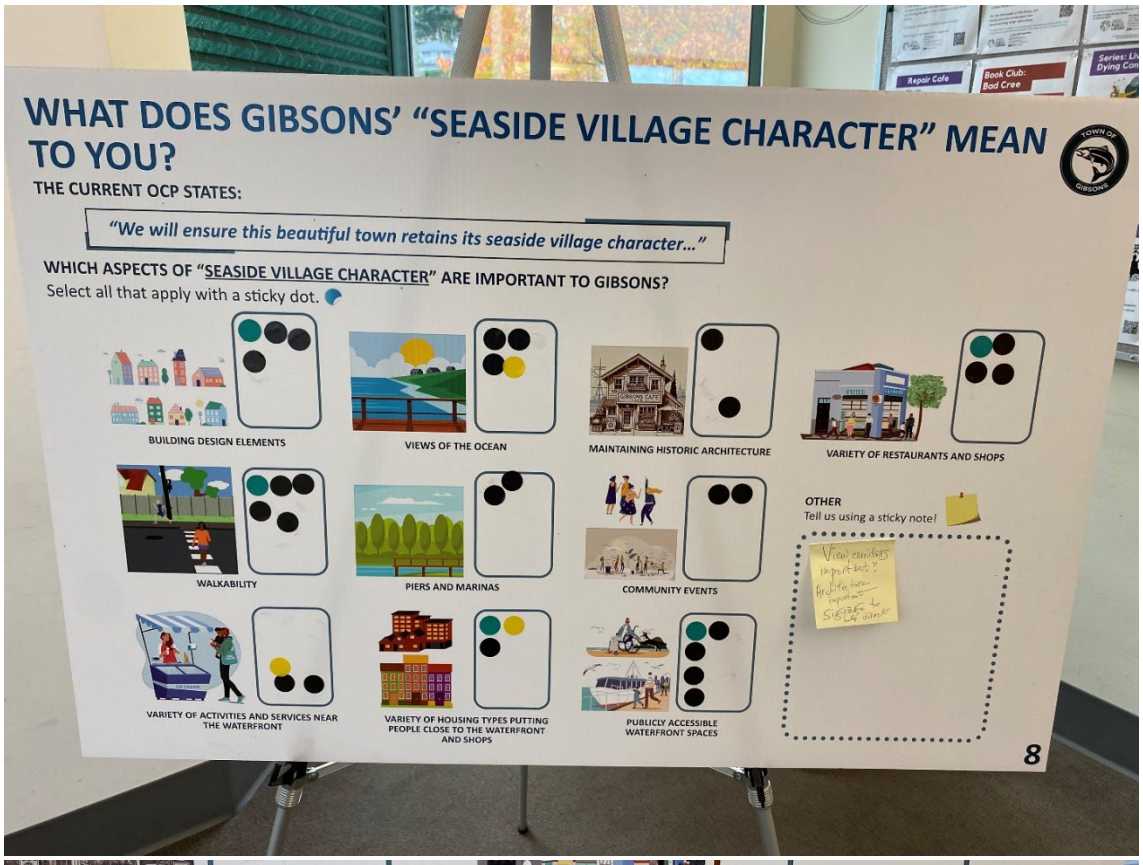
Apartments Above Public Buildings Opportunities should be explored to allow housing, above new public buildings such as libraries, community centers, religious worship buildings, fire halls, etc.		

7

Have taller building in upper Gibsons & not at the water's edge.
* Preserve water, mountains & sky views from all elevations in Lower Gibsons & Gibsons Way thru Town"

Housing shouldn't be built on or co-located with emergency responder buildings. During an emergency residents could be in the way of responders. Space for emergency operations centres (EOC) should be included in any new responder buildings - post disaster constructed standards

7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VIEWS OF THE OCEAN
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VARIETY OF RESTAURANTS AND SHOPS
WALKABILITY
PIERS AND MARINAS
COMMUNITY EVENTS
OTHER
Tell us using a sticky note!
View corridors important?
Architecture important
Signage to help direct
VARIETY OF ACTIVITIES AND SERVICES NEAR THE WATERFRONT
VARIETY OF HOUSING TYPES PUTTING PEOPLE CLOSE TO THE WATERFRONT AND SHOPS
PUBLICLY ACCESSIBLE WATERFRONT SPACES
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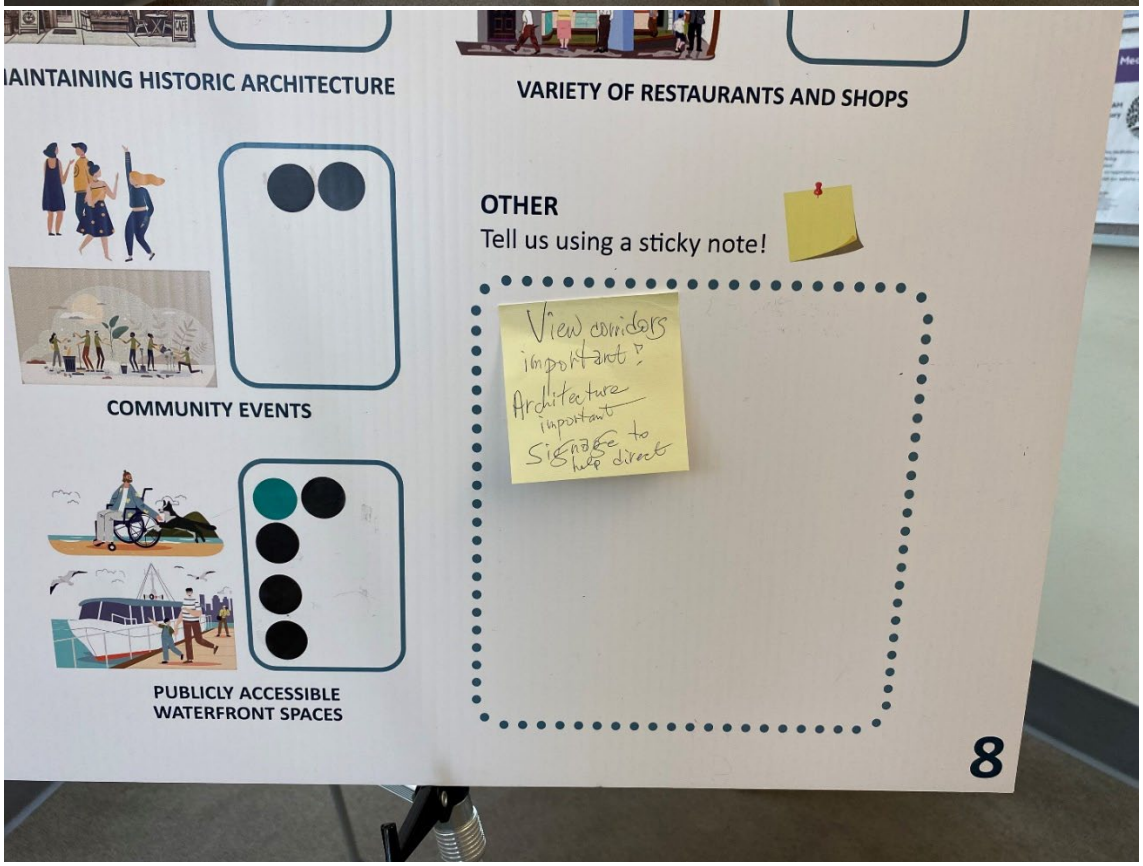
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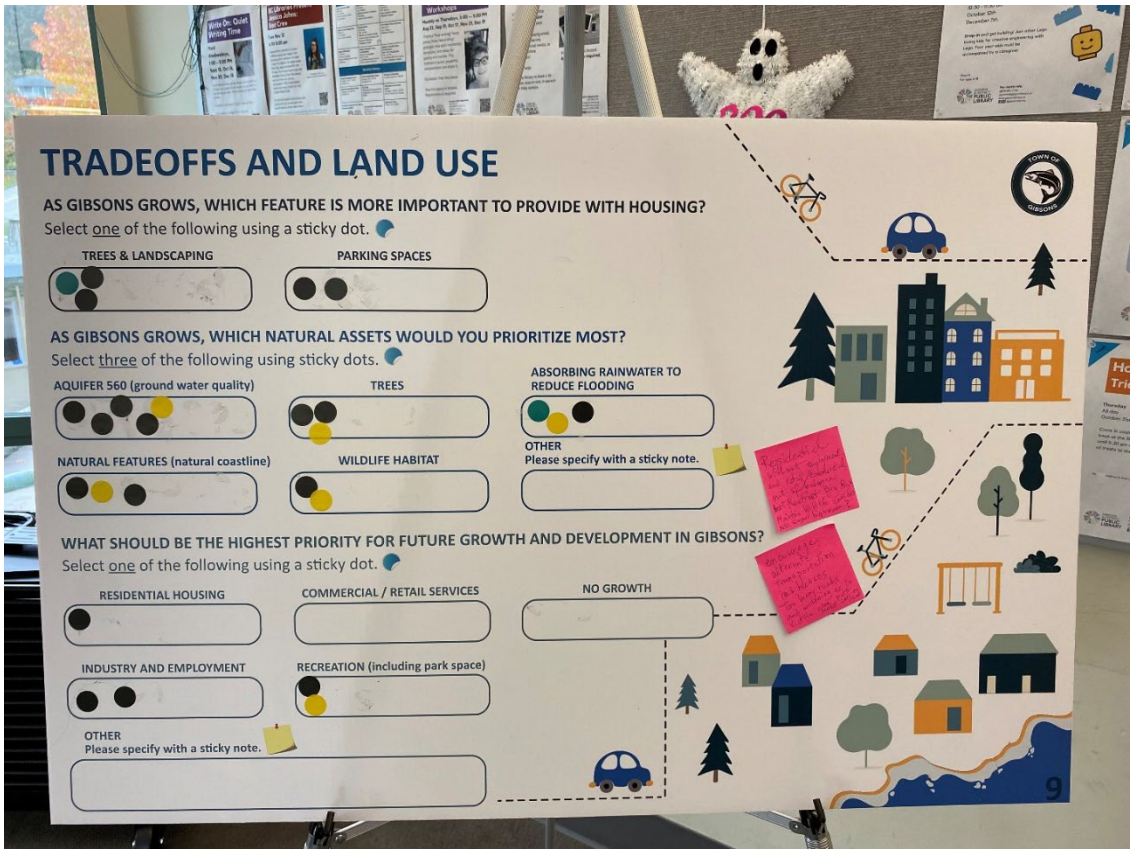
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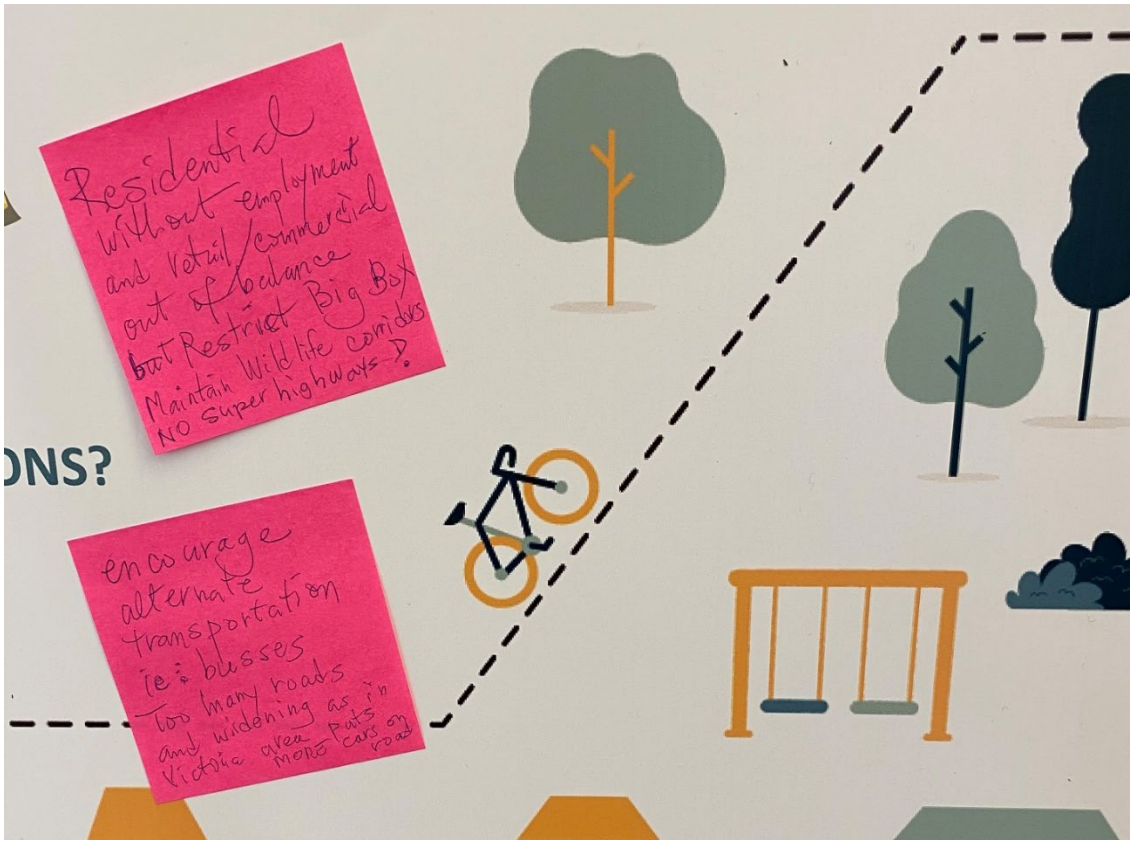
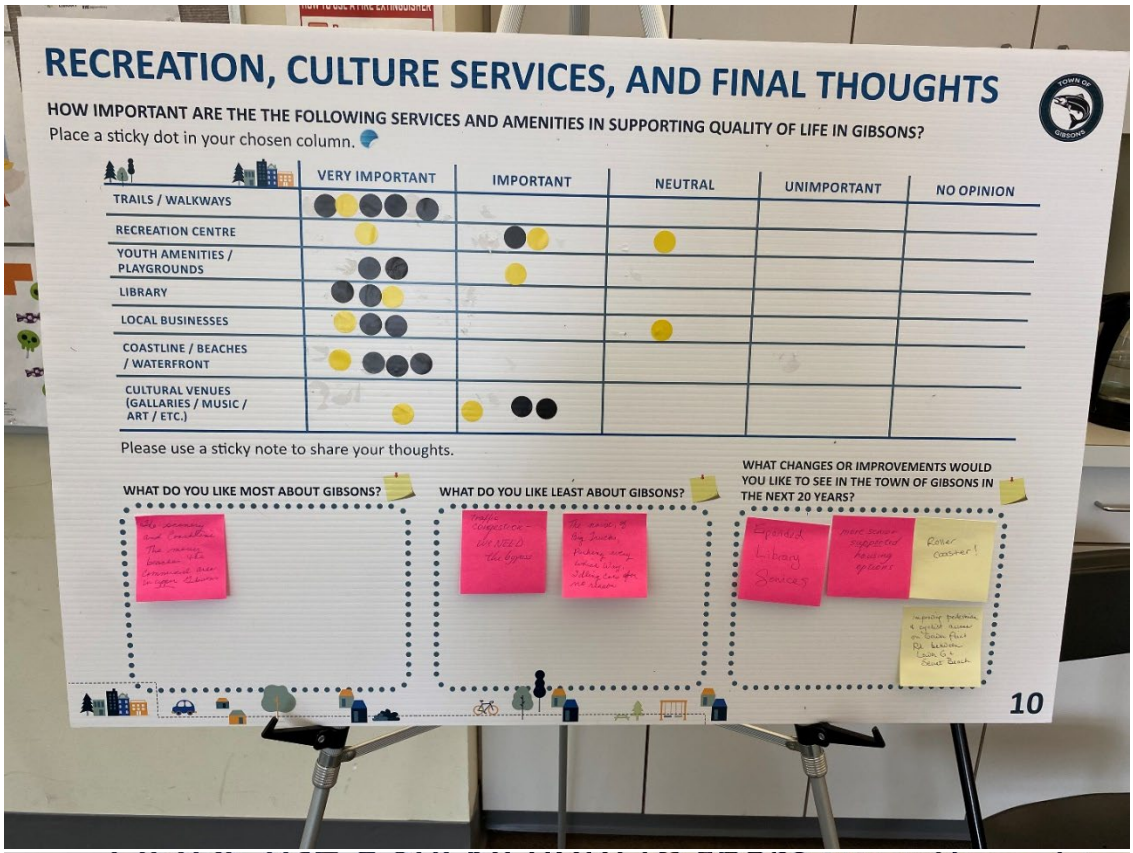

Residential without employment and retail/commercial out of balance
but Restrict Big Box
Maintain Wildlife corridors
NO super highways!
ONS?
encourage alternate transportation ie: busses
Too many roads and widening as in Victoria area MORE cars on road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IMPORTANT
NEUTRAL
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NO OPINION
TRAILS / WALKWAYS
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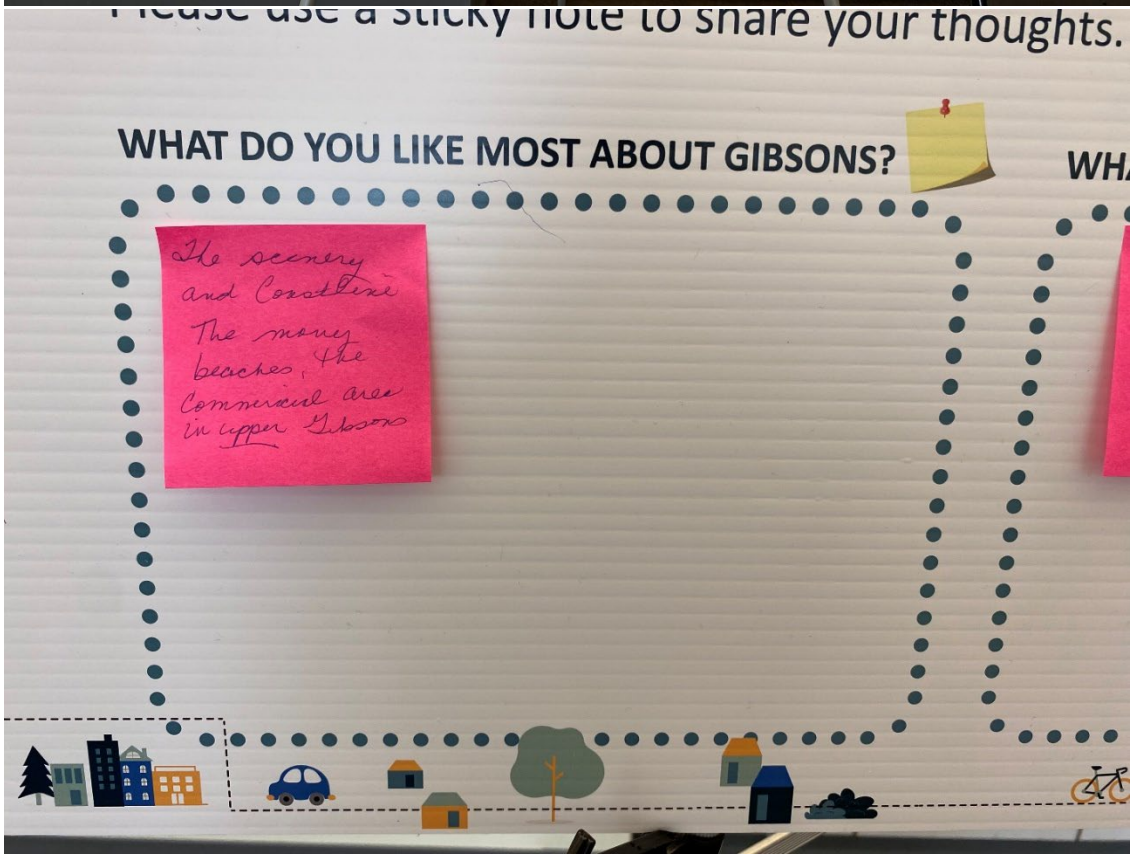
LIBRARY
LOCAL BUSINESSES
COASTLINE / BEACHES / WATERFRONT
CULTURAL VENUES (GALLARIES / MUSIC / ART / ETC.)
Please use a sticky note to share your thoughts.
WHAT DO YOU LIKE MOST ABOUT GIBSONS?
WHAT DO YOU LIKE LEAST ABOUT GIBSONS?
WHAT CHANGES OR IMPROVEMENTS WOULD YOU LIKE TO SEE IN THE TOWN OF GIBSONS IN THE NEXT 20 YEARS?
Expand Library Services
Roller coaster!
10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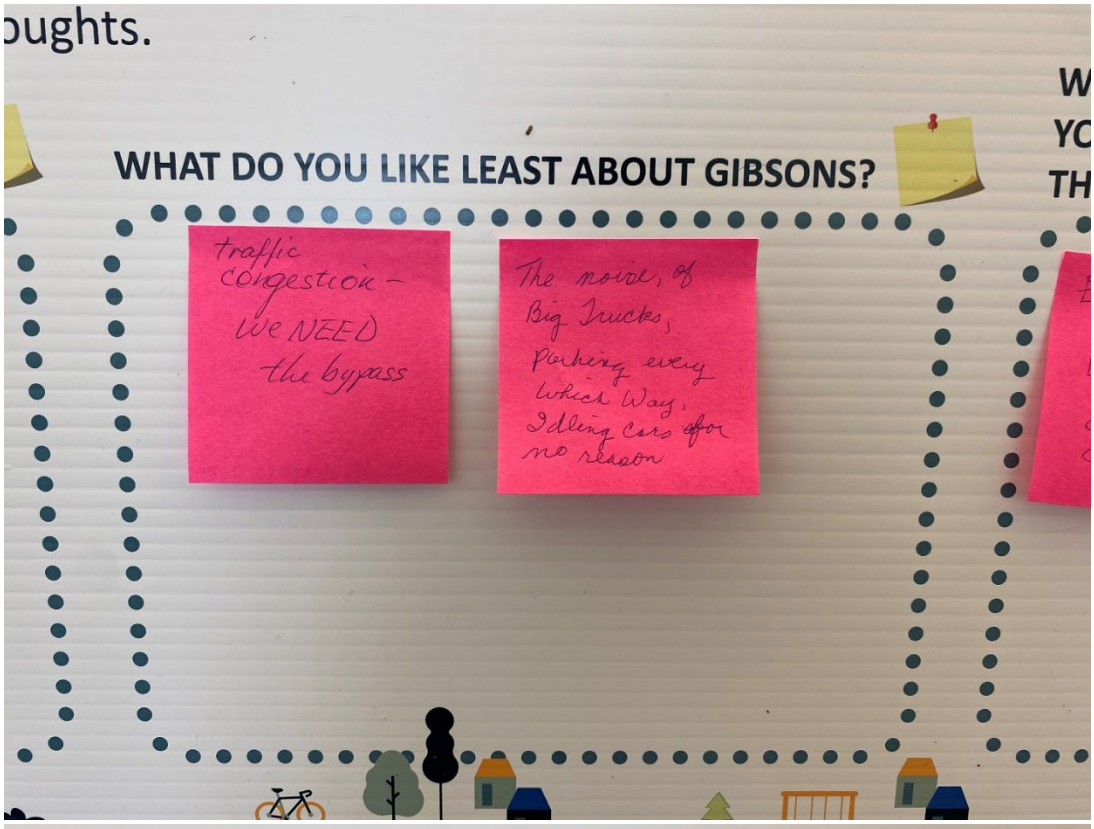
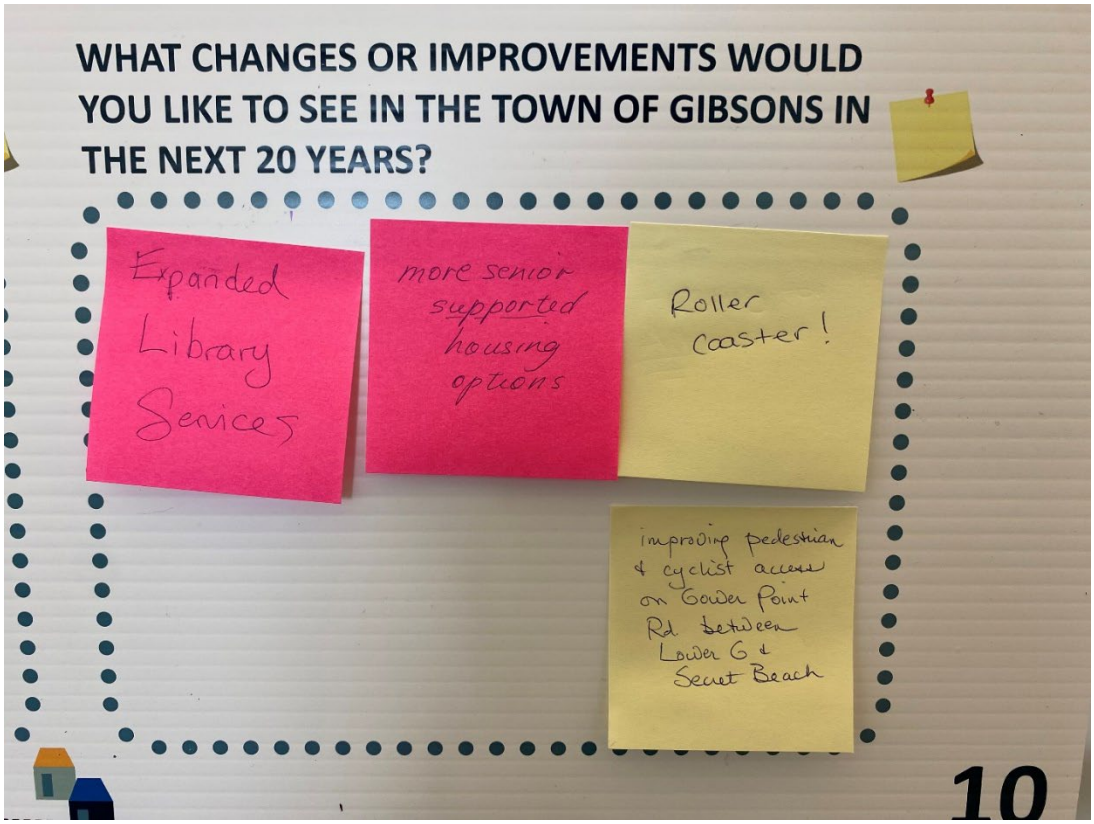
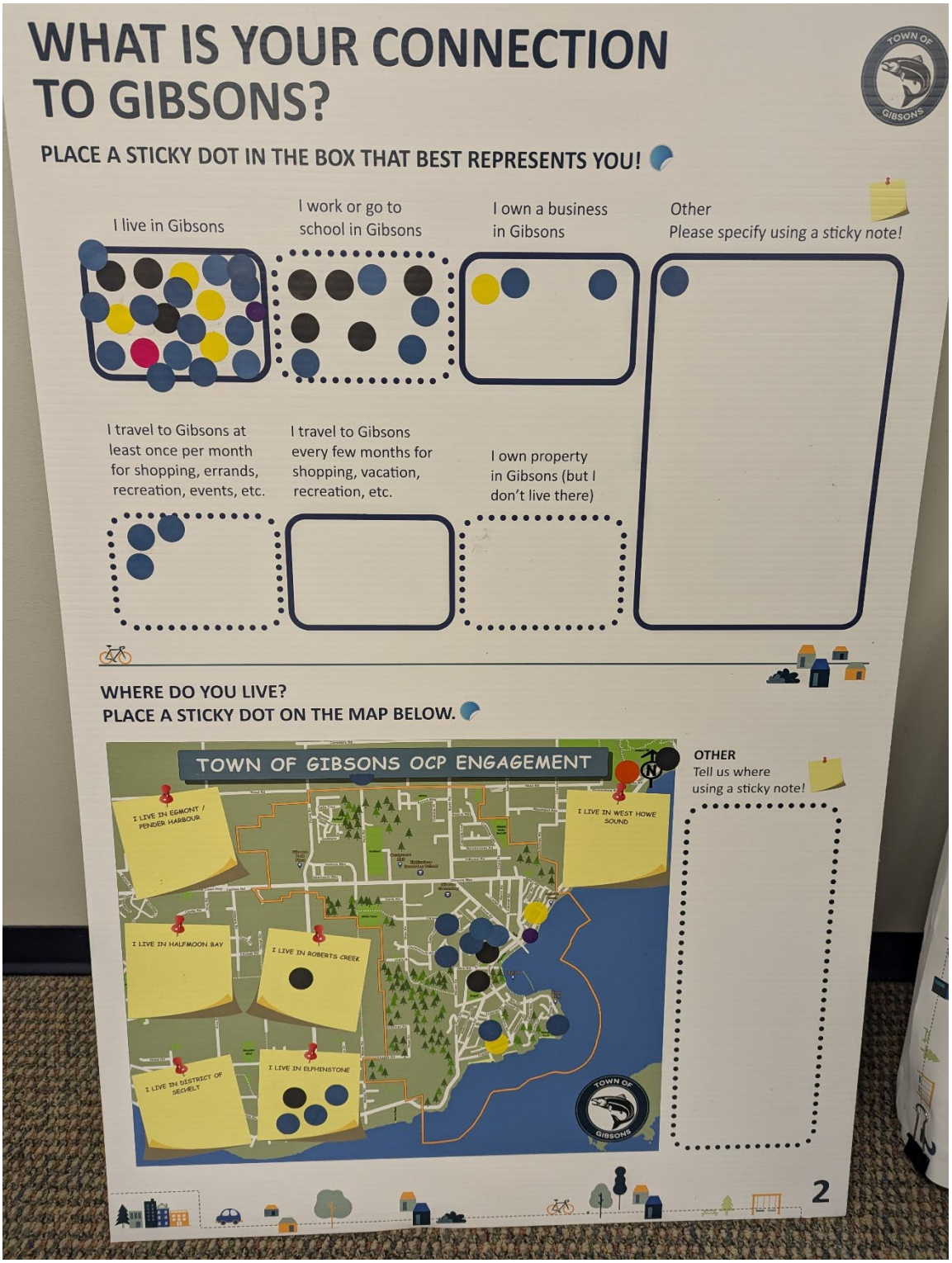
WHAT DO YOU LIKE MOST ABOUT GIBSONS?
The scenery and Coastline The money beaches, the Commercial area in upper Gibsons


oughts.
WHAT DO YOU LIKE LEAST ABOUT GIBSONS?
traffic congestion – we NEED the bypass
The noise, of Big Trucks, Parking every which Way, Idling cars for no reason


WHAT CHANGES OR IMPROVEMENTS WOULD YOU LIKE TO SEE IN THE TOWN OF GIBSONS IN THE NEXT 20 YEARS?
Expanded Library Services
more senior supported housing options
Roller coaster!
improving pedestrian & cyclist access on Gower Point Rd between Lower G & Secret Beach


Town of Gibsons - OCP
N
Gower Point Rd
Georgia Beach
Burns Road
Chaster Rd
Sewer Rd
0
250
500
1,000 m

3. **Popup event at Tapworks Brewing Company on October 28th from 5:00pm to 7:00pm.**



MMUNITY VISIONING

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HICH TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE KEPT IN THE UPDATED OCP VISION?

lace a sticky dot beside all that apply.

WELCOMING

SUSTAINABLE

NATURAL ENVIRONMENT

NATURAL ASSETS

SEASIDE CHARACTER

QUALITY OF LIFE

CULTURAL HERITAGE

LOCAL ECONOMY

WHICH NEW TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE ADDED TO THE UPDATED VISION?

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INCLUSION

DIVERSITY

FIRST NATIONS & RECONCILIATION

COASTLINE PROTECTION

HOUSING OPTIONS & AFFORDABILITY

CLIMATE RESILIANCE & ADAPTATION

BIODIVERSITY & HABITAT PROTECTION

ACCESSIBILITY

MOBILITY ACCESS

OTHER

Please tell us using a sticky note!

3

O YOU AGREE WITH THE 15 VALUES OF THE GIBSONS RESIDENTS ASSEMBLY?

lace a sticky dot in the yes / no column based on your opinions.

Accessibility and Connectivity — YES / NO

Access to Health and Wellness Facilities — YES / NO

Access to and Protection of Nature (Water|Air|Wildlife|Soil) — YES / NO

Affordable Housing — YES / NO

Celebration of Arts and Culture — YES / NO

Climate Action Leadership (Reduction of Greenhouse Gas) — YES / NO

Daily Needs Met Without a Car — YES / NO

Diversity and Inclusion — YES / NO

Emergency Preparedness — YES / NO

Engagement With Indigenous Peoples & Reconciliation — YES / NO

Opportunities for Socialization and Community Building — YES / NO

Personal Safety — YES / NO

Quality Education and Childcare — YES / NO

Sense of Community and Neighbourliness — YES / NO

Thriving Local Businesses — YES / NO

SHARE YOUR THOUGHTS.
ARE THERE ANY VALUES MISSING OR VALUES YOU WOULD CHANGE?
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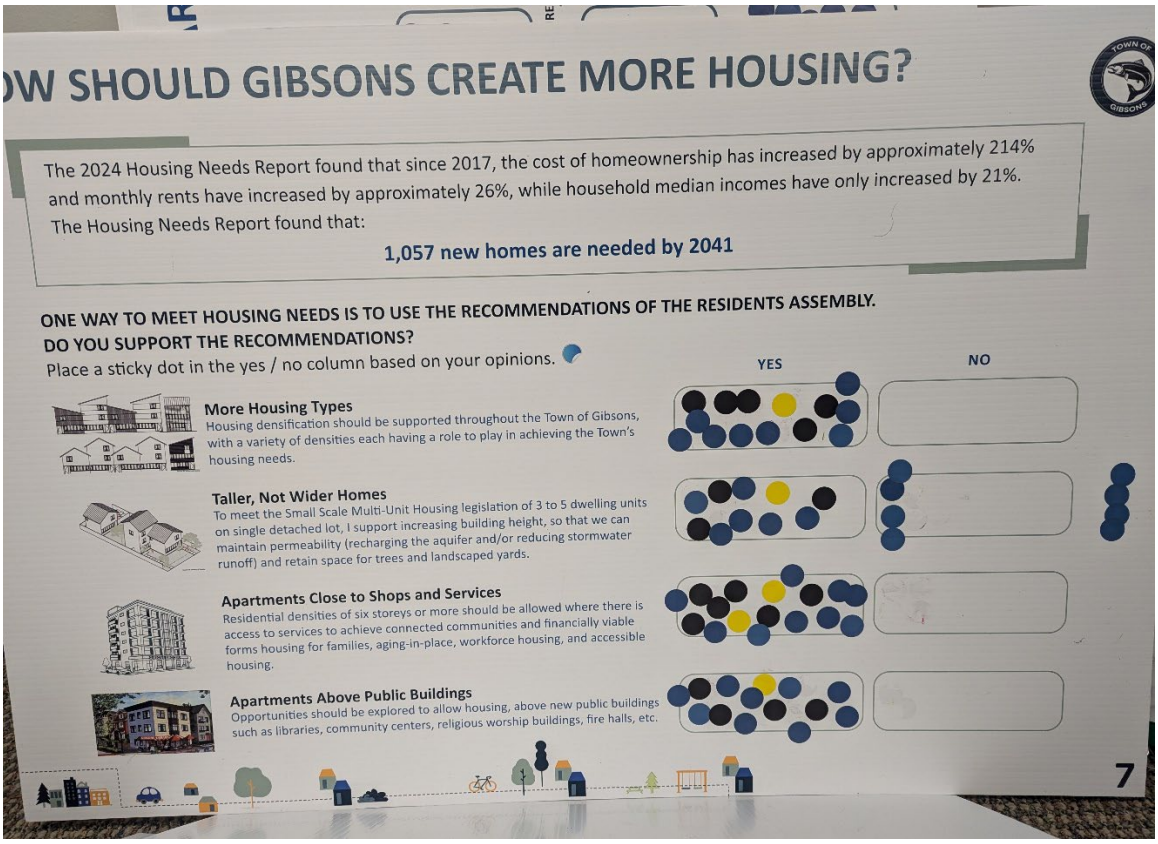
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1,057 new homes are needed by 2041
ONE WAY TO MEET HOUSING NEEDS IS TO USE THE RECOMMENDATIONS OF THE RESIDENTS ASSEMBLY.
DO YOU SUPPORT THE RECOMMENDATIONS?
Place a sticky dot in the yes / no column based on your opinions.
YES
NO
More Housing Types
Housing densification should be supported throughout the Town of Gibsons, with a variety of densities each having a role to play in achieving the Town's housing needs.
Taller, Not Wider Homes
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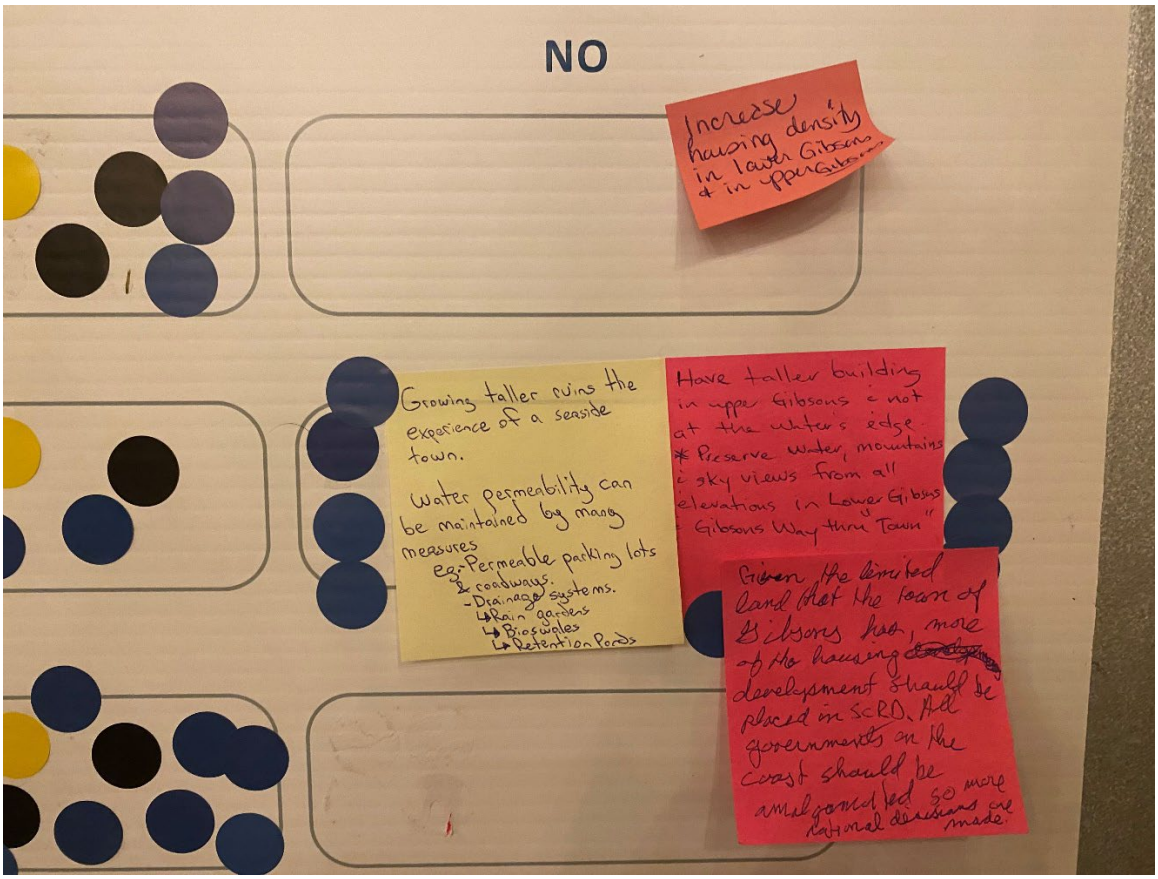
Opportunities should be explored to allow housing, above new public buildings such as libraries, community centers, religious worship buildings, fire halls, etc.
7


NO
Increase housing density in lower Gibsons & in upper Gibsons
Growing taller ruins the experience of a seaside town.
Water permeability can be maintained by many measures
eg. Permeable parking lots & roadways.
- Drainage systems.
↳ Rain gardens
↳ Bioswales
↳ Retention Ponds
Have taller building in upper Gibsons & not at the water's edge.
* Preserve water, mountains & sky views from all elevations in Lower Gibsons
Gibsons Way thru "Town"
Given the limited land that the town of Gibsons has, more of the housing ~~development~~ development should be placed in SCRD. All governments on the coast should be amalgamated so more rational decisions are made.

WHAT DOES GIBSONS' "SEASIDE VILLAGE CHARACTER" MEAN TO YOU?

THE CURRENT OCP STATES:

"We will ensure this beautiful town retains its seaside village character..."

WHICH ASPECTS OF "SEASIDE VILLAGE CHARACTER" ARE IMPORTANT TO GIBSONS?

Select all that apply with a sticky dot.

BUILDING DESIGN ELEMENTS

VIEWS OF THE OCEAN

MAINTAINING HISTORIC ARCHITECTURE

VARIETY OF RESTAURANTS AND SHOPS

WALKABILITY

PIERS AND MARINAS

COMMUNITY EVENTS

OTHER
Tell us using a sticky note!

VARIETY OF ACTIVITIES AND SERVICES NEAR THE WATERFRONT

VARIETY OF HOUSING TYPES PUTTING PEOPLE CLOSE TO THE WATERFRONT AND SHOPS

PUBLICLY ACCESSIBLE WATERFRONT SPACES

8

TRADEOFFS AND LAND USE

AS GIBSONS GROWS, WHICH FEATURE IS MORE IMPORTANT TO PROVIDE WITH HOUSING?

Select one of the following using a sticky dot.

TREES & LANDSCAPING

PARKING SPACES

AS GIBSONS GROWS, WHICH NATURAL ASSETS WOULD YOU PRIORITIZE MOST?

Select three of the following using sticky dots.

AQUIFER 560 (ground water quality)

TREES

ABSORBING RAINWATER TO REDUCE FLOODING

NATURAL FEATURES (natural coastline)

WILDLIFE HABITAT

OTHER
Please specify with a sticky note.

WHAT SHOULD BE THE HIGHEST PRIORITY FOR FUTURE GROWTH AND DEVELOPMENT IN GIBSONS?

Select one of the following using a sticky dot.

RESIDENTIAL HOUSING

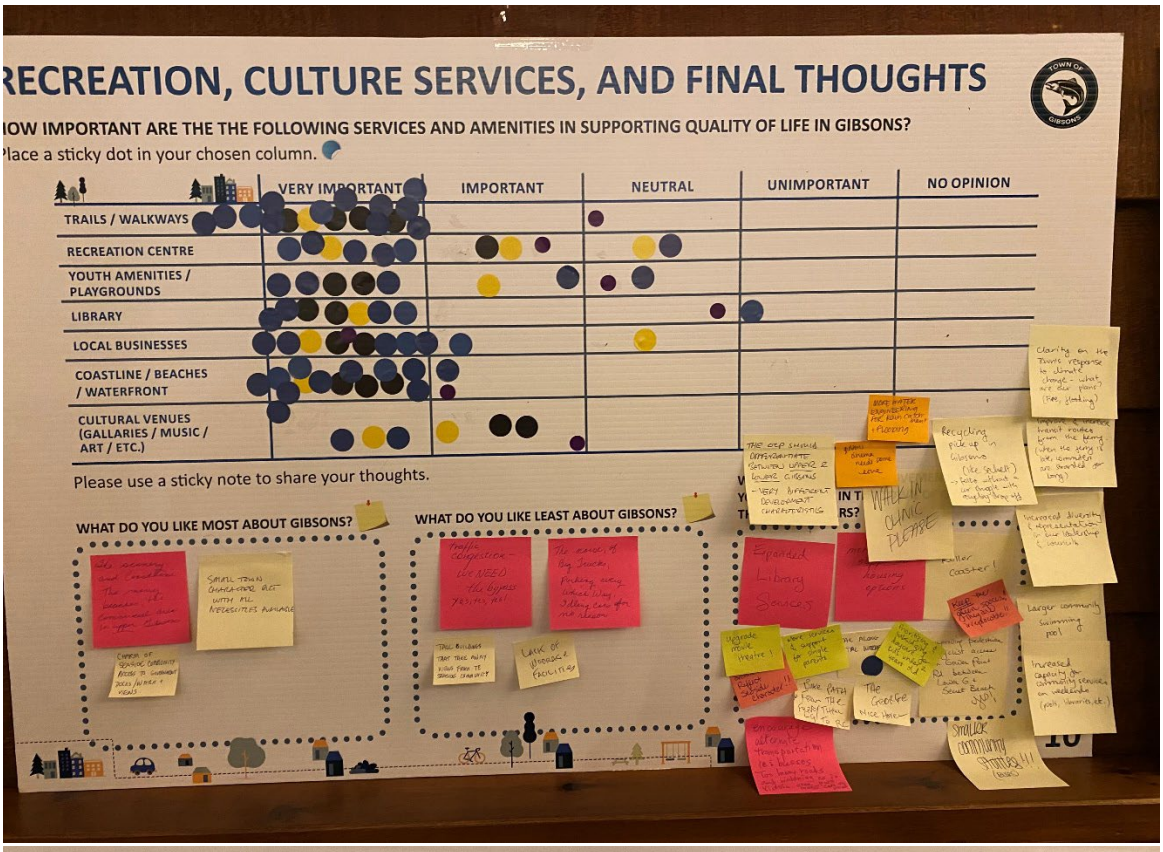
COMMERCIAL / RETAIL SERVICES

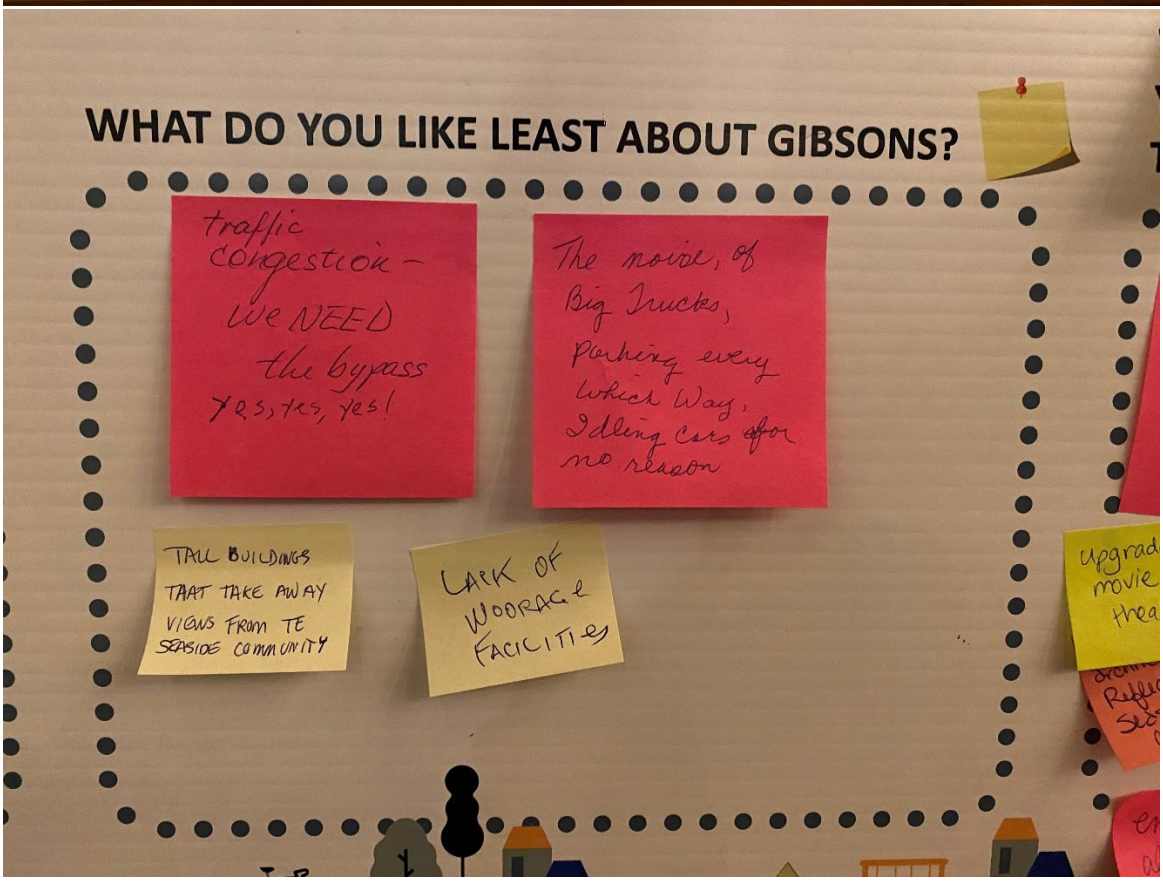
NO GROWTH

INDUSTRY AND EMPLOYMENT

RECREATION (including park space)

OTHER
Please specify with a sticky note.


RECREATION, CULTURE SERVICES, AND FINAL THOUGHTS
OW IMPORTANT ARE THE THE FOLLOWING SERVICES AND AMENITIES IN SUPPORTING QUALITY OF LIFE IN GIBSONS?
Place a sticky dot in your chosen column.
VERY IMPORTANT
IMPORTANT
NEUTRAL
UNIMPORTANT
NO OPINION
TRAILS / WALKWAYS
RECREATION CENTRE
YOUTH AMENITIES / PLAYGROUNDS
LIBRARY
LOCAL BUSINESSES
COASTLINE / BEACHES / WATERFRONT
CULTURAL VENUES (GALLARIES / MUSIC / ART / ETC.)
Please use a sticky note to share your thoughts.
WHAT DO YOU LIKE MOST ABOUT GIBSONS?
WHAT DO YOU LIKE LEAST ABOUT GIBSONS?
traffic congestion - WE NEED the bypass yes, yes, yes!
TALL BUILDINGS THAT TAKE AWAY VIEWS FROM TE SEASIDE COMMUNITY
LACK OF WOORAGE FACILITIES
Expanded Library Services
WALK IN CLINIC PLEASE
Recycling pick up in Gibsons (the other)
Larger community swimming pool
Increased capacity for community services on weekends


WHAT DO YOU LIKE LEAST ABOUT GIBSONS?
traffic congestion - WE NEED the bypass yes, yes, yes!
The noise, of Big Trucks, Parking every which Way, Idling Cars for no reason
TALL BUILDINGS THAT TAKE AWAY VIEWS FROM TE SEASIDE COMMUNITY
LACK OF WOORAGE FACILITIES

Clarity on the Town's response to climate change - what are our plans? (Fire, flooding)

MORE WATER ENGINEERING for Rain catch-ment + FLOODING.

Recycling pick up in Gibsons (like Sechelt) -> folks without a car struggle with recycling drop off

Improve & increase transit routes from the ferry. (when the ferry is late, commuters are stranded for long)

THE OCP SHOULD DIFFERENTIATE BETWEEN UPPER & LOWER GIBSONS - VERY DIFFERENT DEVELOPMENT CHARACTERISTICS

Gibsons cinema needs some love

WALK IN CLINIC PLEASE

Increased diversity & representation in our leadership & councils.

Expanded Library Services

housing options

Roller coaster!

Keep the green spaces!! They are irreplacable!!

Larger community swimming pool

Upgrade movie theatre!

More services & support for single parents

Prioritizing & subsidizing daycare kids under 2 years old

Reflect seaside character!!

improving pedestrian & cyclist access on Gower Point Rd. between Lower G & Secret Beach ASAP!

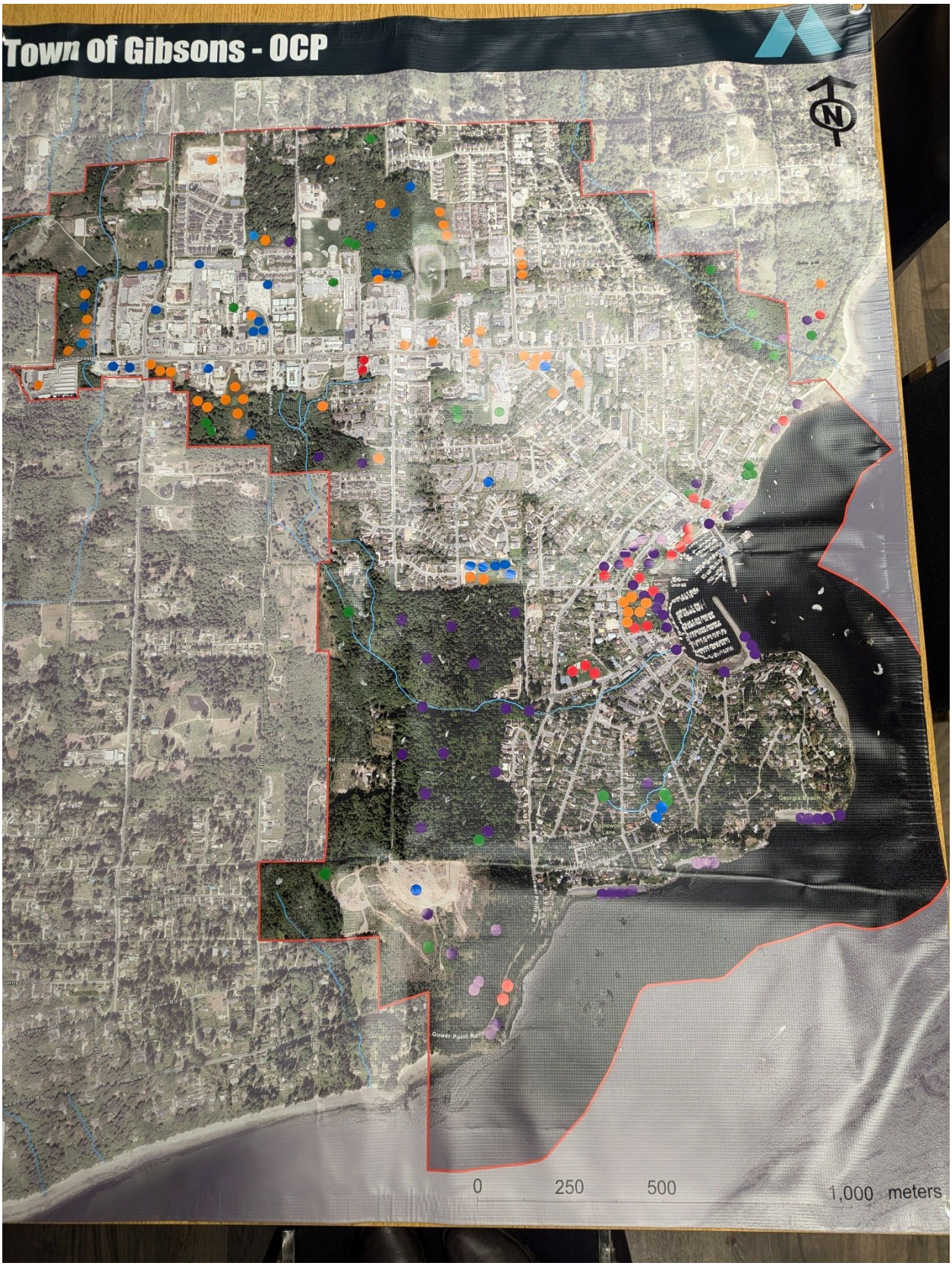
Increased capacity for community services on weekends (pools, libraries, etc.)

Bike path from the ferry thru LG to RC

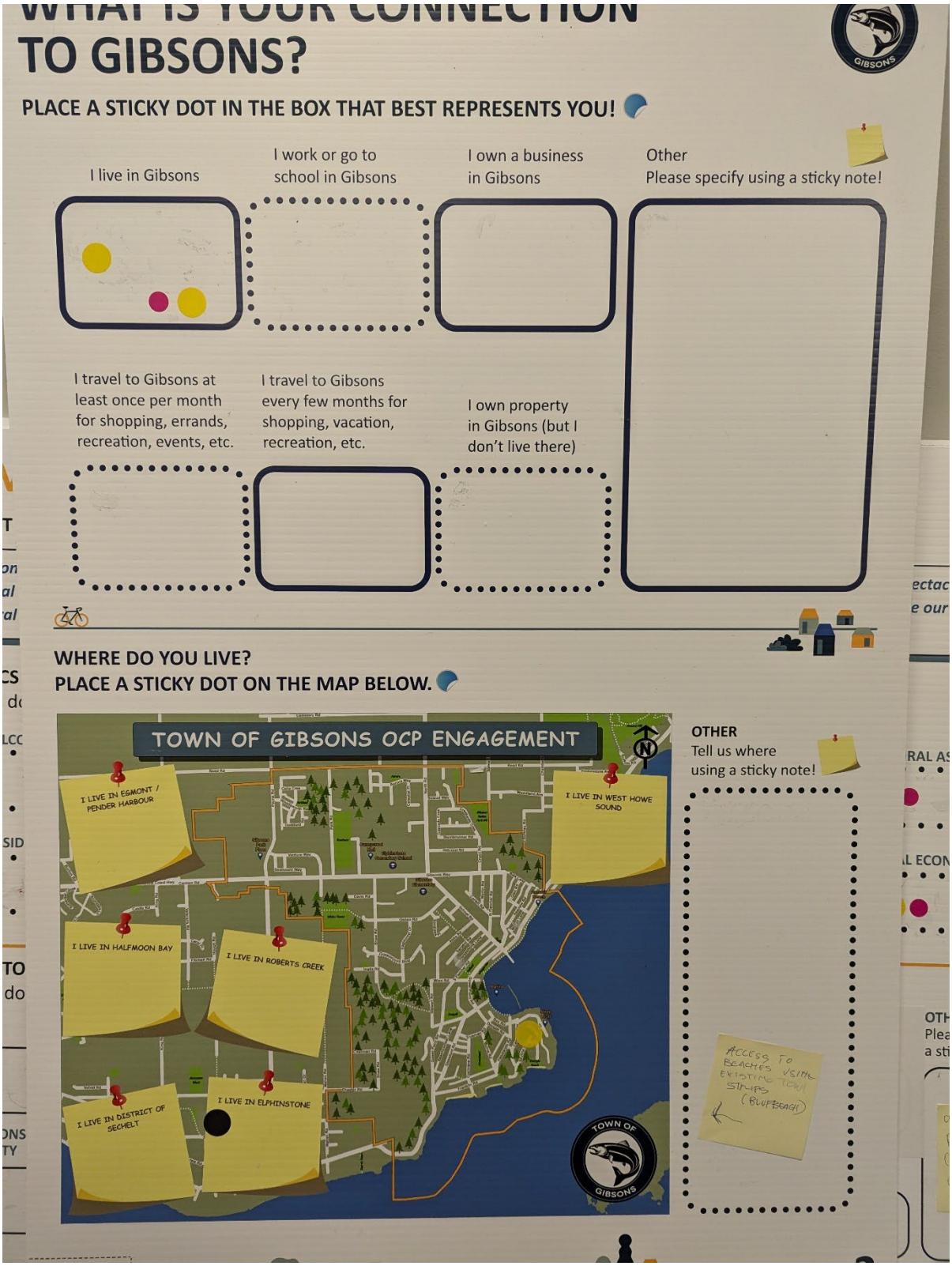
The George Nice Hotel

encourage alternate transportation ie: busses Too many roads and widening as in Victoria area puts more cars on road

SMALLER COMMUNITY SHUTTLES!!! (BUSES)


Town of Gibsons - OCP
N
Gower Point Rd
Chaster Rd
Burns Road
Georgia Beach
0
250
500
1,000 meters

4. **Popup event at Gibsons Public Market on November 6th from 3:00pm to 4:30pm.**



COMMUNITY VISIONING

THE CURRENT OCP HAS THE FOLLOWING VISION FOR GIBSONS:

> *"Gibsons will continue to be a welcoming, sustainable community that offers residents and visitors an outstanding quality of life in a spectacular natural environment. We will ensure this beautiful town retains its seaside village character for the enjoyment of all and we will nurture our unique cultural heritage and natural assets while supporting opportunities for our local economy."*

WHICH TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE KEPT IN THE UPDATED OCP VISION?
Place a sticky dot beside all that apply.

All of these!

- WELCOMING
- SUSTAINABLE
- NATURAL ENVIRONMENT
- NATURAL ASSETS
- SEASIDE CHARACTER
- QUALITY OF LIFE
- CULTURAL HERITAGE
- LOCAL ECONOMY

WHICH NEW TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE ADDED TO THE UPDATED VISION?
Place a sticky dot beside all that apply.

- INCLUSION
- DIVERSITY
- FIRST NATIONS & RECONCILIATION
- COASTLINE PROTECTION
- HOUSING OPTIONS & AFFORDABILITY
- CLIMATE RESILIANCE & ADAPTATION
- BIODIVERSITY & HABITAT PROTECTION
- ACCESSIBILITY
- MOBILITY ACCESS

OTHER
Please tell us using a sticky note!

accessibility for porta potty! → construct proper washroom
possible washroom around town

3

DO YOU AGREE WITH THE 15 VALUES OF THE GIBSONS RESIDENTS ASSEMBLY?

Place a sticky dot in the yes / no column based on your opinions.

	YES	NO
Accessibility and Connectivity	●●●	
Access to Health and Wellness Facilities	●●●	
Access to and Protection of Nature (Water|Air|Wildlife|Soil)	●●	
Affordable Housing	●●	
Celebration of Arts and Culture	●	
Climate Action Leadership (Reduction of Greenhouse Gas)	●	
Daily Needs Met Without a Car	●●●	
Diversity and Inclusion	●	
Emergency Preparedness	●	
Engagement With Indigenous Peoples & Reconciliation	●	
Opportunities for Socialization and Community Building	●	
Personal Safety	●	
Quality Education and Childcare	●●	
Sense of Community and Neighbourliness	●●	
Thriving Local Businesses	●●	

SHARE YOUR THOUGHTS.
ARE THERE ANY VALUES MISSING OR VALUES YOU WOULD CHANGE?
If yes, please tell us using a sticky note.

I ~~[illegible]~~ agree with all of the 15 [illegible] values. I would like to see the town add 1: Faith/Spirituality

6

HOW SHOULD GIBSONS CREATE MORE HOUSING?

The 2024 Housing Needs Report found that since 2017, the cost of homeownership has increased by approximately 214% and monthly rents have increased by approximately 26%, while household median incomes have only increased by 21%. The Housing Needs Report found that:

1,057 new homes are needed by 2041

ONE WAY TO MEET HOUSING NEEDS IS TO USE THE RECOMMENDATIONS OF THE RESIDENTS ASSEMBLY. DO YOU SUPPORT THE RECOMMENDATIONS?

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	YES	NO
More Housing Types Housing densification should be supported throughout the Town of Gibsons, with a variety of densities each having a role to play in achieving the Town's housing needs.		
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Apartments Above Public Buildings Opportunities should be explored to allow housing, above new public buildings such as libraries, community centers, religious worship buildings, fire halls, etc.		

Promotion and encouragement of 3 smaller homes, even though gradual, they have the ability to help stabilize the neighborhood & adjacent buildings

ACCEPT UNIQUE TRADE OF RESIDENTIAL ARCHITECTURE HAS ATTRACTED THE LUXURY/INFLATION OPPORTUNITY TO YOUNG FAMILIES

WHAT DOES GIBSONS' "SEASIDE VILLAGE CHARACTER" MEAN TO YOU?

THE CURRENT OCP STATES:

"We will ensure this beautiful town retains its seaside village character..."

WHICH ASPECTS OF "SEASIDE VILLAGE CHARACTER" ARE IMPORTANT TO GIBSONS?

Select all that apply with a sticky dot.

- BUILDING DESIGN ELEMENTS
- VIEWS OF THE OCEAN
- MAINTAINING HISTORIC ARCHITECTURE
- VARIETY OF RESTAURANTS AND SHOPS
- WALKABILITY
- PIERS AND MARINAS
- COMMUNITY EVENTS
- VARIETY OF ACTIVITIES AND SERVICES NEAR THE WATERFRONT
- VARIETY OF HOUSING TYPES PUTTING PEOPLE CLOSE TO THE WATERFRONT AND SHOPS
- PUBLICLY ACCESSIBLE WATERFRONT SPACES

OTHER

Tell us using a sticky note!

Seniors
Single
Access
Middle Income
Does not
Exist

TRADEOFFS AND LAND USE

AS GIBSONS GROWS, WHICH FEATURE IS MORE IMPORTANT TO PROVIDE WITH HOUSING?

Select one of the following using a sticky dot.

- TREES & LANDSCAPING
- PARKING SPACES

AS GIBSONS GROWS, WHICH NATURAL ASSETS WOULD YOU PRIORITIZE MOST?

Select three of the following using sticky dots.

- AQUIFER 560 (ground water quality)
- TREES
- ABSORBING RAINWATER TO REDUCE FLOODING
- NATURAL FEATURES (natural coastline)
- WILDLIFE HABITAT
- OTHER Please specify with a sticky note.

WHAT SHOULD BE THE HIGHEST PRIORITY FOR FUTURE GROWTH AND DEVELOPMENT IN GIBSONS?

Select one of the following using a sticky dot.

- RESIDENTIAL HOUSING
- COMMERCIAL / RETAIL SERVICES
- NO GROWTH
- INDUSTRY AND EMPLOYMENT
- RECREATION (including park space)
- OTHER Please specify with a sticky note.

ECREATION, CULTURE SERVICES, AND FINAL THOUGHTS

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	VERY IMPORTANT	IMPORTANT	NEUTRAL	UNIMPORTANT	NO OPINION
TRAILS / WALKWAYS					
RECREATION CENTRE					
YOUTH AMENITIES / PLAYGROUNDS					
LIBRARY					
LOCAL BUSINESSES					
COASTLINE / BEACHES / WATERFRONT					
CULTURAL VENUES (GALLARIES / MUSIC / ART / ETC.)					

Please use a sticky note to share your thoughts.

WHAT DO YOU LIKE MOST ABOUT GIBSONS?

WHAT DO YOU LIKE LEAST ABOUT GIBSONS?

WHAT CHANGES OR IMPROVEMENTS WOULD YOU LIKE TO SEE IN THE TOWN OF GIBSONS IN THE NEXT 20 YEARS?

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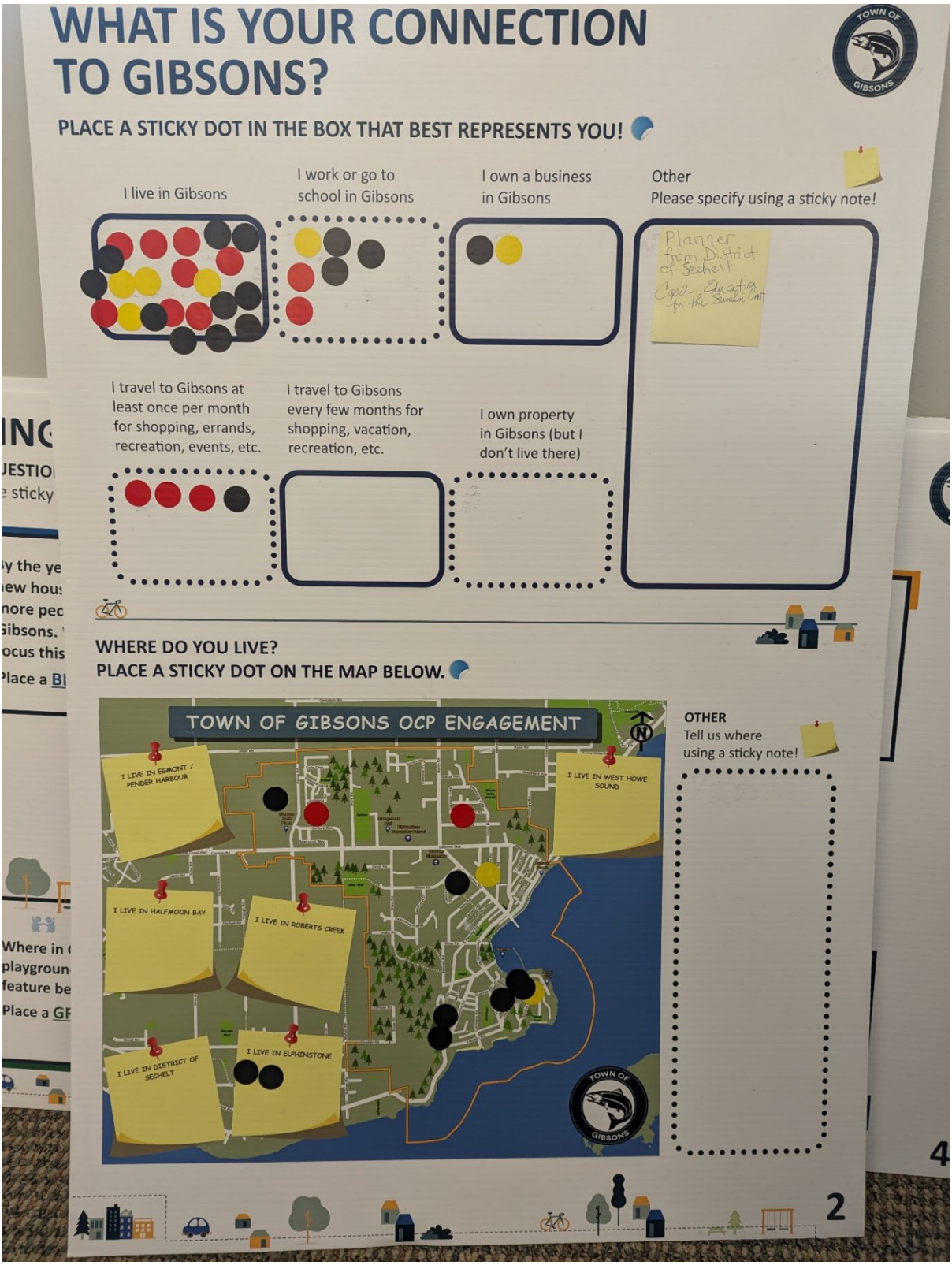

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WELCOMING

SUSTAINABLE

NATURAL ENVIRONMENT

NATURAL ASSETS

SEASIDE CHARACTER

QUALITY OF LIFE

CULTURAL HERITAGE

LOCAL ECONOMY

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DIVERSITY

FIRST NATIONS & RECONCILIATION

COASTLINE PROTECTION

HOUSING OPTIONS & AFFORDABILITY

CLIMATE RESILIANCE & ADAPTATION

BIODIVERSITY & HABITAT PROTECTION

ACCESSIBILITY

MOBILITY ACCESS

OTHER

Please tell us using a sticky note!

3

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Accessibility and Connectivity — YES / NO

Access to Health and Wellness Facilities — YES / NO

Access to and Protection of Nature (Water|Air|Wildlife|Soil) — YES / NO

Affordable Housing — YES / NO

Celebration of Arts and Culture — YES / NO

Climate Action Leadership (Reduction of Greenhouse Gas) — YES / NO

Daily Needs Met Without a Car — YES / NO

Diversity and Inclusion — YES / NO

Emergency Preparedness — YES / NO

Engagement With Indigenous Peoples & Reconciliation — YES / NO

Opportunities for Socialization and Community Building — YES / NO

Personal Safety — YES / NO

Quality Education and Childcare — YES / NO

Sense of Community and Neighbourliness — YES / NO

Thriving Local Businesses — YES / NO

SHARE YOUR THOUGHTS.
ARE THERE ANY VALUES MISSING OR VALUES YOU WOULD CHANGE?
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BUILDING DESIGN ELEMENTS

VIEWS OF THE OCEAN

MAINTAINING HISTORIC ARCHITECTURE

VARIETY OF RESTAURANTS AND SHOPS

WALKABILITY

PIERS AND MARINAS

COMMUNITY EVENTS

VARIETY OF ACTIVITIES AND SERVICES NEAR THE WATERFRONT

VARIETY OF HOUSING TYPES PUTTING PEOPLE CLOSE TO THE WATERFRONT AND SHOPS

PUBLICLY ACCESSIBLE WATERFRONT SPACES

OTHER
Tell us using a sticky note!

Retain public foreshore access (climate resilience, asset management)

TRADEOFFS AND LAND USE

Parking feature for commercial and Trees feature in residential

AS GIBSONS GROWS, WHICH FEATURE IS MORE IMPORTANT TO [illegible] ITH HOUSING?

Select one of the following using a sticky dot.

TREES & LANDSCAPING

PARKING SPACES

AS GIBSONS GROWS, WHICH NATURAL ASSETS WOULD YOU PRIORITIZE MOST?

Select three of the following using sticky dots.

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TREES

ABSORBING RAINWATER TO REDUCE FLOODING

NATURAL FEATURES (natural coastline)

WILDLIFE HABITAT

OTHER
Please specify with a sticky note.

Connectivity

WHAT SHOULD BE THE HIGHEST PRIORITY FOR FUTURE GROWTH AND DEVELOPMENT IN GIBSONS?

Select one of the following using a sticky dot.

RESIDENTIAL HOUSING

COMMERCIAL / RETAIL SERVICES

NO GROWTH

INDUSTRY AND EMPLOYMENT

RECREATION (including park space)

O [illegible] h a sticky note.

wildlife corridors (habitat conservation protection)

ENTRANCE TO GIBSONS IS OUR FACE TO THE REGION. WE OFTEN REQUIRE IMPROVEMENTS OF THE PUBLIC RECEIVING THE ENTRANCE TO THE COMMUNITY. PARKING DEPOT.

9

RECREATION, CULTURE SERVICES, AND FINAL THOUGHTS

HOW IMPORTANT ARE THE THE FOLLOWING SERVICES AND AMENITIES IN SUPPORTING QUALITY OF LIFE IN GIBSONS?

Place a sticky dot in your chosen column.

	VERY IMPORTANT	IMPORTANT	NEUTRAL	UNIMPORTANT	NO OPINION
TRAILS / WALKWAYS					
RECREATION CENTRE					
YOUTH AMENITIES / PLAYGROUNDS					
LIBRARY					
LOCAL BUSINESSES					
COASTLINE / BEACHES / WATERFRONT					
CULTURAL VENUES (GALLARIES / MUSIC / ART / ETC.)					

Please use a sticky note to share your thoughts.

WHAT DO YOU LIKE MOST ABOUT GIBSONS?

- Funky seaside town
- Small time
- Sidewalk
- Lots of local business
- Lots of trails

WHAT DO YOU LIKE LEAST ABOUT GIBSONS?

THE VERY WORST INCONVENIENT IN COMMUNITY PLANNING FROM 20-40 YEARS AGO

That no beach has not activated

Gibsons Way is a "street"

WHAT CHANGES OR IMPROVEMENTS WOULD YOU LIKE TO SEE IN THE TOWN OF GIBSONS IN THE NEXT 20 YEARS?

I don't want superbus having Sechelt bus determined since superbus having I don't want Van to happen to Gibsons

more comprehensive recycling program — everything is recycled

- without cooperation from other levels of government

Protect remaining natural areas (ESAs) (Gibson Rock, Lighthouse Trail, around Parkland) Gibson wetlands

K12 – K16 Ed. We want to create education and city expansion impact.

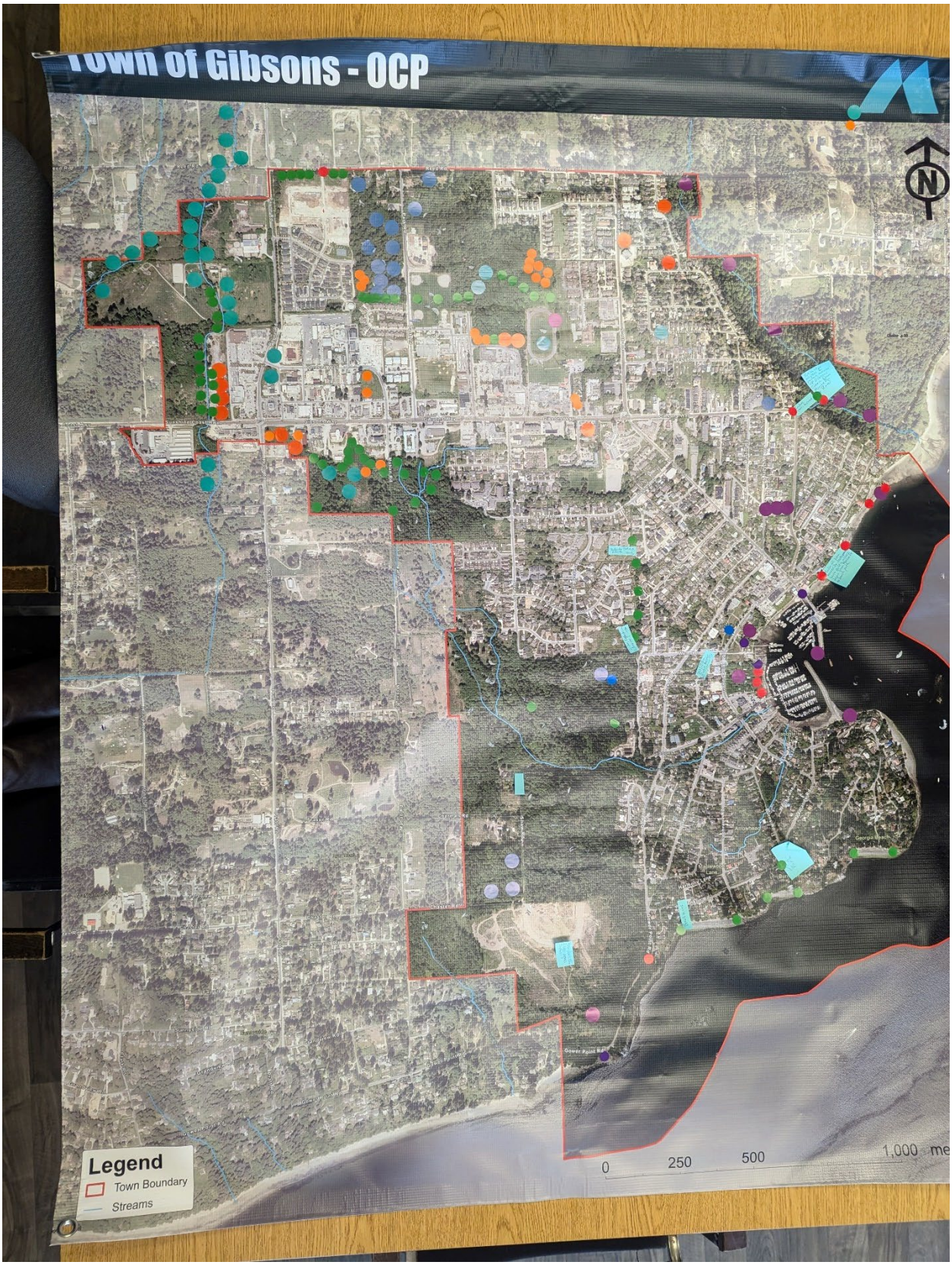
10

Charman Rd
Shaw Rd
How does the Public access The park?
Red is the Planned alloy

Cochrane Rd
Arrowhead
Burns Rd
Wells Lane
Headlands Rd
Burns Road
Park

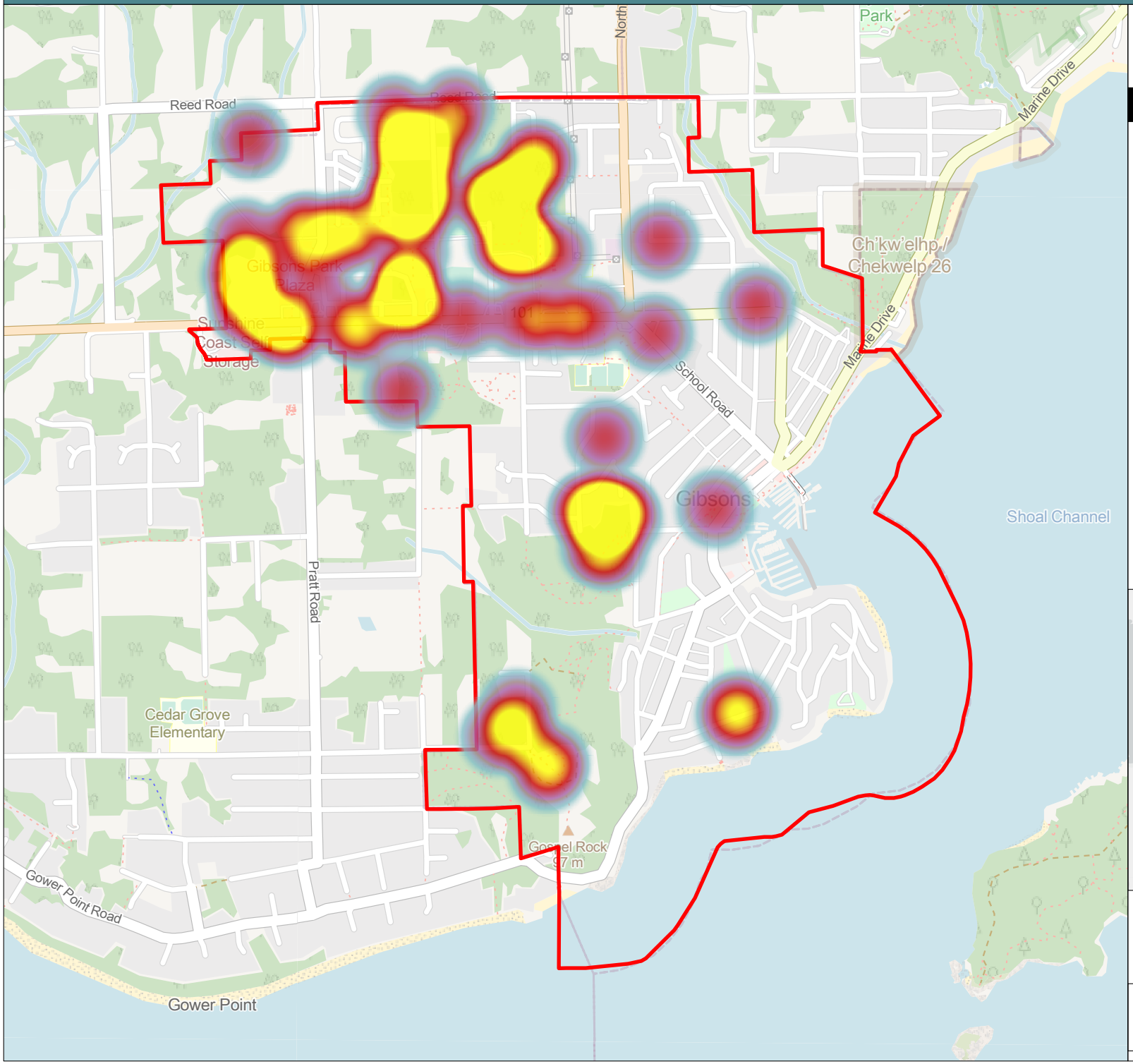
Abbs Rd
Sargent Rd
Holland
Winn Rd
Gower Point Rd
S Fletcher Rd
Stewart Rd
Dougall
Red is the Public Access
Public Access

Cole'S Public Access
Marine Dr
Make all New beachside developments have public access down from Marine Dr to beach path.


Town of Gibsons - OCP
N
Legend
Town Boundary
Streams
0
250
500
1,000 me

McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

General Public

Focus Growth

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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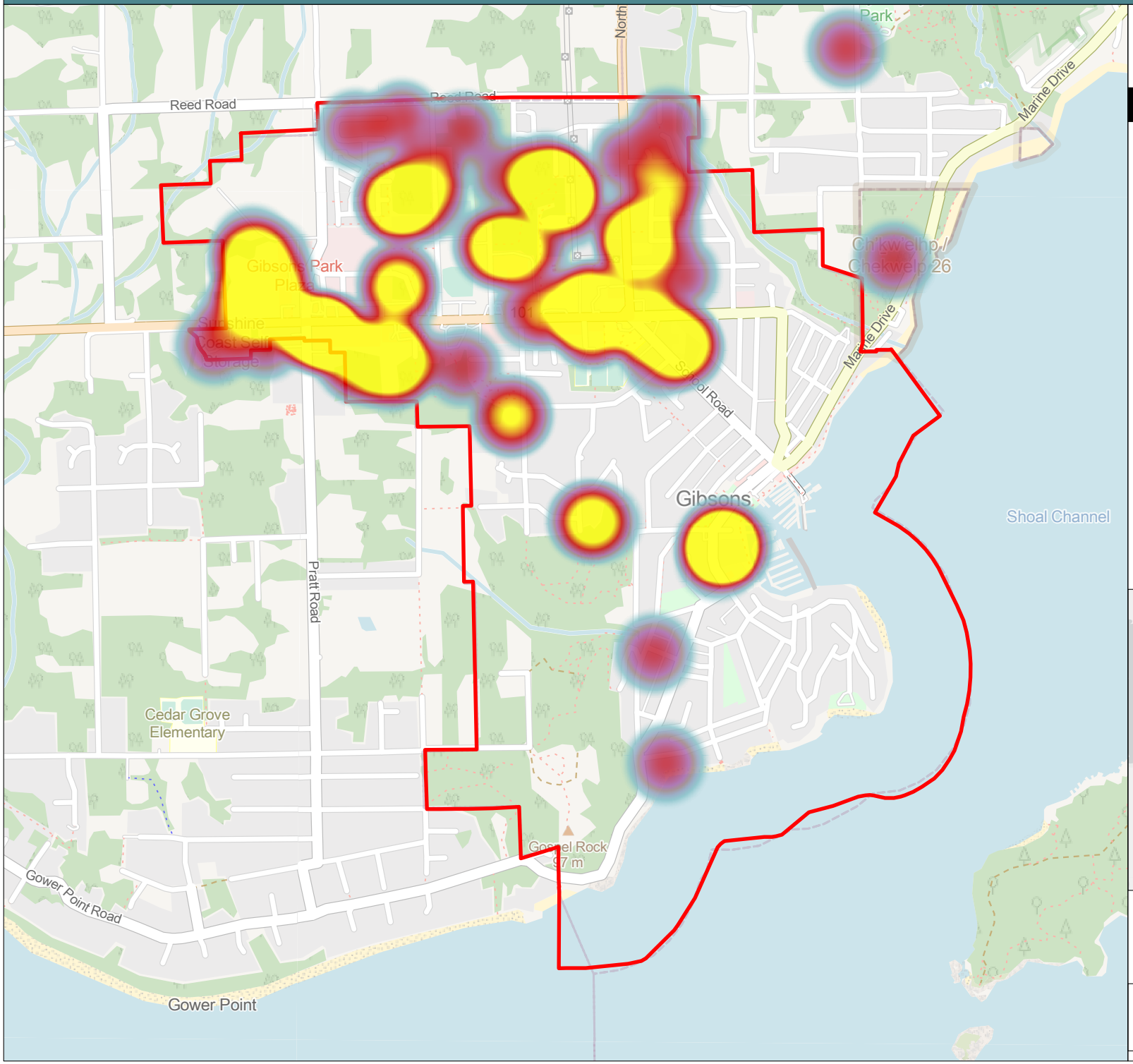
McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

General Public

4-6 Storey Apartments

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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McElhanney

Town of Gibsons
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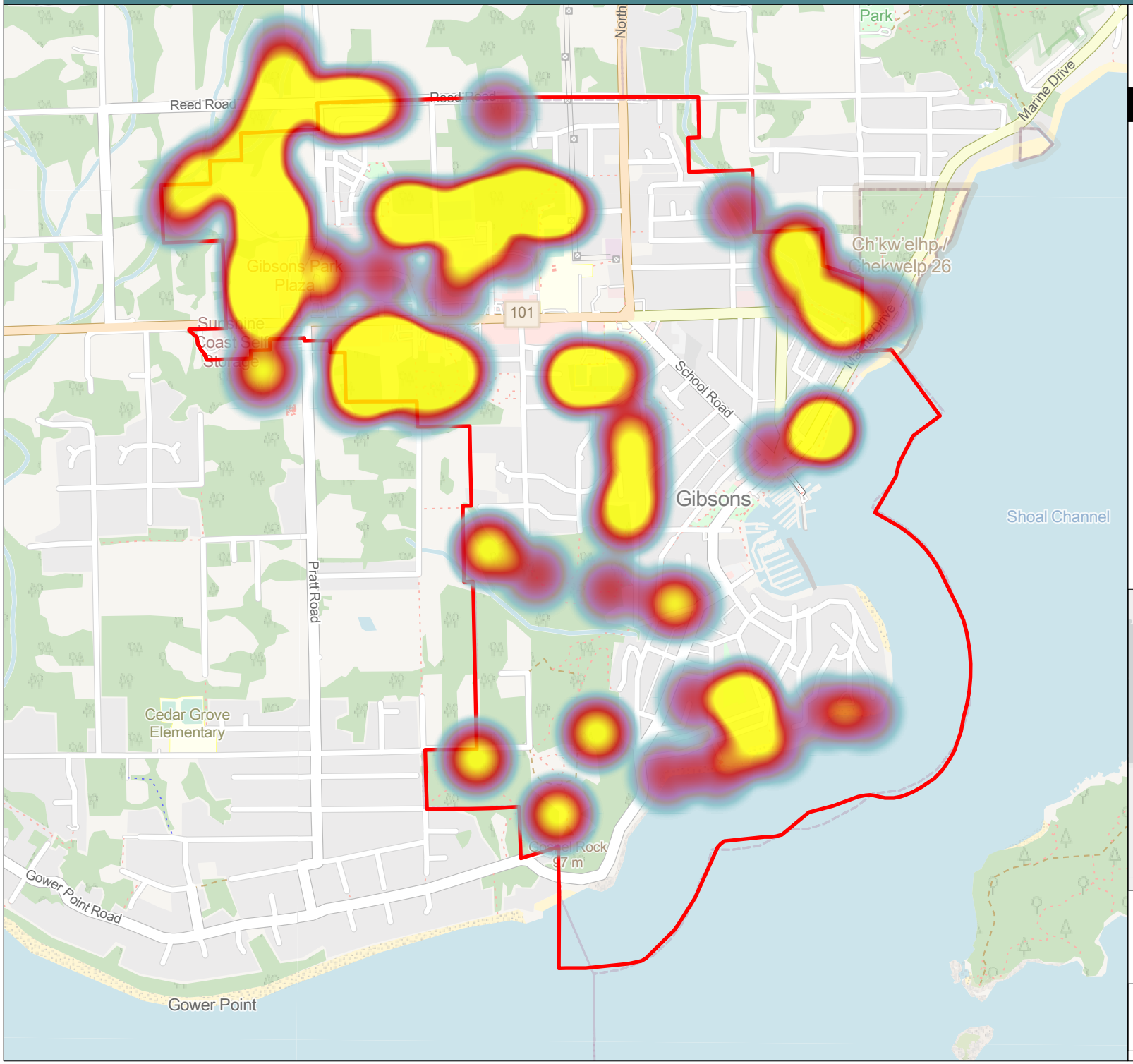

LEGEND

General Public

New Recreation Feature

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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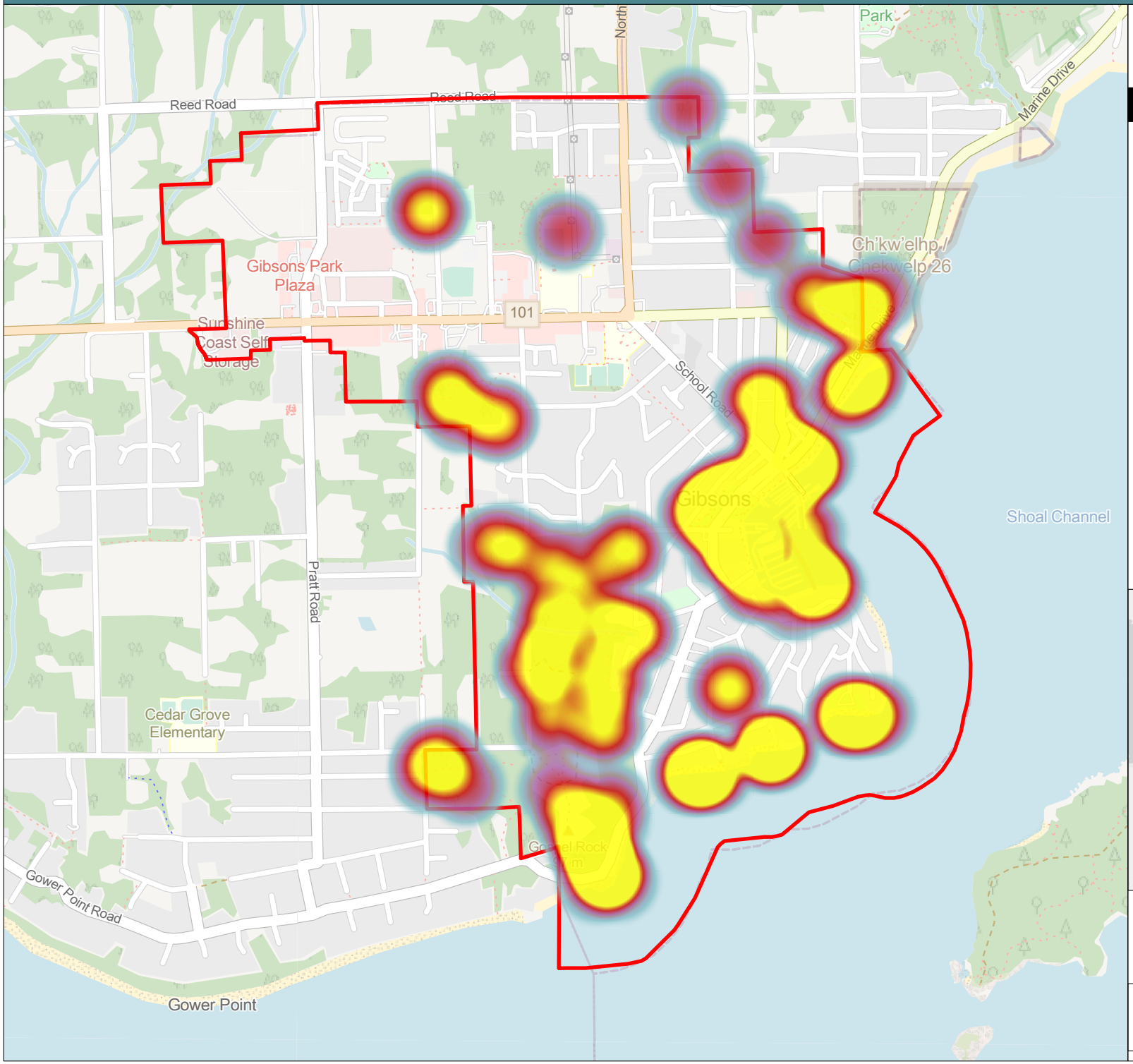

LEGEND

General Public

Preserve or Protect

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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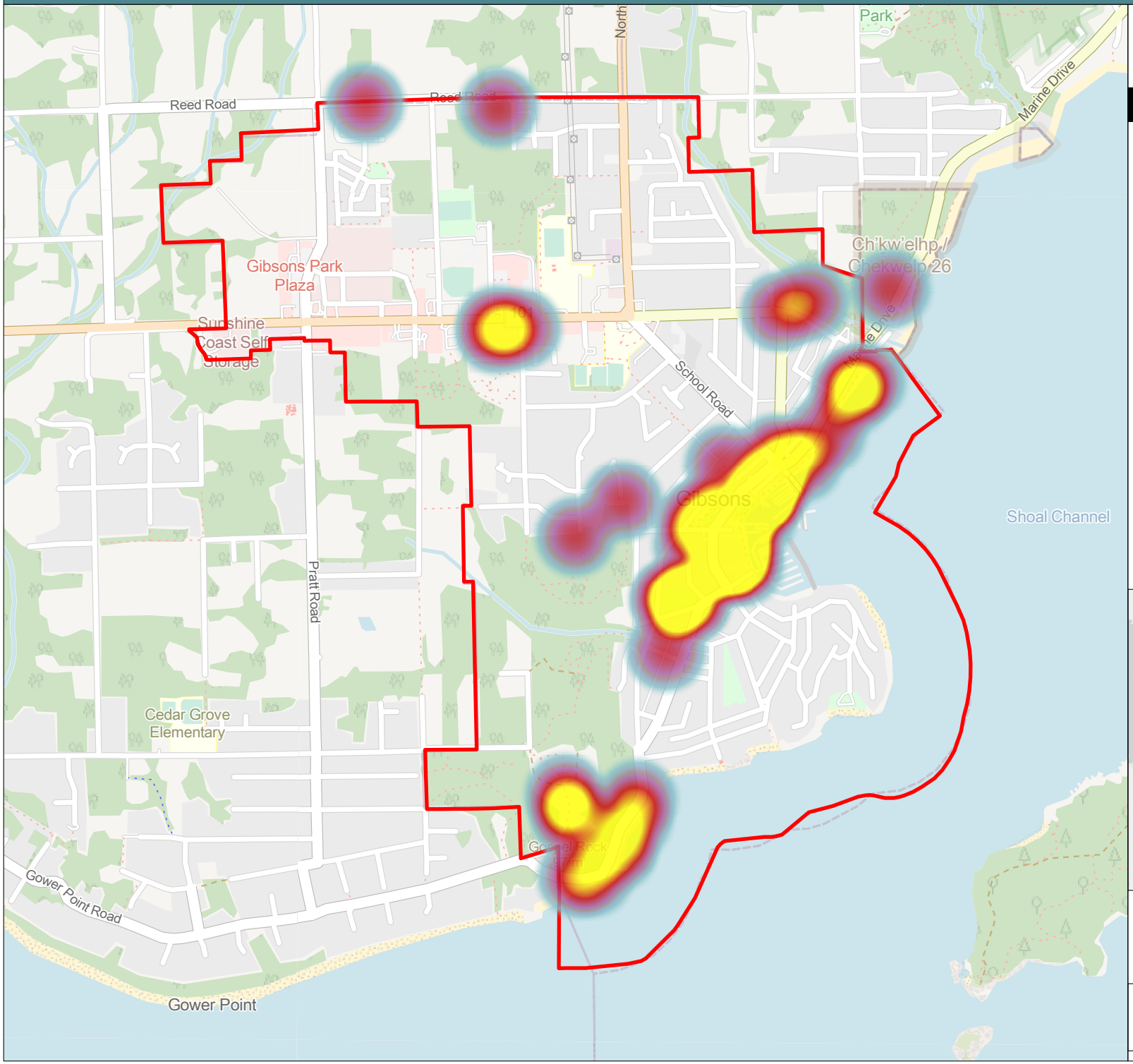
McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

General Public

Needs Care

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri, Esri Canada, Esri, TomTom, Garmin, FAO, NOAA, USGS, EPA, NPS, NRCan, Parks Canada

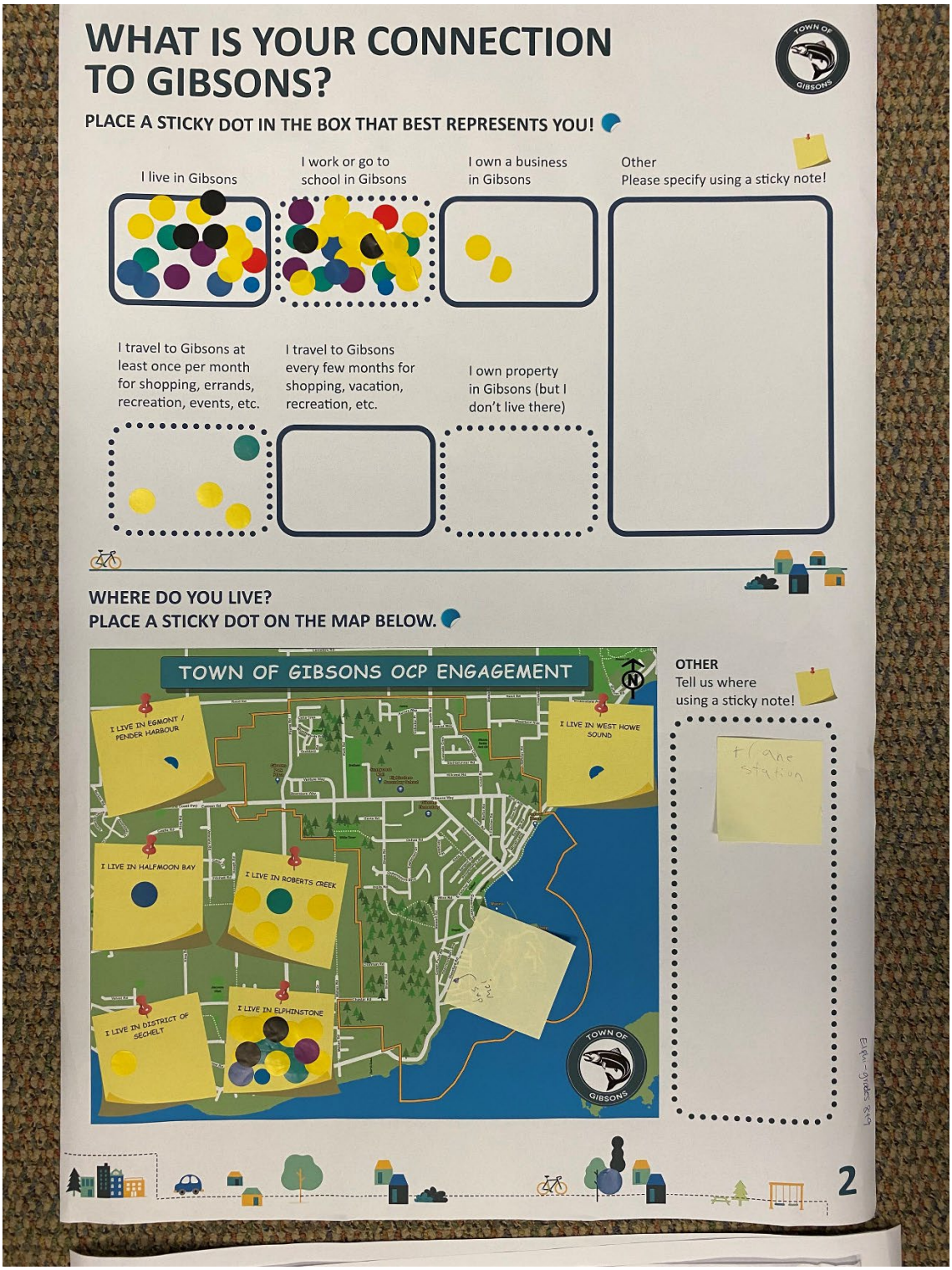
Folder: X:\2111\Projects\2111-06943-00 ToG - OCP and Zoning Bylaw\06_GIS\02_ArcPro_Project\Crowdsourcel

APPENDIX B – High School

Display Board and Map Responses – High School Students

Popup engagement event at Elphinstone Secondary on October 24th from 12:45pm to 3:00pm

1. **Grade 8 and 9 Class**



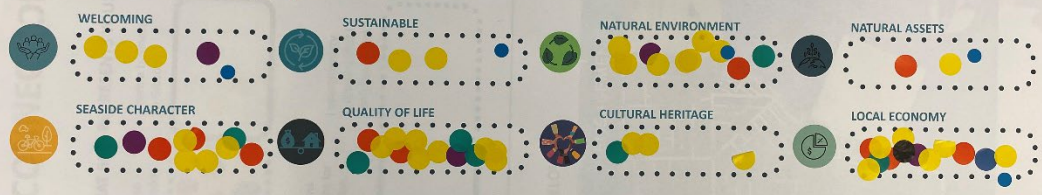
COMMUNITY VISIONING

Eight - Grades 8+9

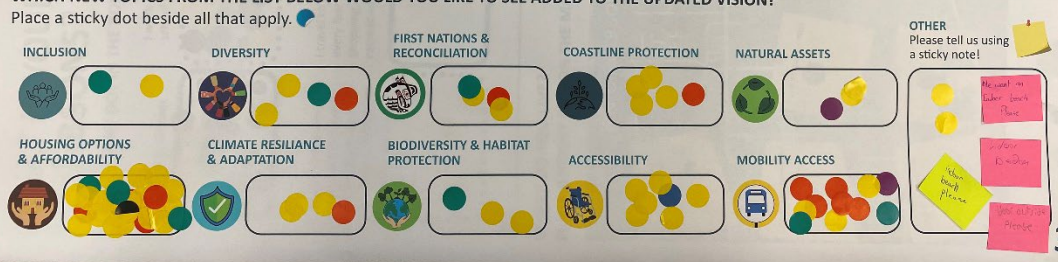
THE CURRENT OCP HAS THE FOLLOWING VISION FOR GIBSONS:

> *"Gibsons will continue to be a welcoming, sustainable community that offers residents and visitors an outstanding quality of life in a spectacular natural environment. We will ensure this beautiful town retains its seaside village character for the enjoyment of all and we will nurture our unique cultural heritage and natural assets while supporting opportunities for our local economy."*

WHICH TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE KEPT IN THE UPDATED OCP VISION?
Place a sticky dot beside all that apply.



WHICH NEW TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE ADDED TO THE UPDATED VISION?
Place a sticky dot beside all that apply.



Eight - Grades 8+9

HOW SHOULD GIBSONS CREATE MORE HOUSING?

The 2024 Housing Needs Report found that since 2017, the cost of homeownership has increased by approximately 214% and monthly rents have increased by approximately 26%, while household median incomes have only increased by 21%.
The Housing Needs Report found that:

1,057 new homes are needed by 2041

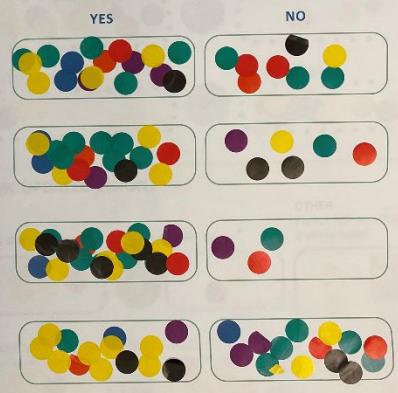
ONE WAY TO MEET HOUSING NEEDS IS TO USE THE RECOMMENDATIONS OF THE RESIDENTS ASSEMBLY. DO YOU SUPPORT THE RECOMMENDATIONS?
Place a sticky dot in the yes / no column based on your opinions.

More Housing Types
Housing densification should be supported throughout the Town of Gibsons, with a variety of densities each having a role to play in achieving the Town's housing needs.

Taller, Not Wider Homes
To meet the Small Scale Multi-Unit Housing legislation of 3 to 5 dwelling units on single detached lot, I support increasing building height, so that we can maintain permeability (recharging the aquifer and/or reducing stormwater runoff) and retain space for trees and landscaped yards.

Apartments Close to Shops and Services
Residential densities of six storeys or more should be allowed where there is access to services to achieve connected communities and financially viable forms housing for families, aging-in-place, workforce housing, and accessible housing.

Apartments Above Public Buildings
Opportunities should be explored to allow housing, above new public buildings such as libraries, community centers, religious worship buildings, fire halls, etc.



WHAT DOES GIBSONS' "SEASIDE VILLAGE CHARACTER" MEAN TO YOU?

THE CURRENT OCP STATES:

"We will ensure this beautiful town retains its seaside village character..."

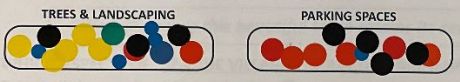
WHICH ASPECTS OF "SEASIDE VILLAGE CHARACTER" ARE IMPORTANT TO GIBSONS?

Select all that apply with a sticky dot.

TRADEOFFS AND LAND USE

AS GIBSONS GROWS, WHICH FEATURE IS MORE IMPORTANT TO PROVIDE WITH HOUSING?

Select one of the following using a sticky dot.

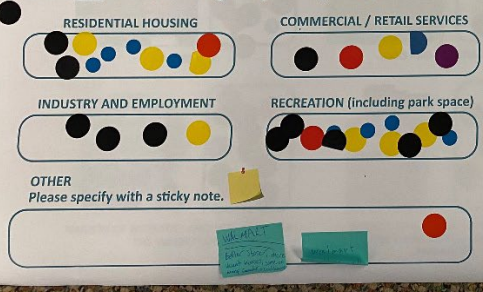


AS GIBSONS GROWS, WHICH NATURAL ASSETS WOULD YOU PRIORITIZE MOST?

Select three of the following using sticky dots.

WHAT SHOULD BE THE HIGHEST PRIORITY FOR FUTURE GROWTH AND DEVELOPMENT IN GIBSONS?

Select one of the following using a sticky dot.



2. Grade 10 Class

COMMUNITY VISIONING

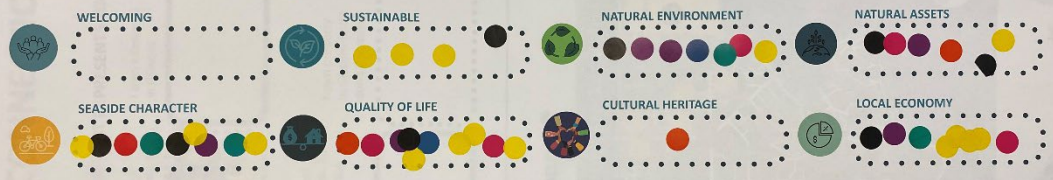
Grade 10

THE CURRENT OCP HAS THE FOLLOWING VISION FOR GIBSONS:

> *"Gibsons will continue to be a welcoming, sustainable community that offers residents and visitors an outstanding quality of life in a spectacular natural environment. We will ensure this beautiful town retains its seaside village character for the enjoyment of all and we will nurture our unique cultural heritage and natural assets while supporting opportunities for our local economy."*

WHICH TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE KEPT IN THE UPDATED OCP VISION?

Place a sticky dot beside all that apply.



WHICH NEW TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE ADDED TO THE UPDATED VISION?

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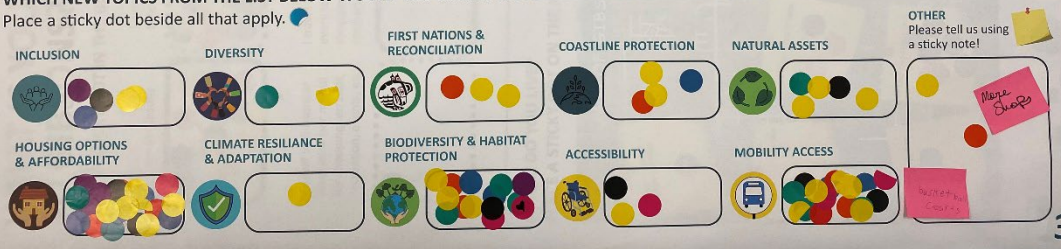

HOW SHOULD GIBSONS CREATE MORE HOUSING?

Grade 10

The 2024 Housing Needs Report found that since 2017, the cost of homeownership has increased by approximately 214% and monthly rents have increased by approximately 26%, while household median incomes have only increased by 21%. The Housing Needs Report found that:

1,057 new homes are needed by 2041

ONE WAY TO MEET HOUSING NEEDS IS TO USE THE RECOMMENDATIONS OF THE RESIDENTS ASSEMBLY. DO YOU SUPPORT THE RECOMMENDATIONS?

Place a sticky dot in the yes / no column based on your opinions.

YES

More Housing Types
Housing densification should be supported throughout the Town of Gibsons, with a variety of densities each having a role to play in achieving the Town's housing needs.

Taller, Not Wider Homes
To meet the Small Scale Multi-Unit Housing legislation of 3 to 5 dwelling units on single detached lot, I support increasing building height, so that we can maintain permeability (recharging the aquifer and/or reducing stormwater runoff) and retain space for trees and landscaped yards.

Apartments Close to Shops and Services
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Apartments Above Public Buildings
Opportunities should be explored to allow housing, above new public buildings such as libraries, community centers, religious worship buildings, fire halls, etc.

WHAT DOES GIBSONS' "SEASIDE VILLAGE CHARACTER" MEAN TO YOU?

Grade 10

THE CURRENT OCP STATES:

"We will ensure this beautiful town retains its seaside village character..."

WHICH ASPECTS OF "SEASIDE VILLAGE CHARACTER" ARE IMPORTANT TO GIBSONS?

Select all that apply with a sticky dot.

TRADEOFFS AND LAND USE

Grade 10

AS GIBSONS GROWS, WHICH FEATURE IS MORE IMPORTANT TO PROVIDE WITH HOUSING?

Select one of the following using a sticky dot.

AS GIBSONS GROWS, WHICH NATURAL ASSETS WOULD YOU PRIORITIZE MOST?

Select three of the following using sticky dots.

WHAT SHOULD BE THE HIGHEST PRIORITY FOR FUTURE GROWTH AND DEVELOPMENT IN GIBSONS?

Select one of the following using a sticky dot.

3. Grade 12 Class

COMMUNITY VISIONING

THE CURRENT OCP HAS THE FOLLOWING VISION FOR GIBSONS:

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WHICH TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE KEPT IN THE UPDATED OCP VISION?

Place a sticky dot beside all that apply.

WELCOMING

SUSTAINABLE

NATURAL ENVIRONMENT

NATURAL ASSETS

SEASIDE CHARACTER

QUALITY OF LIFE

CULTURAL HERITAGE

LOCAL ECONOMY

WHICH NEW TOPICS FROM THE LIST BELOW WOULD YOU LIKE TO SEE ADDED TO THE UPDATED VISION?

Place a sticky dot beside all that apply.

INCLUSION

DIVERSITY

FIRST NATIONS & RECONCILIATION

COASTLINE PROTECTION

NATURAL ASSETS

OTHER
Please tell us using a sticky note!

HOUSING OPTIONS & AFFORDABILITY

CLIMATE RESILIANCE & ADAPTATION

BIODIVERSITY & HABITAT PROTECTION

ACCESSIBILITY

MOBILITY ACCESS

3

HOW SHOULD GIBSONS CREATE MORE HOUSING?

The 2024 Housing Needs Report found that since 2017, the cost of homeownership has increased by approximately 214% and monthly rents have increased by approximately 26%, while household median incomes have only increased by 21%. The Housing Needs Report found that:

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YES NO

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THE CURRENT OCP STATES:

"We will ensure this beautiful town retains its seaside village character..."

WHICH ASPECTS OF "SEASIDE VILLAGE CHARACTER" ARE IMPORTANT TO GIBSONS?

Select all that apply with a sticky dot.

BUILDING DESIGN ELEMENTS

VIEWS OF THE OCEAN

MAINTAINING HISTORIC ARCHITECTURE

VARIETY OF RESTAURANTS AND SHOPS

WALKABILITY

PIERS AND MARINAS

COMMUNITY EVENTS

OTHER
Tell us using a sticky note!

VARIETY OF ACTIVITIES AND SERVICES NEAR THE WATERFRONT

VARIETY OF HOUSING TYPES PUTTING PEOPLE CLOSE TO THE WATERFRONT AND SHOPS

PUBLICLY ACCESSIBLE WATERFRONT SPACES

8

TRADEOFFS AND LAND USE

AS GIBSONS GROWS, WHICH FEATURE IS MORE IMPORTANT TO PROVIDE WITH HOUSING?

Select one of the following using a sticky dot.

TREES & LANDSCAPING

PARKING SPACES

AS GIBSONS GROWS, WHICH NATURAL ASSETS WOULD YOU PRIORITIZE MOST?

Select three of the following using sticky dots.

AQUIFER 560 (ground water quality)

TREES

ABSORBING RAINWATER TO REDUCE FLOODING

NATURAL FEATURES (natural coastline)

WILDLIFE HABITAT

OTHER
Please specify with a sticky note.

WHAT SHOULD BE THE HIGHEST PRIORITY FOR FUTURE GROWTH AND DEVELOPMENT IN GIBSONS?

Select one of the following using a sticky dot.

RESIDENTIAL HOUSING

COMMERCIAL / RETAIL SERVICES

NO GROWTH

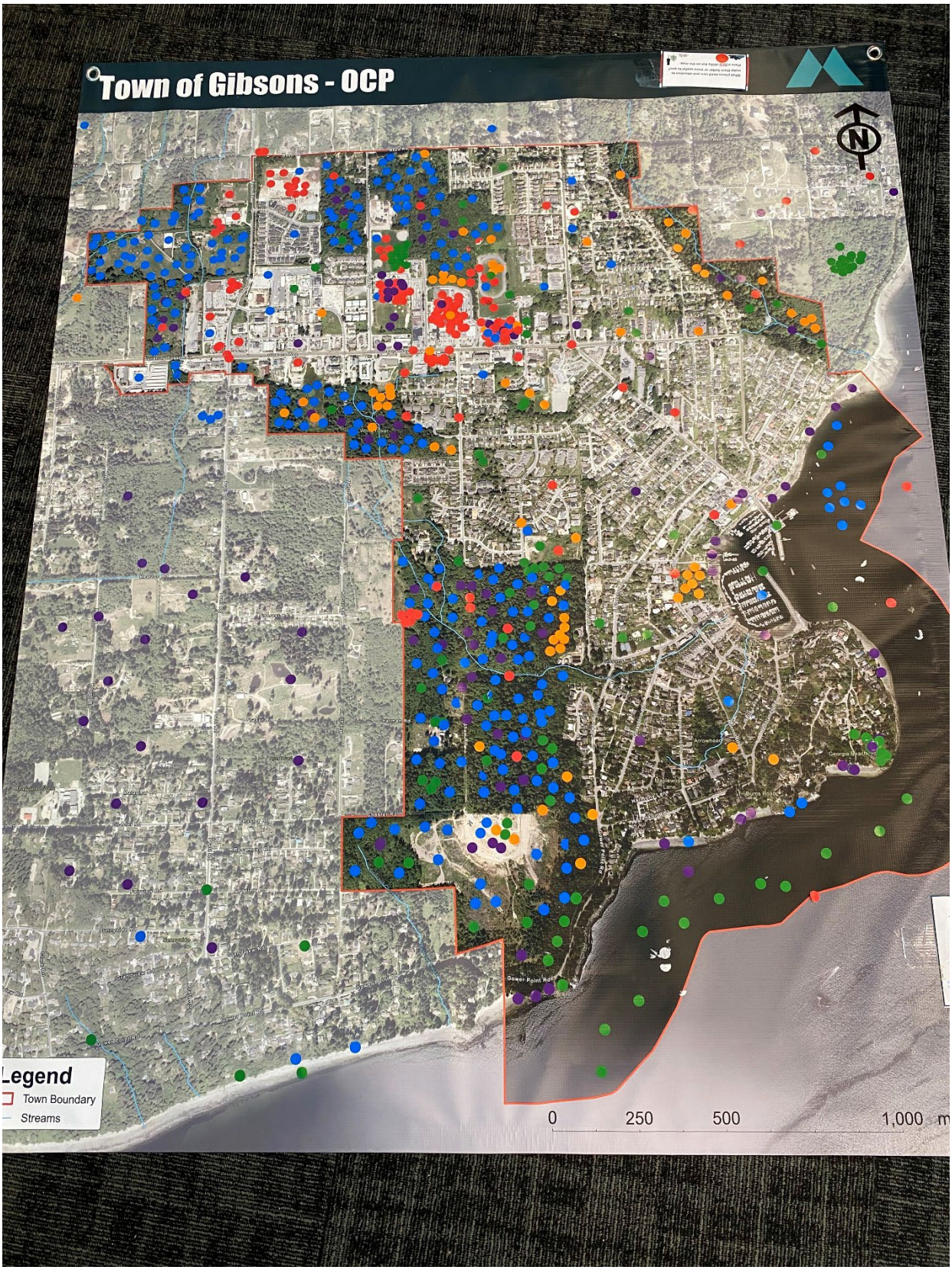
INDUSTRY AND EMPLOYMENT

RECREATION (including park space)

OTHER
Please specify with a sticky note.

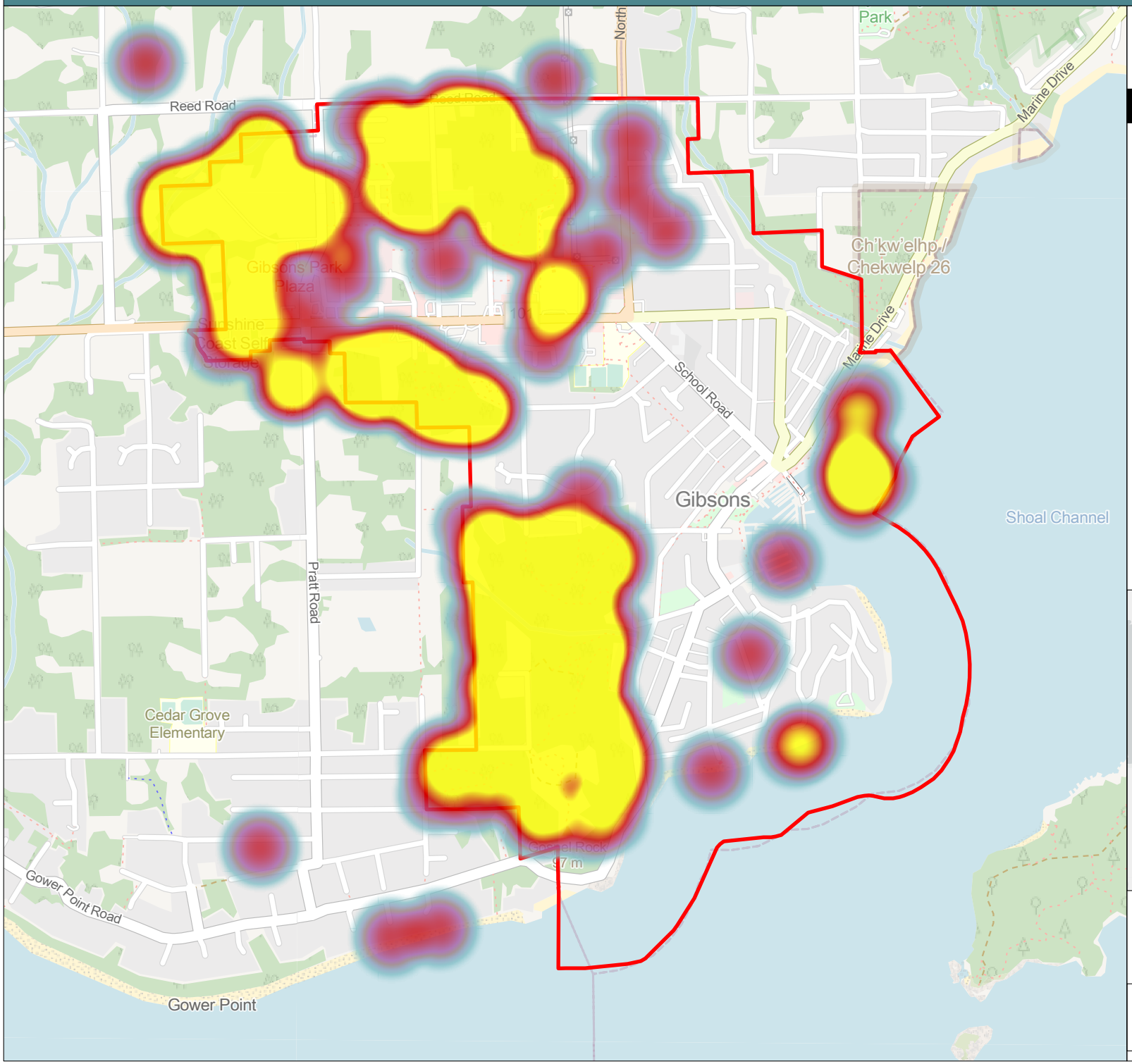
9

4. Mapping Activity



McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

High School

Focus Growth

Sparse

Dense

Town Boundary

1:20,000

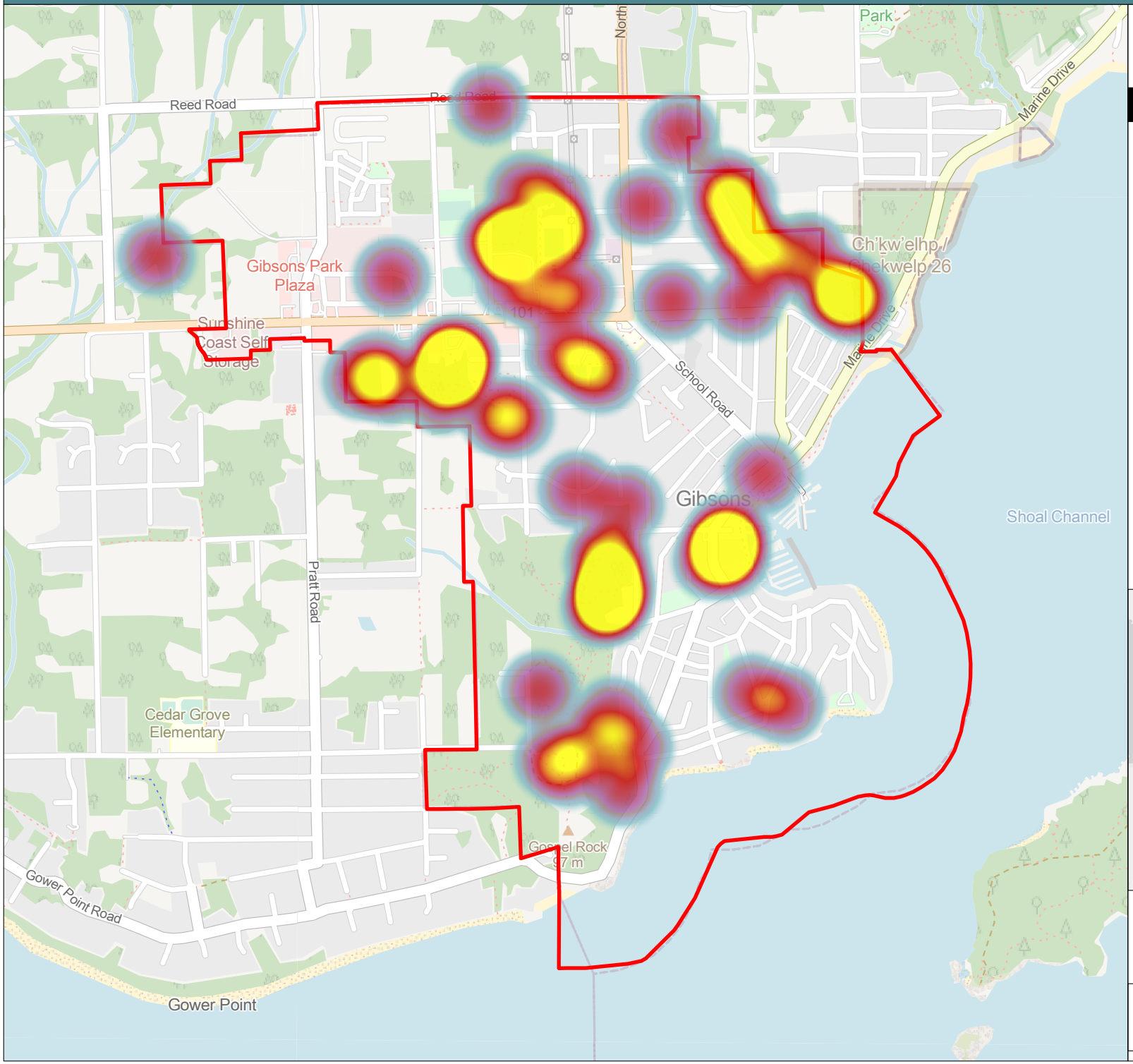
0 250 500 m

N

Folder: X:\2111\Projects\2111-06943-00 ToG - OCP and Zoning Bylaw\06_GIS\02_ArcPro_Project\Crowdsourced

McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

High School

4-6 Storey Apartments

Sparse

Dense

Town Boundary

1:20,000

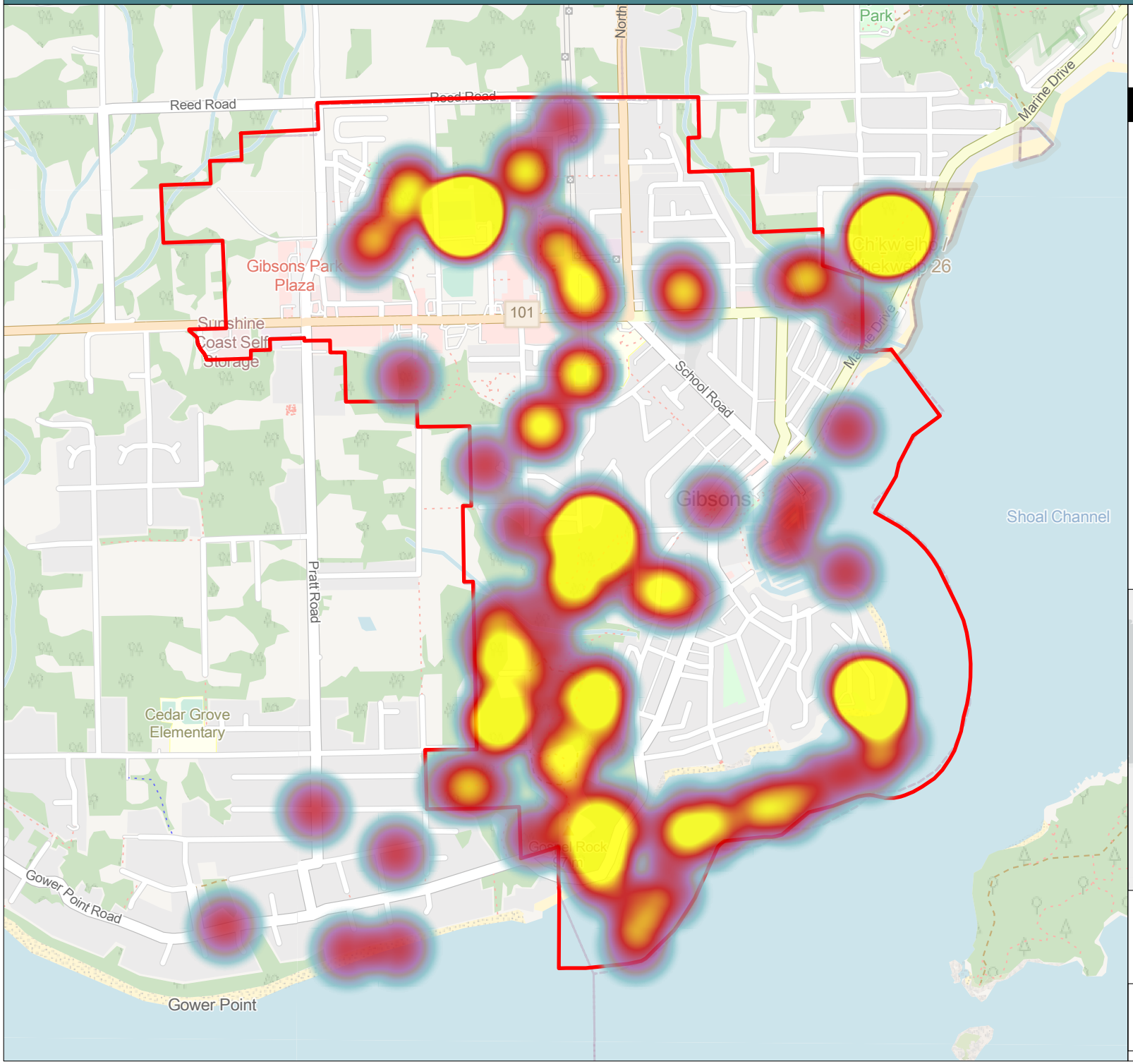
0 250 500 m

N

Folder: X:\2111\Projects\2111-06943-00 ToG - OCP and Zoning Bylaw\06_GIS\02_ArcPro_Project\Crowdsourcing

McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

High School

New Recreation Feature

Sparse

Dense

Town Boundary

1:20,000

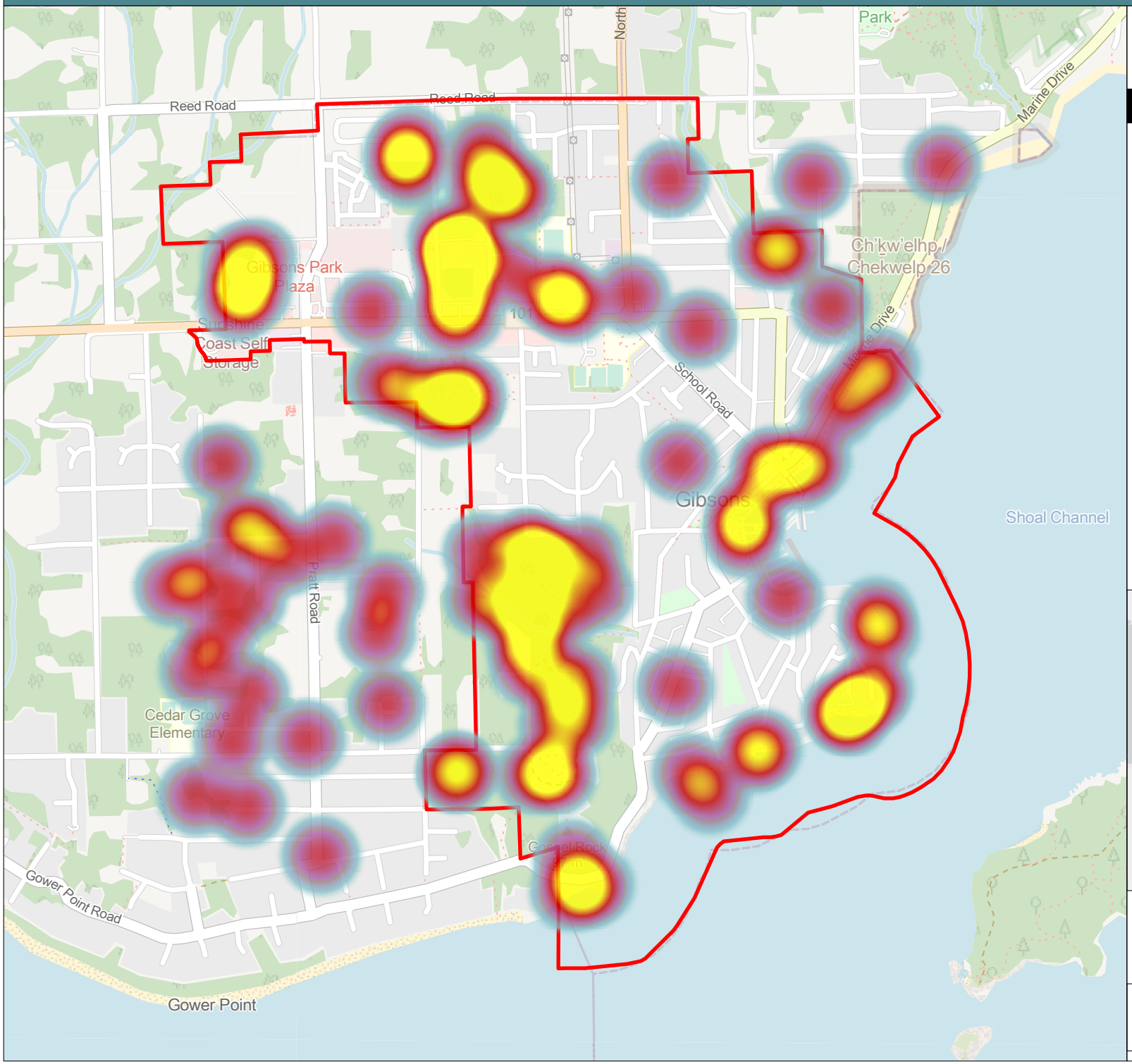
0 250 500 m

N

Folder: X:\2111\Projects\2111-06943-00 ToG - OCP and Zoning Bylaw\06_GIS\02_ArcPro_Project\Crowdsourcel

McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

High School

Preserve or Protect

Sparse

Dense

Town Boundary

1:20,000

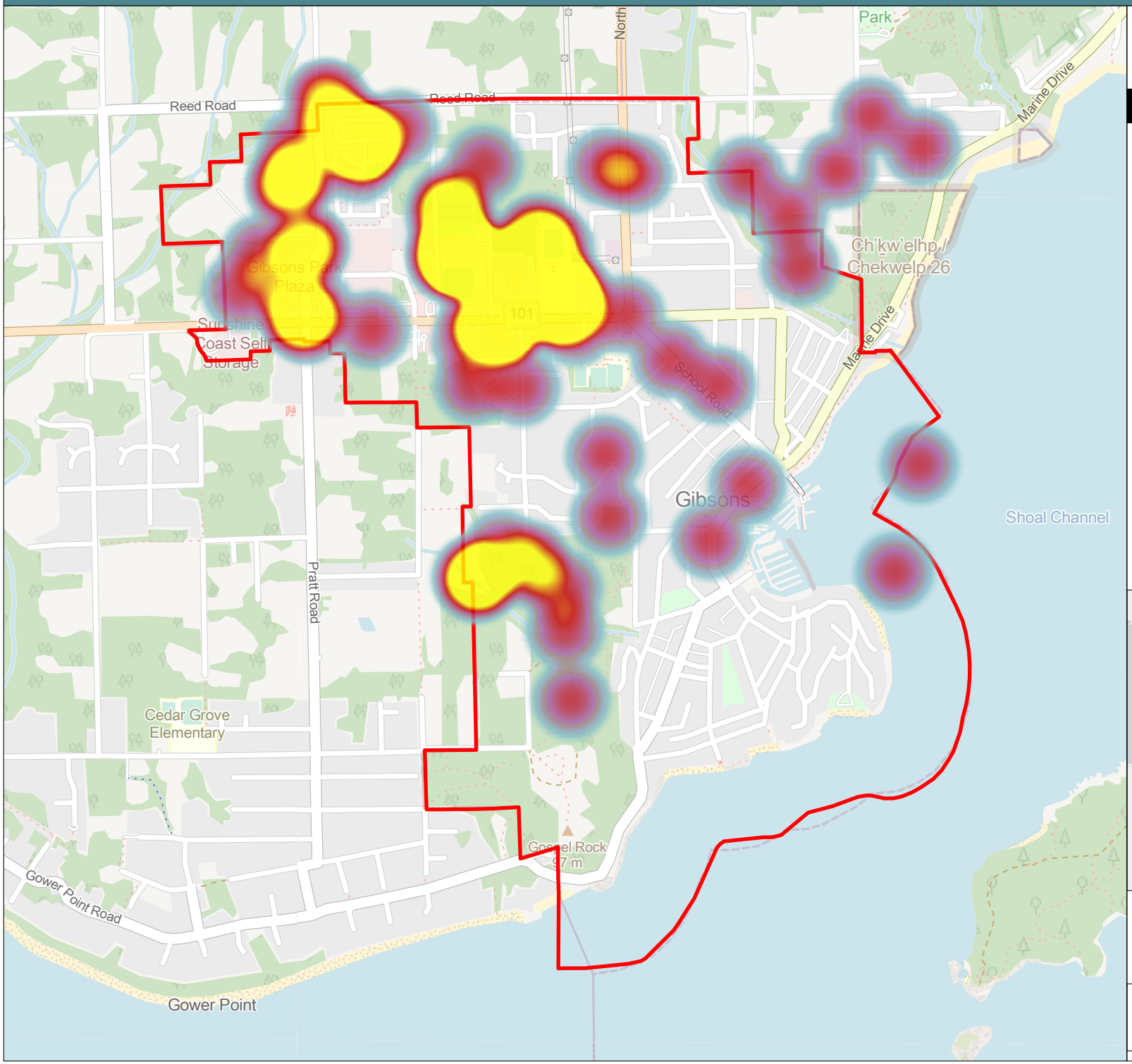
0 250 500 m

N

Folder: X:\2111\Projects\2111-06943-00 ToG - OCP and Zoning Bylaw\06_GIS\02_ArcPro_Project\Crowdsourced

McElhanney

Town of Gibsons
Public Engagement Mapping



LEGEND

High School

Needs Care

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

Folder: X:\2111\Projects\2111-06943-00 ToG - OCP and Zoning Bylaw\08_GIS\02_ArcPro_Project\Crowdsourcel

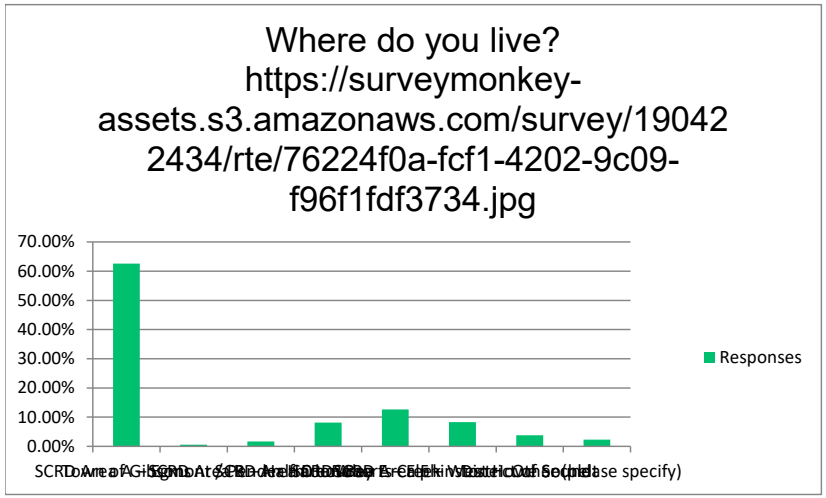
APPENDIX C – Online Survey

Online Survey Responses – Raw Data

Phase 1 Engagement Survey - Gibsons OCP Update

Where do you live? https://surveymonkey-assets.s3.amazonaws.com/survey/190422434/rte/76224f0a-fcf1-4202-9c09-f96f1fdf3734.jpg

Answer Choices	Responses	
Town of Gibsons	62.57%	331
SCRD Area A – Egmont / Pender Harbour	0.57%	3
SCRD Area B – Halfmoon Bay	1.70%	9
SCRD Area D – Roberts Creek	8.13%	43
SCRD Area E – Elphinstone	12.67%	67
SCRD Area F – West Howe Sound	8.32%	44
District of Sechelt	3.78%	20
Other (please specify)	2.27%	12
	Answered	**529**
	Skipped	**0**

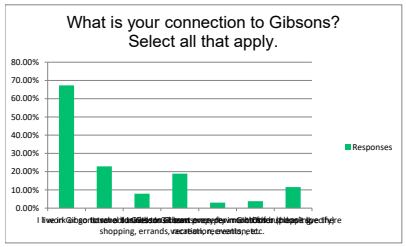


Respondent ID	Response Date	Other (please specify)
110017514786	Nov 15 2024 07:56 AM	Gibsons/Elphinstone border
110017492873	Nov 13 2024 09:24 AM	Squamish
110017486647	Nov 12 2024 03:57 PM	Halfmoon Bay
110017476443	Nov 11 2024 07:39 PM	SRD area c
110017438311	Nov 06 2024 09:09 PM	tuwanek
110017420688	Nov 05 2024 09:19 AM	Squamish Nation- Rights and Title
110017387472	Oct 31 2024 03:56 PM	Langdale
110017373387	Oct 30 2024 08:36 AM	Bowen Island
110017369353	Oct 30 2024 06:02 AM	Vancouver
110017367185	Oct 29 2024 03:47 PM	BC
110017357191	Oct 28 2024 09:49 PM	Sechelt First Nation
110017332039	Oct 25 2024 09:59 AM	Vancouver

Phase 1 Engagement Survey - Gibsons OCP Update

What is your connection to Gibsons? Select all that apply.

Answer Choices		Responses
I live in Gibsons	67.30%	356
I work or go to school in Gibsons	22.87%	121
I own a business in Gibsons	7.94%	42
I travel to Gibsons at least once per month for shopping, errands, recreation, events, etc.	18.90%	100
I travel to Gibsons every few months for shopping, vacation, recreation, etc.	3.02%	16
I own property in Gibsons but don't live there	3.78%	20
Other (please specify)	11.53%	61
Answered		**529**
Skipped		**0**

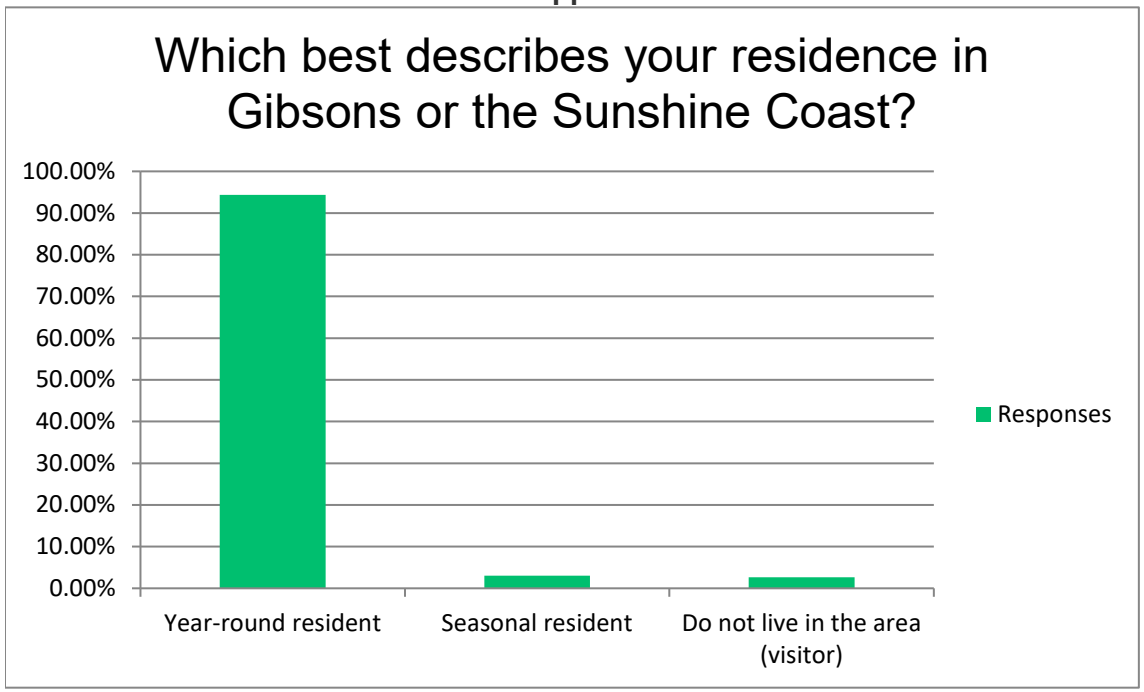


Respondent ID	Response Date	Other (please specify)
110017519903	Nov 15 2024 02:36 PM	VCH work that includes health protection/public health for Gibsons
110017514786	Nov 15 2024 07:56 AM	Live in Gibsons/Elphinstone border
110017512208	Nov 14 2024 07:33 PM	Part time as I also have a home in Vancouver
110017512178	Nov 14 2024 07:26 PM	I own property in Gibsons
110017511706	Nov 14 2024 06:01 PM	Live and am retired here in Gibsons
110017510310	Nov 14 2024 03:07 PM	I plan to move to Gibsons in the next 2 years, I visit Gibsons to shop 2 times per week.
110017509674	Nov 14 2024 02:21 PM	Recreate, shop and conduct business in Gibsons multiple times per week
110017500793	Nov 13 2024 07:03 PM	Live in granthams
110017492873	Nov 13 2024 09:24 AM	I used to live in Gibsons & will be moving back
110017488711	Nov 12 2024 10:36 PM	Live in Roberts creek
110017488478	Nov 12 2024 08:57 PM	My kids do activities and I do all my shopping and town stuff in Gibsons
110017483416	Nov 12 2024 11:40 AM	Used to live here and miss it!
110017482180	Nov 12 2024 10:26 AM	My connection is having a holistic view of the lower Sunshine Coast, and desire for a more connected approach to protecting our watersheds, sensitive ecosystems and identifying areas for growth.
110017476443	Nov 11 2024 07:39 PM	we are also engaged in an OCP and I'm researching your process!
110017464124	Nov 10 2024 01:39 AM	Lived there for 17 yrs
110017457298	Nov 08 2024 04:58 PM	I own my home in Gibsons. I am a retired mental health worker.
110017457969	Nov 08 2024 04:01 PM	I also utilize the surrounding landscape for recreation and mental health, and I care deeply about the Salish Sea.
110017446410	Nov 07 2024 01:21 PM	access to gyms, school, groceries
110017441228	Nov 07 2024 08:05 AM	shop and play in Gibsons
110017432868	Nov 06 2024 12:02 PM	I travel to Gibsons almost every day for business or recreation.
110017427606	Nov 05 2024 09:10 PM	I travel several times a week for shopping, events, etc
110017420688	Nov 05 2024 09:19 AM	It is on Squamish territory
110017395570	Nov 01 2024 09:37 PM	Hockey twice weekly etc.
110017387472	Oct 31 2024 03:56 PM	I go to Gibsons on most days
110017387394	Oct 31 2024 03:43 PM	I do most of my grocery shopping, recycling, gym recreation, other shopping etc in Gibsons,
110017378482	Oct 30 2024 03:23 PM	I live in Roberts Creek, My business and social interest is in Gibsons
110017378331	Oct 30 2024 03:07 PM	I play hockey in gibsons every week (SOMETIMES TWICE)
110017374867	Oct 30 2024 10:27 AM	I walk, cycle and shop in Gibsons several times per week.
110017373583	Oct 30 2024 08:51 AM	I live in Area E but conduct all my personal business and shopping needs, as well as social life, in Gibsons proper.
110017369898	Oct 29 2024 09:46 PM	I own a home in Heritage Hill
110017369700	Oct 29 2024 09:09 PM	I am raising my family in Gibsons
110017369603	Oct 29 2024 08:50 PM	I go to Gibsons almost every day to shop.
110017369536	Oct 29 2024 08:47 PM	I live in Elphinstone and go to Gibsons for everything. Sometimes daily.
110017369370	Oct 29 2024 08:07 PM	In a relationship with a town of gibsons resident
110017369173	Oct 29 2024 07:37 PM	I own property in Gibsons and live there part time, when I am not traveling
110017369003	Oct 29 2024 07:15 PM	I have a home-based business
110017368696	Oct 29 2024 06:25 PM	I shop weekly and attend events.
110017368345	Oct 29 2024 05:32 PM	I work part time in Gibsons and part time in Vancouver so need the ferry very often
110017367675	Oct 29 2024 04:31 PM	I live/own property in Langdale and pass through Gibsons daily for errands and on my way to work in Sechelt
110017367658	Oct 29 2024 04:30 PM	Visit,shop, volunteer daily.
110017367625	Oct 29 2024 04:27 PM	We plan on living in Gibsons for our retirement in 4 years
110017367622	Oct 29 2024 04:27 PM	Shopping
110017367384	Oct 29 2024 04:04 PM	I was brought up in the town
110017367185	Oct 29 2024 03:47 PM	Planning a move
110017367080	Oct 29 2024 03:39 PM	My address is in Gibsons, but it's really in Area E
110017366985	Oct 29 2024 03:37 PM	use green waste & recycling facilities, transit to & from ferry, health care facilities,
110017357449	Oct 28 2024 11:32 PM	Biking, restaurants, shopping every week
110017357045	Oct 28 2024 09:35 PM	I'm in Gibsons every week for library, shopping and youth sports.
110017357114	Oct 28 2024 09:27 PM	Im in Gibsons every day to run errands or do fun things.
110017357093	Oct 28 2024 09:21 PM	I am in Gibsons every day
110017355807	Oct 28 2024 05:43 PM	Go to gibsons ride ride mountain bikes and use the skatepark regularly and go to restraints/brewery's in the area.
110017355563	Oct 28 2024 05:15 PM	Gibsons is the voice of community because Langdale doesn't have a community, or doesn't know that it doesn't get together, ever.
110017355457	Oct 28 2024 05:01 PM	Ride mtb
110017355063	Oct 28 2024 04:22 PM	Kids go to school in gibsons
110017350334	Oct 28 2024 10:48 AM	My business is run out of my house
110017349202	Oct 28 2024 09:31 AM	I plan to move to Gibsons in 2025
110017337238	Oct 25 2024 06:30 PM	I work for the Town of Gibsons
110017333427	Oct 25 2024 11:36 AM	shop and eat weekly
110017326689	Oct 24 2024 10:37 PM	While I live in Elphinstone area I would always say I live in Gibsons and visit daily to access shopping/recreation/other amenities. My daughter also goes to daycare in Gibsons.
110017326009	Oct 24 2024 07:34 PM	Travel to gibsons daily for services
110017300067	Oct 22 2024 04:54 PM	I am currently developing a rental housing project in Gibsons.

Phase 1 Engagement Survey - Gibsons OCP Update

Which best describes your residence in Gibsons or the Sunshine Coast?

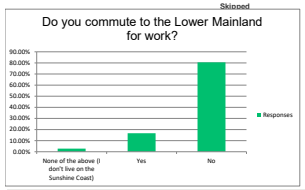
Answer Choices	Responses	
Year-round resident	94.33%	499
Seasonal resident	3.02%	16
Do not live in the area (visitor)	2.65%	14
	Answered	**529**
	Skipped	**0**



Phase 1 Engagement Survey - Gibsons OCP Update

Do you commute to the Lower Mainland for work?

Answer Choices	Responses	
None of the above (I don't live on the Sunshine Coast)	2.84%	15
Yes	16.64%	88
No	80.53%	426
If yes, how do you commute?		90
Answered		**529**
Skipped		**0**

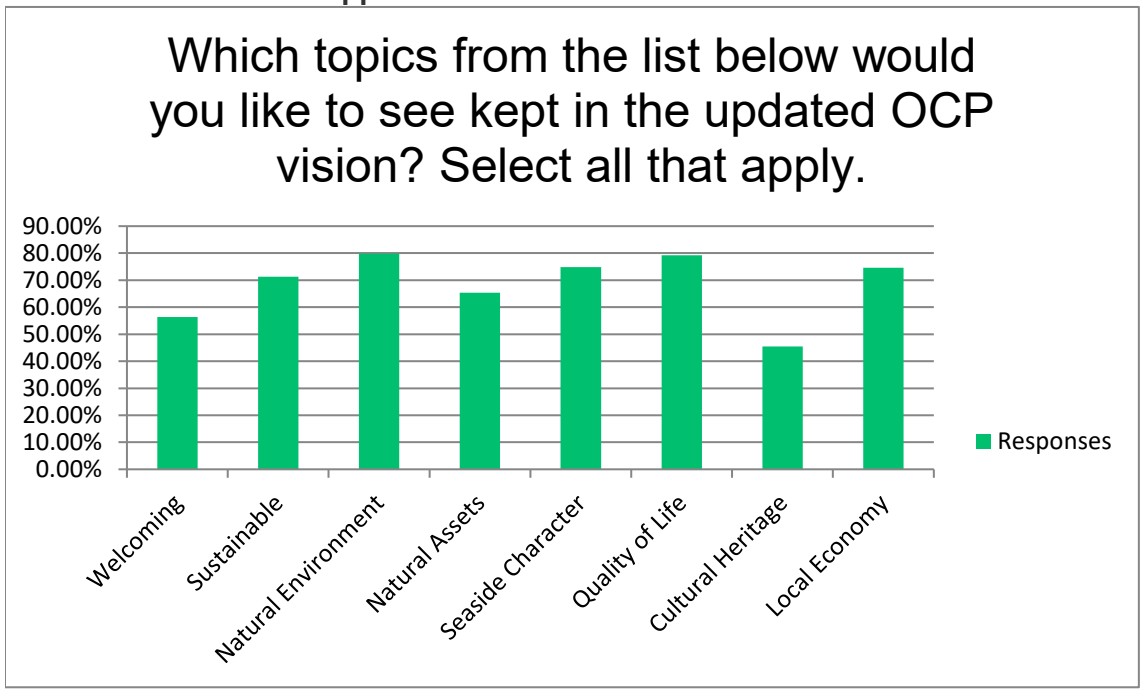


Respondent ID	Response Date	If yes, how do you commute?	Tags
110017520827	Nov 15 2024	0 Occasionally for work-related purposes. However I am mainly based in Gibsons for work	
110017520298	Nov 15 2024	0 bus, boat, sometimes car	
110017520063	Nov 15 2024	0 2 days per week by car to down town and otherwise I work from home	
110017519903	Nov 15 2024	0 Occasionally work-related travel via ferry/car/public transportation may be required for members of our team that reside in Gibsons or other parts of the Sunshine Coast.	
110017519800	Nov 15 2024	0 I use bus and ferry. but only commute about once or twice a month.	
110017519353	Nov 15 2024	0 Sometimes. Not as much as I used to	
110017518781	Nov 15 2024	0 Ferry	
110017515442	Nov 15 2024	0 I drive to the ferry, walk on as a foot passenger, and take the 257 express bus downtown	
110017511436	Nov 15 2024	0 2-3 times per month	
110017512745	Nov 14 2024	1 Ferry	
110017512520	Nov 14 2024	0 Park at Langdale, foot passenger ferry, express bus to downtown.	
110017512075	Nov 14 2024	0 My spouse works part-time in Gibsons and I work full time in Vancouver. We divide our time, living about 60% in Vancouver and 40% in Gibsons	
110017512076	Nov 14 2024	0 Car and sometimes bus	
110017511493	Nov 14 2024	0 Foot or bike	
110017459411	Nov 14 2024	0 Ferry/bus	
110017511190	Nov 14 2024	0 Walk on ferry and then bus 4x a month	
110017511136	Nov 14 2024	0 Ferry	
110017509877	Nov 14 2024	0 Bc ferries, usually on foot.	
110017507999	Nov 14 2024	1 Ferry	
110017507530	Nov 14 2024	1 1 day a week	
110017500990	Nov 13 2024	0 Occasionally	
110017500344	Nov 13 2024	0 The ferry	
110017498596	Nov 13 2024	0 Once every couple of weeks.	
110017497790	Nov 13 2024	0 By ferry twice a week.	
110017492128	Nov 13 2024	0 Ferry	
110017490864	Nov 13 2024	0 I drive and the ferry a few times per month for in person meetings in Vancouver or to use the airport for business travel.	
110017488711	Nov 12 2024	1 Drive	
110017488548	Nov 12 2024	0 Drive	
110017488455	Nov 12 2024	0 Car and ferry	
110017430953	Nov 12 2024	0 Once a week I drive on the ferry to go to Vancouver for the day.	
110017487174	Nov 12 2024	0 occasionally, by ferry	
110017486681	Nov 12 2024	0 BC Ferries, sometime walking and transit, most often taking my car. I work from home about 60% of the time, 40% I have to travel into Vancouver, Victoria or Campbell River	
110017486618	Nov 12 2024	0 Ferry	
110017483683	Nov 12 2024	1 Car	
110017483133	Nov 12 2024	1 By car on BC Ferries (one day per week)	
110017477092	Nov 11 2024	1 Car and Ferry	
110017460589	Nov 09 2024	0 Car/bike and ferry. Once every week or two weeks.	
110017452603	Nov 08 2024	0 ferry and car	
110017452470	Nov 08 2024	0 Ferry	
110017442614	Nov 07 2024	0 B.C.Ferries	
110017442388	Nov 07 2024	0 Drive to ferry and then ferry + transit	
110017442317	Nov 07 2024	0 Ferry and car.	
110017438311	Nov 06 2024	0 ferry	
110017429788	Nov 06 2024	0 Yes but only a few times a year. Via ferry.	
110017425539	Nov 05 2024	0 car, motorcycle, bike, walk, bus	
110017417541	Nov 04 2024	1 Ferry	
110017409805	Nov 04 2024	1 Mix or ferry, bus and car	
110017406395	Nov 04 2024	1 Walk on	
110017399950	Nov 03 2024	0 Via BC Ferries	
110017399382	Nov 02 2024	0 Bus or car and ferry	
110017398295	Nov 02 2024	0 Drive onto ferry	
110017393682	Nov 01 2024	0 We have operations in the lower mainland and Sunshine Coast	
110017378331	Oct 30 2024	0 I commute to PR for work 1/2 time and I work wilson creek 1/2 time	
110017376119	Oct 30 2024	1 I can commute up to four days per week, if necessary.	
110017375391	Oct 30 2024	1 ferry as a walk-on passenger 1-2 days per week	
110017374965	Oct 30 2024	1 Work from home	
110017373398	Oct 30 2024	0 Only sporadically for meetings	
110017372728	Oct 30 2024	0 Occasionally 2-3 times a month. By car and walk on / public transportation	
110017370942	Oct 30 2024	0 Ferry	
110017369994	Oct 29 2024	1 ferry between 1 to 2 times per week	
110017369700	Oct 29 2024	0 I stopped commuting after the pandemic but did for 10 years prior	
110017369709	Oct 29 2024	0 Ferry 1 day a week	
110017369558	Oct 29 2024	0 once a week	
110017369047	Oct 29 2024	0 Ferry/car	
110017369007	Oct 29 2024	0 Occasional trips to buy merchandise for ,y store. Travelling on the ferry .	
110017368872	Oct 29 2024	0 bus to ferry then bus in wintersometimes have a carsometimes use e-bike	
110017368801	Oct 29 2024	0 Ferry	
110017368709	Oct 29 2024	0 Drive or transit	
110017368428	Oct 29 2024	0 2x per week. Park at Langdale and bus to work from HB	
110017368345	Oct 29 2024	0 by vehicle	
110017367904	Oct 29 2024	0 By BC Ferry twice a month	
110017367238	Oct 29 2024	0 2 or 3 times per month	
110017366916	Oct 29 2024	0 I have a seasonal residence in Hopkins Landing and visit Gibson's several times a week.	
110017366783	Oct 29 2024	0 Walk on passenger on the ferry	
110017366772	Oct 29 2024	0 Once a month. Drive	
110017357449	Oct 28 2024	1 Seaplane	
110017357125	Oct 28 2024	0 Ferry, bus, skytrain	
110017357117	Oct 28 2024	0 Motorcycle	
110017357093	Oct 28 2024	0 Car and ferry	
110017356652	Oct 28 2024	0 Transit and ferry 2 days per week	
110017356365	Oct 28 2024	0 Very Infrequently,but use Personal vehicle	
110017356114	Oct 28 2024	0 Once per week	
110017355492	Oct 28 2024	0 Foot passenger on ferry	
110017355228	Oct 28 2024	0 Ferry - once per week	
110017355063	Oct 28 2024	0 Work at home	
110017350334	Oct 28 2024	1 Twice a week, sometimes 3 times a week.	
110017349202	Oct 28 2024	0 I will hopefully work in Gibsons in 2025	
110017347276	Oct 28 2024	0 Drive personal vehicle	
110017338465	Oct 26 2024	0 Ferry	
110017300067	Oct 22 2024	0 Harbour Air and BC Ferries	

Phase 1 Engagement Survey - Gibsons OCP Update

Which topics from the list below would you like to see kept in the updated OCP vision? Select all that apply.

Answer Choices	Responses	
Welcoming	56.33%	249
Sustainable	71.27%	315
Natural Environment	79.86%	353
Natural Assets	65.38%	289
Seaside Character	74.89%	331
Quality of Life	79.19%	350
Cultural Heritage	45.48%	201
Local Economy	74.66%	330
	Answered	**442**
	Skipped	**87**



Phase 1 Engagement Survey - Gibsons OCP Update

Which new topics from the list below would you like added to the updated vision? Select all that apply.

Answer Choices	Responses	
Inclusion	28.08%	125
Diversity	27.38%	121
Risk Reduction and Resilience-Building	41.11%	179
Climate Resilience	41.11%	179
Housing Options and Affordability	45.51%	197
Climate Resilience and Adaptation	60.41%	267
Biodiversity and Habitat Protection	41.11%	179
Accessibility	36.24%	159
Other (please specify)	16.44%	72
Other (please specify)		16
Answered		**442**
Skipped		**[illegible]**

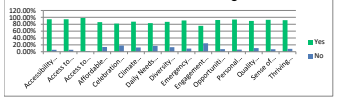
Respondent ID	Response Can	Other (please specify)	Tags
1132751763	Nov 19 1974	Probably already covered off - but usually active transportation corridor from the Sechelt LIP and all the ways to Sechelt	
1132751609	Nov 19 2024	Reasonable assessment	
1132751541	Nov 19 1974	Protection of infrastructure When subsection, what identified when occurs/Why	
1132751540	Nov 19 1974	Protection of infrastructure When subsection, what identified when occurs/Why	
1132751229	Nov 19 2024	More accessible, seniorfriendly (ie: not bike safe)	
1132751060	Nov 19 1974	With, we had a comment and here there was some, identified then was: Wildfires safe, so some, windows should be, resistant to use, methods to use, we feels, from Rates let, Rate	
1132751023	Nov 19 2024	Area for lowcliff	
1132751064	Nov 19 1974	Reasonable	
1132750750	Nov 19 2024	Consider current topics already include many of these suggestions by definition	
1132751347	Nov 19 1974	I would like to have Gibsons be an amenity area rather than A Place to visit and develop work or live! Be a livable area.	
1132751169	Nov 19 2024	All of the above	
1132750977	Nov 19 2024	Sustainability	
1132751011	Nov 19 1974	Sustainability but is one of a market need, unnecessarily included for accessibility and cycle usability.	
1132750703	Nov 19 2024	A public outdoor swimming pool would be an huge asset. One to the coast like Kits area/ new Brighton. Additional amenities for wet days	
1132750974	Nov 19 1974	Income Diversity	
1132750962	Nov 19 2024	Climate Resilient Infrastructure Innovative Housing Models for Affordability	
1132750921	Nov 19 1974	Climate Resilient Infrastructure Innovative Housing Models for Affordability Climate change, Marine, or architectural sensor for rural/non-inundated areas of the community, but shelters/bus/community based on a Salmon or southern/kitchen is multihabit and cultural	
1132750707	Nov 19 2024	Increase the main access to Gibsons - currently there is not enough immersion or permanent access.	
1132750641	Nov 19 1974	Creation/an shared Base of multi-unit/ multi-residential, but then we all work, need work that I care about Perhaps, one that stands out to me that isn't to crazy but is specifically, satisfaction and access to class Rank order	
1132750318	Nov 12 2024	Better recreational stamina launch Sales!	
1132750233	Nov 12 2024	I think the Vision is fine as it is	
1132750227	Nov 12 2024	Gibsons needs to expand its boundaries to connect with the rest of the town Roberts Creek	
1132750203	Nov 12 2024	Gibsons needs to expand its boundaries to create density in non environmentally sensitive areas. this can include long term land leases with the Squamish Nation	
1132750201	Nov 19 1974	Finally, closed development and more scientific, cautious stamina for development	
1132750183	Nov 09 2024	Community Transportation	
1132750181	Nov 09 1974	Identify Place is an amenity of a healthy community. My health, I mean a broad definition that encompasses some of the other Better ideas	
1132750174	Nov 09 1974	Accessibility Diversity	
1132750172	Nov 09 1974	Diversity and Affordability to support increased density	
1132750170	Nov 09 1974	Accessible, multi-unit/affordability	
1132750167	Nov 09 1974	Accessible, multi-unit/affordability, other than the Cleanse build or more on as well as clean up dentist satisfied amenities	
1132750117	Nov 07 1974	Beach reflection, Gibsons Beach Gibsons beach should closely Resemble	
1132752387	Nov 05 2024	For local small lean government to consult with actual experienced business and city stamina individuals to utilize tax revenue from developers instead of some after non-profits	
1132750875	Nov 19 1974	Local food security and consumption focused and promote small scale more	
1132750861	Nov 04 2024	Processes	
1132750574	Oct 31 2024	Inclusion	
1132750573	Oct 31 2024	Continued bus route further up Port Mellon Highway	
1132750332	Oct 31 2024	Lived wealth in lower Gibsons that accommodates seniors infrastructure	
1132750154	Oct 19 1974	All items in questions 9 and 8 are important but they don't necessarily need to be in a vision. Revised deterministic	
1132750158	Oct 30 2024	A healthy economy to allow our children to remain on the coast::	
1132750157	Oct 30 2024	Accessibility and Inclusion	
1132750156	Oct 30 2024	outdoor attention to detail, landscaper skilled	
1132750154	Oct 19 1974	If the selected topics from questions 9 and 8 are satisfied and achieved the Gibson will follow. If a some Gibsons can be achieved to an satisfaction of consultation and assessment. And that is what the land assessment of the and the assessor has administrations has been successful	
1132750465	Oct 30 2024	Traffic management	
1132750447	Oct 30 1974	Natural environment	
1132750437	Oct 30 1974	Active transportation corridor accessible access but within protection access and safety should be some consideration for safer bike routes connection from the ferry to town	
1132752137	Oct 30 2024	I believe that or been must not succumb to the aforementioned practice of "embracing" visions and ends that are not authentically mean. Words are not actions. See examples. 1) No government can unilaterally control macro or even microeconomic reality. No small town's Council can create actual housing affordability (in fact of law or by allocating minor amounts of taxpayers' money to build or subsidize a handful of free-market housing units. Nor can it distribute such showcase resources fairly 2) Nor can any government control what its residents think. Infinite Love and lawful inclusiveness could. I believe to be universal. But I am one human being. Others will believe and behave as they freely choose	
1132750669	Oct 19 1974	Gibsons A community has a consensus of core needs, the not creating a credit accounter (value of properties) remains and inconsistently that Gibsons which is that stable. Remain that Gibsons the local accounter or and the standards of Gibsons remained the of the lowly needs. I ask in class shared accounter we need to look of this kind of diversity to maintain our independence from NPPN, which creates problems that don't match our local needs. So adhesion to Community Foundation but as a lesser scale	
1132750668	Oct 29 2024	For the above additions, I would be subsets of the original vision statement. Natural environment contains biodiversity, habitat and coastline protection. Quality of life contains housing options, inclusion, accessibility, mobility etc. Vision should a high level statement	
1132750666	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect. Or also like to see modified about condition social connections and a sense of belonging	
1132750662	Oct 29 2024	Consistency and transparency	
1132750674	Oct 19 1974	I'd like to see a bad lane, another outlet, because in the coast it's nasty that the lane and, but, a that we can continue to bike further, and hopefully to the ways to connect a direct and Gibsons provision. The town is more Gibsonian climate due to seasonality. It's hard to have Gibsons as a "national" destination, because they can't find places to and and don't and to drive a road or hotel. It's like to see a modified charter as recreational area, in addition to and connected	
1132750657	Oct 29 2024	We need to keep our charm as we move forward. Parking is a a concern and needs to be addressed. Locals are parking lots would be a huge mistake for staff and businesses. Keeping our charm is also are important. hopefully towards all new buildings flow below to hold in their sand chunks. Our last building is an eye sore to the condos it reflects into as well as the businesses. Nothing like a massive red barn in the middle of town	
1132750656	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect. Or also like to see modified about condition social connections and a sense of belonging	
1132750655	Oct 19 1974	What is meant by "healthy sense of"?	
1132750635	Oct 29 2024	I am worried about the waterfront and water runners during heavy rains. I am very concerned about sewage outflow down trees and how that will affect the water flow outflows. I don't want to see catches of trees cut down as there are fewer and fewer trees in abscess. Please decorate parks and overcrowd parks so the lands will not get destroyed	
1132750633	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect. Or also like to see modified about condition social connections and a sense of belonging	
1132750631	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect. Or also like to see modified about condition social connections and a sense of belonging	
1132750780	Oct 29 2024	dedicated multi-use pathways (pedestrian / e-mobility)	
1132750779	Oct 29 2024	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect. Or also like to see modified about condition social connections and a sense of belonging	
1132750778	Oct 29 2024	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect. Or also like to see modified about condition social connections and a sense of belonging	
1132750777	Oct 29 2024	Sustainable transportation options. i.e. safe bike routes that connect to the rest of the coast	
1132750776	Oct 19 1974	Tourist destination	
1132750775	Oct 29 2024	Food embrace future advances in tech that improve community and environment	
1132750773	Oct 29 2024	Please do not ruin the form and character of our town by OVERBUILDING especially in Lower Gibsons along the seawall	
1132750772	Oct 29 2024	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect.	
1132750771	Oct 29 2024	I want the community to remain small without all these new unaffordable new builds. In the next 20 years there will be attrition due to many homeowners transitioning to easier living options which should be taken into account in the town plan	
1132750765	Oct 19 1974	Sustainability safety, that provides generic choice options for all income levels	
1132750763	Oct 29 2024	A deterioration of daily life where the public is devoutness of ancestry that were of a previous history already in place and the ascendance of that ability was its constitution to maintain life using a confused subtle. It does excuse to embroidry and abuse of a said constitution of care	
1132750761	Oct 29 2024	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect.	
1132750083	Oct 29 2024	Outdoor Recreation Infrastructure	
1132750081	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect.	
1132750121	Oct 29 2024	Education on scavenger is a wildlife and habitat importance!	
1132750119	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect.	
1132750116	Oct 19 1974	Healthy Community? Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect.	
1132750088	Oct 29 2024	I would like to see an overall plan to improve the appearance of Gibsons especially lower Gibson's, which simply looks shabby. Perhaps there could be a mandate or action from the town for simple upkeep of property that reflects badly on the first impressions visitors and long-term impressions of residence	
1132750087	Oct 19 1974	Limited to and that Nature, accessible rather than accessibility has since I don't know what that that includes	
1132750089	Oct 24 2024	Growth and amenities sub-opportunities	
1132750088	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect.	
1132752669	Oct 23 2024	Public safety: On-call social worker/mental nurse outreach responder instead of RCMP responding or distress calls	
1132750667	Oct 19 1974	Gibsons Gibsons Gibsons is a community, community, condition about and safe ensure the needs of all ages In order or connect.	

Phase 1 Engagement Survey - Gibsons OCP Update

In early 2024, the Gibsons Residents Assembly was created, and included a diverse group of 25 community volunteers tasked with answering the following question: How can Gibsons best plan for the future and meet the housing needs of our growing population? The Assembly developed 15 core values which were recommended to be used in the new OCP. Do you agree with each of the 15 values?

	Yes		No		Total
Accessibility and Connectivity: Things are built to standards for use	94.34%	417	5.66%	25	442
Access to Health and Wellness Facilities: People have access to g	94.34%	417	5.66%	25	442
Access to and Protection of Nature (water, air, wildlife, soil): It is ea	98.19%	434	1.81%	8	442
Affordable Housing: There is a wide range of housing, some availat	86.20%	381	13.80%	61	442
Celebration of Arts and Culture: Visual and performing arts thrive in	81.90%	362	18.10%	80	442
Climate Action Leadership (reduction of greenhouse gas): People h	87.56%	387	12.44%	55	442
Daily Needs Met Without a Car: There are businesses and amenit	83.03%	367	16.97%	75	442
Diversity and Inclusion: Gibsons attracts and makes a welcoming h	86.88%	384	13.12%	58	442
Emergency Preparedness: Town infrastructure is in place and well	90.95%	402	9.05%	40	442
Engagement with Indigenous Peoples and Reconciliation: Major de	75.34%	333	24.66%	109	442
Opportunities for Socialization and Community Building: The comm	92.31%	408	7.69%	34	442
Personal Safety: It is generally possible to walk around town or be	93.67%	414	6.33%	28	442
Quality Education and Childcare: Kids and young adults have place	89.59%	396	10.41%	46	442
Sense of Community and Neighbourliness: There is a small-town fr	92.76%	410	7.24%	32	442
Thriving Local Businesses: Shops and local enterprises are suppor	91.63%	405	8.37%	37	442
				Answered	**442**
				Skipped	**87**

In early 2024, the Gibsons Residents Assembly was created, and included a diverse group of 25 community volunteers tasked with answering the following question: How can Gibsons best plan for the future and meet the housing needs…



Phase 1 Engagement Survey - Gibsons OCP Update

The current OCP states "We will ensure this beautiful town retains its seaside village character…" Which aspects of "seaside village character" are most important to Gibsons? Select all that apply.

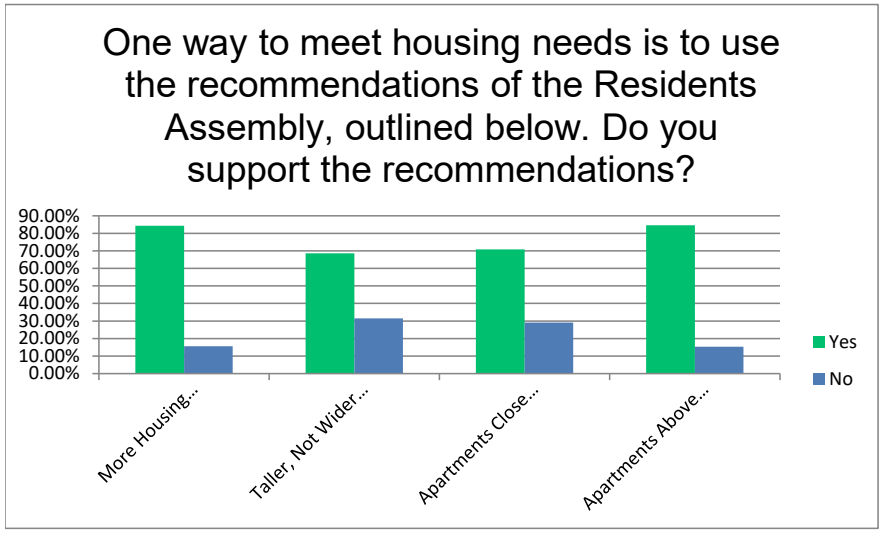
Answer Choices	Responses	
Building design elements	55.88%	247
Views of the ocean	67.42%	298
Maintaining Historic Architecture	44.80%	198
Variety of Restaurants and Shops	56.79%	251
Walkability	85.29%	377
Piers and marinas	72.40%	320
Community Events	46.38%	205
Variety of activities and services near the waterfront	50.23%	222
Variety of housing types putting people close to the waterfront and	33.48%	148
Publicly accessible waterfront spaces	83.71%	370
Other (please specify)		102
	Answered	**442**
	Skipped	**87**

Respondent ID	Response Date	Other (please specify)	Tags
110017520695	Nov 15 2024	healthy, unpolluted seaside where you can swim	
110017520298	Nov 15 2024	Keep building heights to 2-3 stories. Avoid flat roofs, boxy "international" style that plagues everywhere else. Promote (seize public egresses) more interconnectivity for bikes, scooters, motochairs and peds.	
110017520063	Nov 15 2024	Tourist accommodation and convention facilities on the waterfront (The George)	
110017518788	Nov 15 2024	Maintenance and care of downtown buildings. Many are falling apart in need of repair and paint.Core main street retail space should be reserved for shops, restaurants and galleries. Not doctors/dental offices or law offices. These services do nothing to create/build town character/personality/vibe or grow tourism that will help sustain/support local business.	
110017516180	Nov 15 2024	It is impossible to maintain the "Seaside Village Character" with a 120 foot building on the waterfront.The zoning should limit waterfront buildings to 3 stories.	
110017516127	Nov 15 2024	This is an element of OCP of least concern to me.	
110017514786	Nov 15 2024	"Retaining Gibsons' seaside character" is mocked by the new, giant red boxcar-shaped building & its single townhouse for a very rich owner, & by granting permission to build more townhouses for the rich almost on top of the public beach-side paths all along the waterfront. Besides which the design shown in the Coast Rep. looks like something a kid might put together. Only the rich can afford to live by the water, or even have a water view, & your plans for the Gibsons waterfront, including the major complex of a possible future hotel, private marina etc beyond Winegarden Park, will greatly increase the divide between the privileged few & the rest of us. "We will ensure this beautiful town retains its seaside village character" you say? Your words are nice, but to me, your actions are making a mockery of this claim.	
110017514239	Nov 15 2024	Do not develop the Holland Lands; leave the green space over the aquifer	
110017512520	Nov 14 2024	Keep the trees!!!!	
110017512075	Nov 14 2024	A plan to bury the power lines throughout lower Gibsons, improving sight lines and decreasing power outages!	
110017512111	Nov 14 2024	Protection of our aquifer.	
110017511706	Nov 14 2024	Affordable living	
110017511647	Nov 14 2024	More green spaces with shade created by trees, a town square with benches, picnic tables, and space to socialize	
110017511555	Nov 14 2024	Keep gibsons character - don't turn it into a west Van Dundarave sea wall	
110017510750	Nov 14 2024	Replanting when trees are taken down- for protection of coastline. Prevention of soil/land erosion. Trees are needed for a more bio diverse small geographical area that can provide habitat for wildlife and much needed shade for humans. Please stop taking down all of the trees for upscale housing and boutiques!	
110017510701	Nov 14 2024	I am against condo development in lower Gibsons near the shops and docks. Non-tourist development should be thoughtful and in Upper Gibsons. I am not against the ones I marked as NO, just prioritizing to save lower Gibsons from Condos (also not a good tax base).	
110017510517	Nov 14 2024	Don't get too hung up here. It's pretty colonial tbh. Let's instead work on a thriving community for all. Seaside village is good for hallmark but maybe not a single parent or disabled person or whatever. It's cheesy. Let's be a grownup town	
110017507838	Nov 14 2024	Shady areas for the summer around or close to the ocean □	
110017507530	Nov 14 2024	Public outdoor swimming pool	
110017507536	Nov 14 2024	Keep the seaside character as is, quaint and quiet. No large buildings or hotels. Leave as is.	
110017507443	Nov 14 2024	A well maintained, natural landscaped, walkable, clear of garbage, clear of graffiti, abandoned boats and junk, waterfront promenade.	
110017500990	Nov 13 2024	There are currently town easements that lead from Avalon street to the ocean that are overgrown leaving no manageable or safe access to and from the ocean. If you are out for a walk and the tide comes in, your are land locked with rocks on both sides and no way to exit. We learned that the hard way when we first moved to the area and had to find a waterfront home we could cut through to access the street. That is extremely unsafe and unnecessary. Also, two of the easements have been taken over by adjacent properties - one has a hot tub on it and the other a private staircase. There are public access opportunities to throughout Gibsons and beyond its borders yet, for some reason, this strip between the Marina and Georgia beach has no safe access. Last summer, we even saw a man trying to climb the rocks after he obviously got stuck when the tide came in. Would really appreciate looking into this so we all have safe and easy access to but mostly from, the beach as the tides shift.	
110017499438	Nov 13 2024	Grain. As described on the Harbour Area plan.	
110017497790	Nov 13 2024	A walkable Seawall between the public market and the downtown core of Gibsons would be a huge asset. The current derelict properties, construction fencing and crumbling pier adjacent to the walkway are all big detractors. Think of the Vancouver Seawall and how many visitors it attracts.	
110017496838	Nov 13 2024	Highly increased density in both lower and upper Gibsons.More walkways between said density facilitate foot travel between multi-story dwellings.Zoning throughout more Gibsons areas needs to allow for mixed use as single dwelling residences should be phased out in more areas.Maintain and expand the ban on AirBnB.Make it easier to create and maintain hotels in the area.	
110017490864	Nov 13 2024	I think "seaside village character" denotes a very specific colonial aesthetic concept unless Squamish longhouses are the design brief. I would suggest reconsidering this language.	
110017488478	Nov 13 2024	That language seems incredibly outdated and comes from European settler terminology. I think that it should be removed.	
110017430953	Nov 13 2024	the term "seaside village character" has colonial undertones, as it frequently reflects the architectural styles, planning, and cultural influences established by European settlers. When the concept is used in North American or Australian contexts, for instance, it tends to evoke images of quaint fishing towns or coastal villages reminiscent of those in England, France, or other European maritime communities. Alternatively you could consider:1. Use Locally Grounded Names;2. Highlight Connections to Land and Water;3. Use Descriptive Natural Elements;Incorporate ideas of stewardship and connection;4. Work with Indigenous Advisors for Culturally Sensitive Language.	
110017487174	Nov 13 2024	no high rises or high density in lower gibsons	
110017486681	Nov 13 2024	I think traditional seaside village character may need to be balanced with building a town that has climate resiliency. It may not be wise to be building housing/retail within a meter or two of sea level.	
110017482180	Nov 13 2024	The seaside also needs to be protected, and the public should be able to see the measures taken to protect and respect it (re: marine and other pollution, protection of foreshore, etc)	
110017467346	Nov 10 2024	Seaside village character is way too vague of a term. It makes me nervous that a group of 25 volunteers would get to decide what fits this description. Who are these people? What qualifications do they have to decide what happens in our town?	
110017465093	Nov 10 2024	We have a number of public spaces. missing is day care	
110017461833	Nov 09 2024	Patios on sidewalk for dining, having coffee. More places to sit and gather together - Main Street in Vancouver has areas for people to gather together for free at tables, for example. Would like to see Farmer's Markets.	
110017461300	Nov 09 2024	Dog park needed	
110017457969	Nov 08 2024	Preserving and maintaining thriving wild salmon populations in our creeks.	
110017455732	Nov 08 2024	Seaside character does not include high density developments such as apartment buildings and overfill of existing land. Seaside to me means room to breath and space to enjoy the small town character.	
110017454604	Nov 08 2024	Keep buildings over 4 stories in upper Gibsons in order to protect the village feel of lower. Don't allow the waterfront to become overdeveloped as it would affect the quality of life for Gibsons residents who view the waterfront as the commons and dissuade tourists from visiting.	
110017452906	Nov 08 2024	Green spaces near water.	
110017452470	Nov 08 2024	Please please please do not allow tall buildings and those awful huge homes with maximize square footage. They ruin the uniqueness and quaintness of this beautiful place.	
110017450401	Nov 07 2024	Seaside is one thing, old, ratty buildings that will cost a lot of $$$ to update is another.	
110017448788	Nov 07 2024	Variety of housing types putting people close to waterfront and shops doesn't sound like it's written for our wealthy.	
110017446717	Nov 07 2024	Don't build high rises on waterfront like Sechelt has done which blocks the view.	
110017446410	Nov 07 2024	ecological protection, protection from large developments disrupting the natural ecology and bringing in more people from out of town rather than focusing on housing locals. □	
110017442638	Nov 07 2024	Totally avoid the move towards multi-story buildings in lower Gibsons. Too little focus on bringing residents to Gibsons that can afford to pay property taxes. Maintain the lower Gibsons historical character and not redo items such as removing the classic boat or vistor's information center. Very poor decisions by staff and counsel.	
110017438311	Nov 06 2024	no highrises	
110017426467	Nov 05 2024	Supporting maritime industries. □	
110017421118	Nov 05 2024	seaside character is the opposite of congested city character, ie. low rise buildings, green space, walkable, completely open and accessible waterfront and views	
110017420688	Nov 05 2024	restaurants and a grocery store would be great too	
110017409805	Nov 04 2024	Education and awareness around our impact on the oceans (detergent, pesticide use, run off, etc.) and how we can live nearby and support healthy oceans.	
110017406861	Nov 04 2024	"Seaside character" is highly subjective. Embrace colour, avoid large buildings, ensure a waterfront walkway with small businesses	
110017402019	Nov 03 2024	Note: 'seaside village character' is limited considering this is a Town Plan. ie only applicable to a small section of Gibsons. Giving such high importance to this (the past) as a priority feels unbalanced.	
110017399647	Nov 02 2024	More communal spaces with shade to gather	
110017391449	Nov 01 2024	Supporting marine trades and operators	
110017390979	Nov 01 2024	Very clear mapping and signage for visitors, perhaps 'branding' different areas of town like 'marinaside', 'beachside', 'ocean stroll', and 'Lower G Central's' ie encourage visitors to recognize lower G as broader than just the 4 way intersection. Additionally maintaining an update to date tourist map of all eateries so people see all the options. Including a few 'trails' on the public signage and maps ie suggested walking exploration loops that are indicated for different Amts. of time available. Make it so people don't have to self-guide in their phones	
110017390113	Nov 01 2024	Good supply of short term rentals for tourists	
110017387394	Oct 31 2024	Natural landscapes and wetlands on the water for wildlife to thrive and live	
110017386993	Oct 31 2024	Maintaining a scale in development that reflects a village rather than a city (ie - no mass large buildings in lower Gibsons).	
110017384442	Oct 31 2024	Ban semi-trailer deliveries to downtown Gibsons. Delivery vehicles must be able to fir into existing loading zones. With the odd exceptions all roads in Gibsons should be 30 km/hr. maximum. We should do everything possible to wean our society out of large pick-up trucks.	
110017383735	Oct 31 2024	Sea cavalcade	
110017383302	Oct 31 2024	Improving the marine environment	
110017381048	Oct 30 2024	No tourism buses□Limit height of buildings	
110017379068	Oct 30 2024	Include seaside heritage architectural guidelines for new development in the Gibsons Landing area	
110017378076	Oct 30 2024	Lower buildings near shoreline and along hill, higher buildings in Upper Gibsons near commercial areas	
110017375638	Oct 30 2024	Like past topics if the selected are achieved the others will follow. What is missing is the small and sustainable scale to achieve this. E.g., three story condos that push out the vegetation must be excluded. Building footprints and therefore carbon footprints must be dramatically reduced to what developers have recently proposed.	
110017375432	Oct 30 2024	More public access to waterfront	
110017374965	Oct 30 2024	No TALL buildings/condos etc along waterfront or in Lower Gibsons. In a perfect scenerio, no taller than two stories.	
110017374867	Oct 30 2024	Direct from fishers seafood sales	
110017373398	Oct 30 2024	Recognizing that we need to support growth I think the design and architecture of new structures should consider the quaint seaside nature and history of the town. Our businesses rely heavily on tourism and part of that draw is feeling like you are far away from the cities and in a place that feels small and special. We should be careful not to make it look and feel like the waterfront in North Vancouver or Steveston.	
110017372147	Oct 30 2024	Again: do any of our residents genuinely believe that our Council can compel its wishes and visions upon a free people living in a free society within an immensely complex economic and geopolitical construct?	
110017368872	Oct 29 2024	Retaining homes for maritime users - including swimmers, kayakers, paddlers (Gibsons Padding Club), sailors (club), etc.	
110017370089	Oct 29 2024	Keep public transit , so no need to own a car	
110017369689	Oct 29 2024	Building design elements are probably the most important. Keeping building heights a low as possible is key. New developments will always want to build higher to have more apartments with views and therefore increase their financial return but such buildings will quickly change the appearance and "feel" of the Gibsons waterfront area. To judge the appearance of Gibsons it must be viewed from the ocean.	
110017369693	Oct 29 2024	Specifically building design elements that are scaled appropriately...lower heights near the water, taller structures away from the waterfront, but nothing too large!	
110017369173	Oct 29 2024	I'd like to make sure that Gibsons encourages tourists to keep choosing Gibsons as their "getaway". I'd hate to lose that boost to our local economy due to the total absence of vacation rentals. The young families we want to experience Gibsons as a seaside community don't want to stay in a hotel or motel. they was a home experience. Suggest classifying waterfront residential as also a recreation area, to keep that option open. This would not detract from affordable housing and would support local businesses. I love the collection of restaurants we have now and don't want to lose them to seasonality swings. Let's keep weekend tourists year round for them	
110017369007	Oct 29 2024	As a business owner you can not make this area a walking only area. You will kill the lower area as people will not walk up or down the hills to come to us. So we need proper parking for customers and staff.	
110017369046	Oct 29 2024	No high rises that would take away the mountain and ocean view for residents. A cap on building height. Everyone should see the beautiful vistas from everywhere in Gibsons	
110017368728	Oct 29 2024	It is very important that buildings on the waterfront are restricted in their height. The proposed George Hotel is an example of a structure that essentially steals the view from the public and numerous homeowners through its domination of the public space on the waterfront.	
110017368345	Oct 29 2024	we need access to toilets that are properly installed so people can go the beaches and have a clean place to urinate etc.	
110017368150	Oct 29 2024	Car free village during the summer months.	
110017367694	Oct 29 2024	Multi use pathways for accessibility without the need for automobiles	
110017367803	Oct 29 2024	In a seaside village, you should not have multi story building within close proximity to the waterfront.	
110017367799	Oct 29 2024	Wayfinding sign Extending the town Center feeling to the Public Market with lighting , flowering hanging baskets	
110017367622	Oct 29 2024	Safe bike lanes	
110017367458	Oct 29 2024	Pave bike path along the seaside	
110017367185	Oct 29 2024	Quality of design elements extends to interiors as well as facades	
110017367003	Oct 29 2024	Please build RESPONSIBLY....no huge, tall buildings in Lower Gibsons	
110017366876	Oct 29 2024	Keeping the beaches clean for swimming	
110017360168	Oct 29 2024	Well that's a lie because previously you put in protected view corridors and now you are taking those away.	
110017358035	Oct 29 2024	Parking	
110017356911	Oct 28 2024	environmental protection of waterfront, protection of spaces giving easy access to visibility of wildlife	
110017356731	Oct 28 2024	Limit the height of multi dwelling buildings to 2-3 stories and don't approve builds that bring more traffic here without the infrastructure. A hotel could be built in lower Gibsons (ie the George is the design fits more with a seaside town) which will bring visitors year round who could visit without the need for a car as the bus goes by and will bring year round business to lower Gibsons.	
110017356114	Oct 28 2024	Lighting along pedestrian walkways, especially the harbour, is needed to get people outside in winter months.	
110017355563	Oct 28 2024	Any character of any place is determined of time, our present time is removing creative minds for 'practical' profit, this is detrimental to both history of place and meaning of place.:For example, go to where you grew up, now remove it for an unreasonable gentrified place with little meaning and your own confusion of warmth, friendship, place, memories to and a sense of foreboding loss.:When we exclusively admire city gentrification, then the sense of place is lost, its subjects lonely and the kindness replaced with hostility.:This council is in love with modernity, yet at odds with the importance to quality, history, local values and family homes.:The rent seeking of policy is out of control, home ownership for life, is ill considered a value and consumerist behaviour has been lost to favouritism which under any business/governing terms is deemed a conflict in interest to the citizens health.:With objectivity, the subjective and rational, has no voice to any position of power.	
110017353931	Oct 28 2024	Pumptrack and cycling infrastructure. A pumptrack in town would be great!	
110017347276	Oct 28 2024	We need to move away from this term. The core themes proposed by the public assembly cover most of the important goals embodied goals of what I think most people envision with "seaside village character" but without the problem of trying to define a seaside look.	
110017339488	Oct 26 2024	Seaside Village character does not have to be pretty. There are many gritty factors that qualify SS character. Granville Island and Steveston are examples of this. They have celebrated a more modern interpretation of Maritime culture. I do think the beachcomber are over and they should take a supporting role. Let's move forward and not live in the past with attracting tourists and younger residents to stay. Smitteys and Lunitas are always full and the old stand bys have a diminishing customer base. Vibrant colours - edgy and edginess have a bigger draw.	
110017333427	Oct 25 2024	height limits for new buildings so that the sun shines in the village	
110017325600	Oct 24 2024	How can you say no to these. We need design guidelines. The first thing you see is a pot store and a crumbling pub that probably should be condemned given its state. Plus the vacant lands, rusting construction fencing now ten years old, scary rotting homes, skulls and other demonic images spray painted in dark and un-inviting spaces. At least the shopping carts are no longer littering the intertidal zone. What is with the orange slime signage now three years old. And the directional signage that was long ago vandalized. The waterfront is a disgrace. It was much nicer ten years ago. We are a wealthy community. What os with the plastic porta potties? We can do better. We are better than this. Complacency must not remain after all if this money has been invested in consultants for the new OCP. And what is with the 10,000 residents. Is that really what the community wants?	
110017323698	Oct 24 2024	I think this applies more to the Landing vs Upper gibsons	
110017312655	Oct 23 2024	We don't need massive condos and/or hotels pushed through that will sit empty and/or only attract the wealthy elite. This ruined the character of Canmore, Squamish, Whistler, Jasper, West Vancouver. Please don't let it happen here. Bring tech here. Bring ocean research here. No more restaurants and tourism bucks. Limit VRBOs	
110017300067	Oct 22 2024	While "retaining" Gibsons seaside village character, it is time to "build" Upper Gibsons into a vibrant urban area where many more families live close to the many services Upper Gibsons offers.	

Phase 1 Engagement Survey - Gibsons OCP Update

One way to meet housing needs is to use the recommendations of the Residents Assembly, outlined below. Do you support the recommendations?

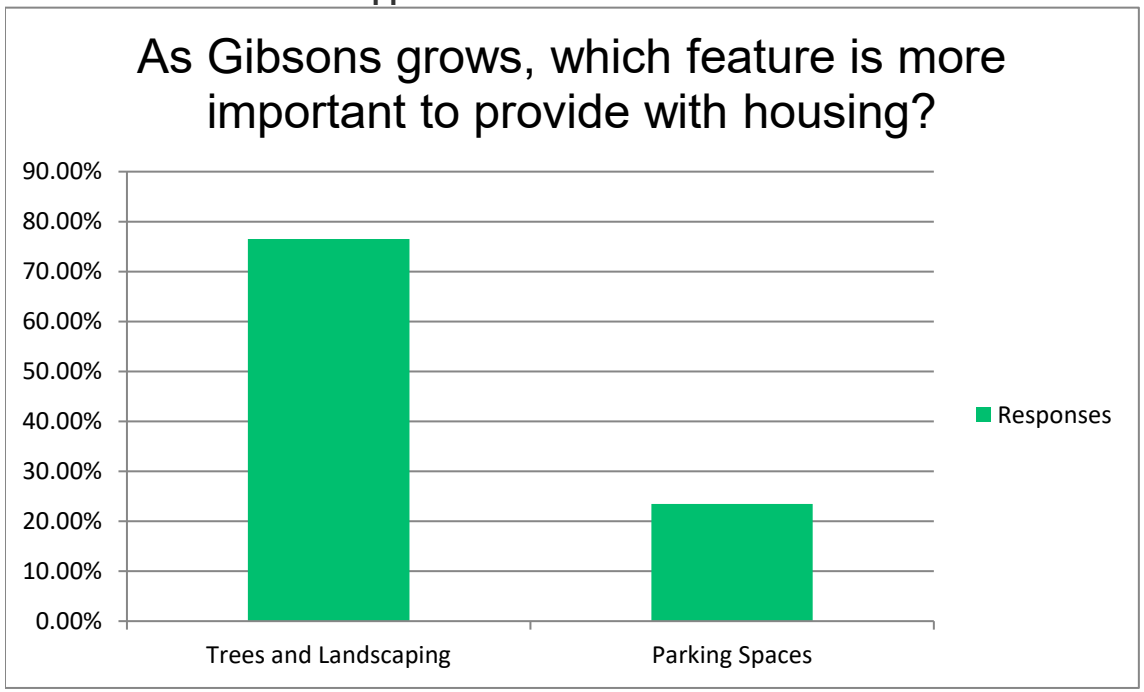
	Yes		No		Total
More Housing Types: Housing densification should be supported throu	84.38%	362	15.62%	67	429
Taller, Not Wider Homes:To meet the Small-Scale Multi-Unit Housing	68.53%	294	31.47%	135	429
Apartments Close to Shops and Services:Residential densities of six s	70.86%	304	29.14%	125	429
Apartments Above Public Buildings:Opportunities should be explored	84.62%	363	15.38%	66	429
				Answered	**429**
				Skipped	**100**



Phase 1 Engagement Survey - Gibsons OCP Update

As Gibsons grows, which feature is more important to provide with housing?

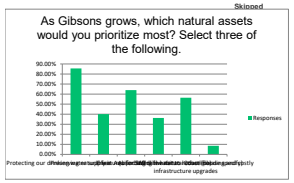
Answer Choices	Responses	
Trees and Landscaping	76.54%	323
Parking Spaces	23.46%	99
	Answered	**422**
	Skipped	**107**



Phase 1 Engagement Survey - Gibsons OCP Update

As Gibsons grows, which natural assets would you prioritize most? Select three of the following.

Answer Choices	Responses	
Protecting our drinking water supply in Aquifer 560	85.55%	361
Trees	40.05%	169
Preserving natural features (including the natural coastline)	63.98%	270
Wildlife habitat	36.26%	153
Absorbing rainwater to reduce flooding and costly infrastructure upgra	56.40%	238
Other (please specify)	8.53%	36
	Answered	**422**
	Skipped	**107**

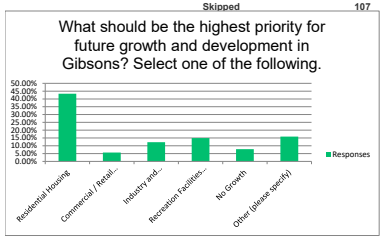


Respondent ID	Response Dat	Other (please specify)	Tags
110017519903	Nov 15 2024 (	Reducing emissions	
110017516180	Nov 15 2024 (	Restricting tree placement adjacent to infrastructure.	
110017514786	Nov 15 2024 (	Wildlife habitat, trees for air quality & a bit of noise reduction	
110017512994	Nov 15 2024 (	If our big old trees are kept they drink up thousands of gallons of rainfall	
110017512520	Nov 14 2024 (	Keep the trees!!! Everything else in this list depends and closely relates to that main thing...	
110017512076	Nov 14 2024 (	Trees are part of the natural features and wildlife habitat	
110017459411	Nov 14 2024 (	All of the above are interconnected and interdependent. All can be retained and protected without compromising one over the other	
110017510369	Nov 14 2024 (	Preserve Natural Coastline	
110017510238	Nov 14 2024 (	Densification in the waterfront is essential	
110017509328	Nov 14 2024 (	The options to this question are a bit odd to me, since trees are a part of wildlife habitat, and both trees and wildlife habitat are natural features that, if protected, protect the aquifer drinking water. Seems a bit oddly designed.	
110017508613	Nov 14 2024 (	all the above need to be done	
110017496838	Nov 13 2024 (	Protecting the coastline and coastal homes by further buttressing and raising ground elements; collect all the funds due by the perpetrators of frivolous lawsuits against building projects; farmland needs to remain farmland; sprawl must be contained; expanding upwards rather than outwards in our solution for growth, even if it means that some people's highly prized views of the harbour are slightly encroached upon.	
110017492873	Nov 13 2024 (	Don't densify the core of Gibsons	
110017476450	Nov 11 2024 (	consider potential vehicle and pedestrian interactions, particularly in Lower Gibsons.	
110017467346	Nov 10 2024 (	Maybe not covering every square inch of land with housing. Why do you want to increase population so badly? Probably to increase your tax base. Seems greedy.	
110017444487	Nov 07 2024 (	Quietness	
110017442638	Nov 07 2024 (	Maintain natural forest areas	
110017438311	Nov 06 2024 (	short term residential rentals	
110017423987	Nov 05 2024 (	Parking	
110017421118	Nov 05 2024 (	I would select all options they are all important	
110017393682	Nov 01 2024 (	Public Beach access/parks	
110017383302	Oct 31 2024 (	Question 10 does not address the limited road infrastructure	
110017378482	Oct 30 2024 (	replacement of aging public infastructure SB spread overentire tax base not bew construction	
110017369689	Oct 29 2024 (	Preserving old/current housing stock that contributes to Gibsons current reputation as a great place to reside.	
110017369693	Oct 29 2024 (	Our aquifer is the most important asset that Gibsons has. Defending and supporting it is a priority far above all others	
110017369125	Oct 29 2024 (	Beaches	
110017369219	Oct 29 2024 (	All natural assets including trees, shrubs and other plant life, natural water flow and marshesas tree and plant canopies, greenspaces, natural streams and water flow.	
110017369046	Oct 29 2024 (	waterfront	
110017367145	Oct 29 2024 (	No tall buildings on hill around lower Gibsons up to Shaw to preserve attractiveness to visitors as we depend on tourist industry .	
110017366876	Oct 29 2024 (	I think these go together, trees and natural habitat absorb rainwater, trees and shrubs maintain a wildlife corridor. They are all important	
110017355563	Oct 28 2024 (	Family values are how we treat each other, when examples are evidence of treating humans less than animals, and of objects to extract wealth, then we have a society that is lost. Neoliberalism is like a disease, it can't be seen, but the evidence is there, it goes too fast and builds carts without horses, empty buildings without families and vacancy of empty malls without directives, insurance without answers, desperation and words of escape, not sustainable practices.	
110017355063	Oct 28 2024 (	access to natural areas	
110017353931	Oct 28 2024 (	Protecting bike trails and our other key trail assets.	
110017347276	Oct 28 2024 (	These are synergistic, not trade-offs.	
110017333427	Oct 25 2024 (	walkable, dog friendly forest/park areas and by the way question *10 is not a fair question.	
110017325600	Oct 24 2024 (	It is important to maintain the small town character which residents love. The demand for housing is unlimited. It will never be satisfied. We need to focus on affordable housing. Not just expensive market rental and condos attracting people away from the Langley commute to downtown. We need to create jobs as well as housing and manage our limited health care facilities with growth. What ever became of smart growth?.	

Phase 1 Engagement Survey - Gibsons OCP Update

What should be the highest priority for future growth and development in Gibsons? Select one of the following.

Answer Choices	Responses	
Residential Housing	43.36%	183
Commercial / Retail Services	5.69%	24
Industry and Employment	12.32%	52
Recreation Facilities (including parks)	14.93%	63
No Growth	7.82%	33
Other (please specify)	15.88%	67
	Answered	**422**
	Skipped	**107**

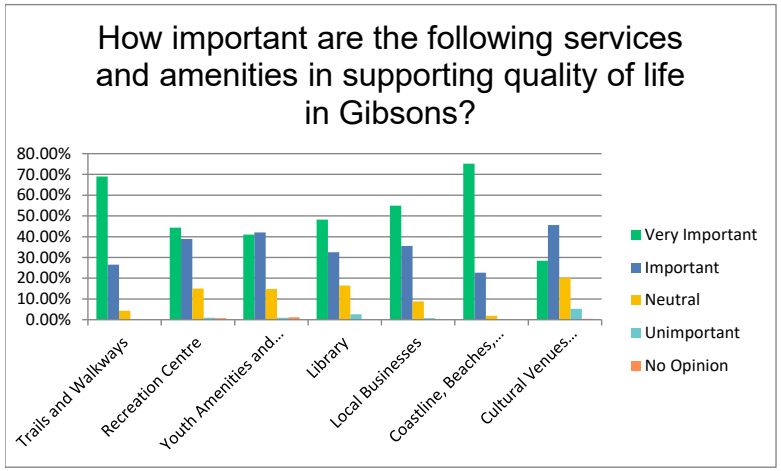


Respondent ID	Response Date	Other (please specify)	Tags
110017520205	Nov 15 2024	A combination of all these with measured growth.	
110017517763	Nov 15 2024	Housing people can AFFORD, not second homes, not mansions	
110017516180	Nov 15 2024	Permissible multi-family dwellings while avoiding construction of "man-made" canyons of the streets	
110017512520	Nov 14 2024	No Growth! Way too many projects ongoing, way beyond the actual needs, how many new people do you really think are moving in!?	
110017512076	Nov 14 2024	This question is not logical. You cannot prioritize housing without equally assessing several of these other factors	
110017512111	Nov 14 2024	Affordable residential housing	
110017511772	Nov 14 2024	Limited Growth	
110017511647	Nov 14 2024	keeping quaint seaside town	
110017510750	Nov 14 2024	Sustainable communities in harmony with nature, not growth at the expense of nature	
110017510701	Nov 14 2024	Housing growth in upper Gibsons, Waterfront ambiance in lower Gibsons	
110017510517	Nov 14 2024	Mixed use spaces. Commercial residential light industrial all in one place	
110017510369	Nov 14 2024	Houses and commercial/retail	
110017510248	Nov 14 2024	global warming considerations	
110017509799	Nov 14 2024	Tourism	
110017509674	Nov 14 2024	Protecting character of lower Gibsons	
110017507838	Nov 14 2024	Independent grocers	
110017498992	Nov 13 2024	Protecting the aquifer and NOT allowing so much development that it will not be sustainable in years to come.	
110017496838	Nov 13 2024	Mixed use structures for Residential and commercial/retail services in more areas, with Industry not far behind in order to create jobs that provide an income sufficient to afford homes on the coast.	
110017430953	Nov 12 2024	Climate resilience and low carbon development	
110017486681	Nov 12 2024	Growth only if it is necessary and sustainable. Climate change resiliency should be front and center	
110017481010	Nov 12 2024	Densification options within existing cleared land	
110017294388	Nov 12 2024	I don't understand this question.	
110017476443	Nov 11 2024	protect natural values	
110017379590	Nov 11 2024	You need all of them for growth	
110017467346	Nov 10 2024	Your obsession with growth is concerning.	
110017463608	Nov 09 2024	Doctors	
110017459314	Nov 08 2024	Preserving natural & wild spaces - this is our most valuable asset	
110017454604	Nov 08 2024	workforce housing so that young people can remain on the coast	
110017452906	Nov 08 2024	Natural hiking or walking trails.	
110017438311	Nov 06 2024	legalize single room occupancy and short term rentals	
110017432868	Nov 06 2024	amalgamate with scrd	
110017433175	Nov 06 2024	Mixed use but residential if that is not an option. We need small shops/services/corner stores in neighbourhoods.	
110017423987	Nov 05 2024	Both business and housing. Less red tape which means less government interference	
110017402019	Nov 03 2024	model nature	
110017399647	Nov 02 2024	We are growing - Frequent Ferry service & more Dr.'s	
110017399218	Nov 02 2024	Maintenance of local ecosystems	
110017386993	Oct 31 2024	Improving and upgrading infrastructure (wastewater treatment, roads, walkways, sewers etc)	
110017385286	Oct 31 2024	entertainment	
110017383302	Oct 31 2024	Any growth must be within the capacity of the infrastructure	
110017381048	Oct 30 2024	Low income housing	
110017379068	Oct 30 2024	sustainable development	
110017375638	Oct 30 2024	Industrial and Employment that consumes very little water and doesn't produce Greenhouse Gas emissions or destroy carbon sinks is most important. There cannot be sustainable residential growth without living wage employment.	
110017375391	Oct 30 2024	infrastructure (water, sewer, schools, healthcare, etc) to support future growth	
110017373483	Oct 30 2024	Water security. Protect the aquifer!	
110017372527	Oct 30 2024	smart growth/less cars/smaller footprint for all	
110017369709	Oct 29 2024	This all needs to be done in unison	
110017369689	Oct 29 2024	Merging surrounding SCRD areas with Gibsons to form a more balanced and viable community. While it is essential for Gibsons to maintain its OCP it should cover the area from Langdale to Roberts Creek.	
110017369700	Oct 29 2024	Affordable housing but only if we can provide the social infrastructure to support it (ie. Water, greenspace,recreation and	
110017369693	Oct 29 2024	Growth at a pace that infrastructure can keep up with.	
110017369173	Oct 29 2024	keeping it tourist friendly to support local businesses and the migration of young families to the community.	
110017369007	Oct 29 2024	Housing and commercial retail services	
110017368666	Oct 29 2024	revision of infastructure and bike or walk commuter trail network, like whisper, squamish or Banff	
110017368428	Oct 29 2024	I struggle with this one. Can we maintain continued population growth? What is the cap before we struggle with water, and forced to build housing that impacts our natural character?	
110017368150	Oct 29 2024	Mixed use projects.	
110017367803	Oct 29 2024	Restrict volume housing to upper Gibsons so village can maintain its character	
110017367640	Oct 29 2024	Increasing Tourism	
110017367185	Oct 29 2024	Desalinization and independent energy source (tech available in 10 year or less window)	
110017367145	Oct 29 2024	Careful to maintain tourism by keeping lower Gibsons a pretty destination.	
110017367208	Oct 29 2024	Better walking paths around town.	
110017357045	Oct 28 2024	Pump track to provide more activities for youth.	
110017355563	Oct 28 2024	Should is a word that can't, when ambiguous words are used, it gives excuses to continue lots of nothings.	
110017347276	Oct 28 2024	All of these.	
110017345705	Oct 27 2024	affordable housing	
110017333893	Oct 25 2024	medical services	
110017333427	Oct 25 2024	an industry that is not extraction of natural resource rather new tech oriented industry	
110017325600	Oct 24 2024	Smart growth. Balance growth and jobs. We should not become an economy soley dependent on residential development because in lean times that will be painful.	
110017322313	Oct 24 2024	Increasing areas to build by adding laneways, such as between Hillcrest Road and Gibsons Way. It could add substancial laneway housing.	

Phase 1 Engagement Survey - Gibsons OCP Update

How important are the following services and amenities in supporting quality of life in Gibsons?

	Very Important		Important		Neutral		Unimportant		No Opinion		Total
Trails and Walkways	68.97%	289	26.49%	111	4.30%	18	0.24%	1	0.00%	0	419
Recreation Centre	44.39%	186	38.90%	163	15.04%	63	0.95%	4	0.72%	3	419
Youth Amenities and Playgrounds	41.05%	172	42.00%	176	14.80%	62	0.95%	4	1.19%	5	419
Library	48.21%	202	32.46%	136	16.47%	69	2.63%	11	0.24%	1	419
Local Businesses	54.89%	230	35.56%	149	8.83%	37	0.72%	3	0.00%	0	419
Coastline, Beaches, and Waterfront	75.18%	315	22.67%	95	1.91%	8	0.24%	1	0.00%	0	419
Cultural Venues (galleries, music, art, etc.)	28.40%	119	45.58%	191	20.29%	85	5.25%	22	0.48%	2	419
										Answered	**419**
										Skipped	**110**



Phase 1 Engagement Survey - Gibsons OCP Update

What do you like most about Gibsons?

Answered	**401**
Skipped	**128**

Tags

Sense of community belonging, access to various services, walkability - through this needs improvement. Small town feel where people still look out for each other, safety.
The small town feel, the friendly people, walking trails, easy access to shops and restaurants AND being by the water, plus the approach to sustainable management.
[illegible]
[illegible]
Small town laid relaxed feel with lots of natural areas and not too congested, built up and busy. Most housing is modest size and not fancy, not McMansions.
Small town feel; close to the city; quality of life; safe; reasonable number of restaurants and services for the size of the town; affordability of housing compared to the city;
Location, community, demonstrated leadership towards climate change resilience and adaptation.
Seaside lifestyle with a small town artsy vibe.
the proximity to nature
Its size and how it is divided naturally between upper and lower
the trails and views of the sea, the beaches, the small-town character, the small businesses, the variety of housing, the local library, the recreational opportunities, the friendliness, the way people greet each other on the sidewalk, the diversity of the population from children to seniors, the availability of a medical clinic and hospital, the car co-op and walkable distances to shops and restaurants, the ferry and accessibility to Vancouver
The coastline and walking trail along the waterfront; access to water for recreation at Franklin Beach; the poeple in the smaller community; local restaurants in lower Gibsons.
Quaintness
Access to great beaches.
Low rise residental housing.
Small but vibrant
The chlorine-free water; there are no Costco or other big box stores; the small town-ness, so far;
The views across the water
Friendly town; seaside village character of lower Gibsons
Village character of the town. Natural beauty
Quaint- small town feel - slower pace - wildlife- trees - clean water
We used to be a Community.
The sence of community, we take care of one another, the beauty, easy access to nature
Welcoming small town feel and accessibility to conveniences.
Coastal views from everywhere!!
The quiet and small town vibe, the trees and wildlife around. Being able to walk from home and be on a trail or in a forest in seconds. Please stop cutting trees and building massive buildings, we need to preserve the very few patches of forest we have left....
small town feel, know a lot of people, friendly, safe
People seem to be here for similar reasons, which creates a strong sense of community. Growth is inevitable, but maintaining the "feel" should be a key objective.
Lower Gibsons and the beginning of making the town walkable
Walkability, waterfront trail, Armours Beach & Dock, local shops, Public Market, forests and trails
Small town feel, natural resources(trees, beaches, mountain views).
Sense of community and relaxed lifestyle
It feels like Home. It is open-minded and progress is measured carefully. Everyone is friendly.
Friendly people, good stores including Thrift stores, and lots of places to eat.
Small town feeling, a safe place to live.
Costal community eith small town vibe
The view of the North Shore Mountains, sea and islands
A small town vibe with a local culture with easy accessible trails and waterfront.
Local businesses
Access to surrounding natural areas. Ocean/forest interfaces.
Access to nature and the friendliness of the people
Coastal Community Experience, small but active
accessiblity to nature. walkability either uptown or waterside
Friendly small town & easy to walk to anywhere, no pay parking
The proximity to nature, to wild spaces. The small town feel and ability to know our neighbours and have a say in how the town evolves in positive ways.
[illegible]
Coast line. People
The fact that it's "on the move". Growing. It's a real opportunity to put our money where our mouths are, to build better
Small town feel, safety, minimal traffic.
amenities, shopping variety, friendly people
[illegible]
The overall atmosphere is great
Local farms to get healthy and tasty produce, my neighbours are very friendly, like minded people supporting small businesses, the beaches and trails to explore and adventure with the dog..
Small town life
The beauty
Small town atmosphere
Perfect place to live
Being able to walk through lower Gibsons with family and friends and enjoy the village atmosphere and waterfront walk
Quaint and walkable lower Gibsons with cute local businesses/retail, and then more 'daily errands' vibe in Upper Gibsons.
the feel of a small town, yet Gibsons has a great diversity of people, lifestyle and work.It is also a very friendly place to live
Proximity to the ocean and ferries Sense of communityCulture
Charming and quiet with an amazing selection of unique shops and restaurants. Walkable. Low crime rate
Quiet and friendly place to live
The community
Small town feeling.
The views, beach, breweries and trails.
The peaceful, quiet, and quaintness of a small town. Small town atmosphere. Not a big town or city. Single family residences. No densification. Rural.
The kind nature of the people who live here. Having lived in other small communities, Gibsons is unique in the way people seem to treat each other. This is especially evident amongst the young. The terrain of Gibsons always shows off the water and mountains. Never want to have that lost. The waterfront promenade that says we are a seaside village should be maintained and kept to a high standard for all to enjoy. □
marina and seawalk
combination of natural beauty, small size, high quality restaurants
Proximity & access to nature, i.e. trail network, parks, beaches, while having basic local amenities and relatively close to the city for occasional access to city.
The laid back vibe
Coastline, community vibe, exceptional amenities for a small town, safe
Quaintness quietness
Clean air and aquifer water. The ocean and beaches. What is left of the nearby forests.
Quaint, small town tucked into beautiful natural setting that draws and inspires a conscious, creative and caring community.
The quaint feeling of Lower G's shops and marina. Upper G has good stores.
I love the small, scenic downtown with its mixture of shops, galleries, childcare centres and housing. I like love trails that wind their way through the city and allow you to travel by foot or bike from upper Gibsons to lower Gibsons. The feel of lower Gibsons is one that I find unique when compared to most other small towns and cities in B.C.Upper Gibsons feels more akin to Nanaimo's outer areas with strip malls and a highway that feeds through.Ilike that Gibsons has better bike and foot infrastructure than the surrounding SCRD areas.
The small town atmosphere offers many avenues for varied small businesses.Small pockets of denser living are expanding.Bike lanes are reaching more areas yet, unlike Vancouver, they are running adjacent to main roadways so their impact is minimal on larger vehicles until alternate approaches can be built.Many vibrant community centres and art galleries.
It hasn't been destroyed by developers. YET.
The friendliness of locals and real sense of community. The feeling that our amenities and businesses are third places where people can congregate.
Lower Gibsons: the walkability to shops. Upper Gibsons: convenience
Nature, ocean, community
the nature, beaches, trails, forests.
The cool shops and quaint feeling of the town. Also the history. Don't want the history to be forgotten.
Still feels like a small place. Friendly people. Minimal traffic.
The small ocean side feel
[illegible]
Quiet, friendly, access to beaches. Not busy and crowded yet!
the quiet and friendliness
I love the access to nature, the walkability of the town, the peace and quiet. I love seeing the stars at night.
The feeling you get when you walk along the town. Tranquil, charming.
[illegible]
Seaside village, nature, restaurants
Community, natural spaces, walkability
The small town and diverse class of people. This is NOT Ambleside or Dundarave. We have a diverse group of individuals who live here, not JUST the wealthy.
Small town feel close to the Vancouver.
Clean air and water, low crime, friendly small town culture, quiet and peaceful, close to nature, lots of wildlife.
It's seaside charm, a good availability of local shops and food places, and a local govt that is respectful of its natural assets.
Trails
The walking areas. Mahan trail and the seawalk. ensuring that Gibsons is walkable will make this place the best it can be.
Waterfront and coastline
the small town atmosphere
I like the small town feel where you can meet your neighbours or friends while out doing 'regular' daily functions.
The small town feel and the magic of the little miracles that happen with knowing your neighbours and people in town.
It's natural setting.
I love the small town feel and coastal location of Gibsons as well as the numerous green spaces and walkability.
Quiet
[illegible]
The weather is mild, and it's beautiful.
its cool:)
That it is a small town with a sense of community.
Community
Seawalk
Since I've been here more than forty years now I find there is finally a sense of community that includes me.
The sense of community. Easy access to shops, restaurants, other amenities. The waterfront and parks in Lower Gibsons. Numerous trails. Close proximity to the ferry terminal. Quiet, peaceful neighbourhoods.
Great community vibe. Feels friendly, safe, not much traffic, peaceful.
Deep sense of community. Natural beauty
The unique seaside village feel.
The Harbour and lower Gibsons area. The community feel in the shops and public market. Our beaches!!
The natural landscape, coastline, forests - especially trees, trails and wildlife
Clean water, places to walk, nice non-private views for the public.
The felt connection between the sea and the mountains.
small town friendliness and natural beauty
Small town that's easy to get around and enjoy the ocean views. More and more development and rampant densification would ruin the small down environment I enjoy.
The village feel. Relaxed pace of life. Sense of belonging.
It's walkability, the accessibility to nature, and the many amazing beaches
quiet and close to nature, beautiful and safe place to raise a family
The friendliness and safety. We are seeing an uptick in crime and stealing in our area and free housing is not the answer. We need to protect how kind and safe everyone feels here. It is a true community. But it can be taken so quickly if we do not protect it.
[illegible]
So many things! Lower Gibsons and the marina /pier. The feeling of always being in nature surrounded by forests and water and mountains
It's a small town
It's beauty
I like the people and cute little neighborhoods. Oh wait the neighborhoods are being decimated by the current council
[illegible]
The trees, oceans, creeks, natural land untouched by humans and machine.
QUALITY OF LIFE LIVING HERE AND FRIENDLY ATMOSPHERE
Beautiful walkable town... the views!
Small town feel. Not a part of the city. Lack of developments, and high rises. Feeling of space and being separated from your neighbors i.e not living in a fish bowl like the city. Green space and forests. Reduced traffic compared to the city. Limited development allowed.
The views and the people
Quaint seaside character
[illegible]
[illegible]
The historical character of lower Gibsons
Small seaside character and small businesses
[illegible]
access to beaches and forest
Access to ocean
the small shops along the waterfront
It is pretty and always enjoyable to walk through Lower Gibsons. I like the separation between practical Upper Gibsons and pretty lower Gibsons.
Size and pace of life
no traffic jams, no vehicle exhaust pollution, fresh air, great tasting water, awesome views while walking around, friendly residents, plenty of live music and other entertainment
Being a Seaside village.....nice friendly smaller community
The views and the density of Lower Gibsons
Quaint village feel and amazing views of the marina, islands and mountains.
Small town, access to beaches, access to water, walkability and safety (live in upper gibsons, can walk to get my groceries and feel safe in comparison to anywhere in Sechelt)
Community. Potential. A safe place for my child to grow.
Cute seaside place
Friendly & safe with a great waterfront location, forested trails, and a lovely selection of small independent shops and restaurants. The rec centre and library are also great for such a small town
Proximity to natural environment, views of mountains and ocean.
Sense of community and caring
The small town look of it and the safety.
small size, nature/views/outdoors, close to ferry, lower Gibsons seaside access
it is a island
The growing diversity of residents and the value they contribute to our community. Also, the planned growth in housing to attract and keep young people and families in Gibsons.
It's such a friendly place and so beautiful.
The nature, trails, beaches, and how safe it feels for my young family.
It's small town character, stop this unimpeded development!
People are friendly
Small town, walkable, environmentally progressive, beautiful natural assets
Sense of community ... which, frankly, is an advantage of living in a small town.
It's small town charm and neighborhoods. It's location and access to the waterfront.
Gibsons meets all my daily living needs as a self-governed small town that's nestled in/surrounded by nature
Everything is within 5 minutes
Small town with amenities close to a large city.
Small town vibes with enough to not need to go on mainland Bike community and trail
My family and community are here, aside from that I value the close connection to nature, separation from Vancouver and of course the access to mountain biking.
Walkability, Quaint appearance, proximity to the Ferry, Bus, variety of services,
In Lower G where we live, there is access to beach, forest, artistic / commercial and restaurants. It feels cheerful, friendly and interesting. In Upper G there are more services and needed businesses. I'd be sad to see the character of Lower G change, it's a special place. And I support increasing densification in Upper G. I'm not NIMBY, but Lower G is a jewel and very attractive to tourists and visitors.
Ambiance
[illegible]
Small town character
Location, a natural place to provide a seaside themed community.
Friendly
It quiet, safe, affordable compared to Vancouver
It's not Sechelt
social setting, marina, nightlife
Walking trails
Access to nature, community, seaside location and relative security.
Gibsons is quaint, historic and in close proximity to a large City.
Proximity to MTB trails, ocean/beaches, restaurants/breweries + most importantly...what seems to be a pro entrepreneur energy
Small town lifestyle with proximity to the mainland.
Proximity to health, recreation, business, shopping, seaside and forest - all within walking distance
The harbour
The tree to people ratio, and waves to people ratio. And that most major services for daily life are very close, easy to access and have good opening hours.□
Friendly small town
Its natural beauty and peacefulness.
Quiet but active lifestyle
Access to waterfront. Walkable to shops, restaurants and coffee etc.
The friendliness of the people, the beauty of the surroundings. Always somewhere to go for a coffee or meal.□
Natural surroundings, small town feel.
Marina, restaurants, general vibe in Lower Gibsons
events and entertainment
Seaside feel□
The sea views and a walk on pier.
Gibsons Landing! Lots of things to do, views of the ocean and waterfront walkway, shops and places to eat. Friendly people and great community feel.
Accessibility to the ocean, importance of music and the arts, local breweries, shopping at Fong's where they're so friendly and know my name.
The approach to natural resource management
Love the beautiful beaches, seeing so much marine life and all the wildlife. I love the idea of Gibsons growing and developing. I look forward to more waterfront homes in lower Gibsons. We would be very interested in burying and living in a waterfront condo within walking distance of lower Gibsons.
Community
Being on the coast
Its a friendly small town set in beautiful geography.
The waterfront shops and restaurants.
I like the friendly small town warmth. I have always lived in cities so this has been a unique but positive experience for me.
Unique seaside heritage character of Gibsons Landing, including the marina, waterfront park, sea walk, heritage buildings and the eclectic mix of stores and restaurants.
natural environment
Community
quiet, charming, ocean, ferry, biking
Everyone is happy to live here. That make human interaction most enjoyable
The small town feel and its people and amenities
Small-town feel with lots of things to do
businesses
Gibsons Harbour
Small scale, friendly, more opportunities for connection with the natural world
Not much traffic, lots of space. Houses have acreage
picturesque, creative and thriving small business community, young families, community support.
Small, Friendly, Beautiful
It's a small, connected community but provides everything I need to live a great life. I rarely need to leave gibsons to find anything I need.
Natural Landscape. Ocean accessibility. Marinas and piers. Things to do (restaurants, breweries, shops, parks, trails). Small town, family centered character. Historic sites. Famous film locations (Molly's Reach). Less crime and drug issues than Sechelt.
the character of lower Gibsons is wonderful and I sometimes wish there was more to it.
xxx
Scenic Beauty
It was the small-town character that unfortunately now deteriorating largely over the current promotion and practice of unsustainable development. Set the 560 aquifer sustainable carrying capacity as the foundational development criteria and the rest will follow. Be comfortable with what you are. The development submission of the last 10 years and currently will push Gibsons beyond sustainability and a dwelling unit per square kilometer great the Surrey BC.
It still has that small town feel.
The location next to the ocean and the small town feel
Friendly. Community spirit. Natural beauty.
The seaside and access to the ocean.
Meeting people I know when I am out and about.The natural settings in the parks and trails.
The quaintness
[illegible]
An oasis of more future oriented transition to public transit and active transportation infrastructure within an overwhelmingly autocentric culture - much more needs to be done, but this is the right direction for planning.
[illegible]
I use the library and recreation centre 2 or more times a week. I love the historic waterfront and hope it can keep its charm
The sense of community and feeling like I'm in a special place far away from the city.
shops and access to water front.
I like the coastal walkways and forest trails. I can get out and enjoy the natural environment daily which helps with both my mental health and physical activity. The connectedness and involvement in community projects and events is also fun. And the general friendliness of the locals, particularly us old timers.
The aquifer
slower pace of life
Its geography
Sustainable development with services
The small town community feel and connection to nature but everything you need is still here
Small town feeling, relaxed pace of life, friendly people.
small town,big hearts,low crime and pollution
Our heavenly environment
Walkability, character, sea wall, friendliness, community, nature
Sense of community and friendliness of people□
The waterfront walks and the view of the North Shore mountains and the water.
Walkability in Lower Gibsons, bike paths where they exist now (need more), accessibility to Ferry, friendly people, good restaurants in Lower Gibsons, love the Gibsons Market
Friendliness and the natural seaside feel.
--the small-town feeling in a green and well-treed setting--accessibility to most services needed in everyday life--proximity to services found only in large, urban centres
Less traffic than city, has services & amenities needed. Glad for taxis and busses, if needed
It's charming culture, friendliness and clean intact roads and facilities
Cleanliness
The people, community events, kept small, history and natural beauty - we have something amazing - we don;t need to overbuild but rather purpose current buildings or build taller.
Seaside, natural surroundings, amphitheater setting allowing views of the ocean)which could be taken away with the idea of height increased plans). Sea walkway, hiking trails connecting upper and lower town, fresh sea air, etc
Nature, possibilities for sports
I love that it's a cute friendly town where I can run into friends and neighbors at the beach, grocery store or rec center. I love the 5o'clock community in the summer, I love wandering to the village for a beer or coffee. I love that it's safe enough that I was able to raise my kids to have some freedom to roam and explore. I love that in our neighborhood we chat with other dog walkers and get to know the elders here. I love going down to the harbour and seeing the lifecycle of the ducks and other sea birds. I love that we can feel relatively safe riding our bikes despite the narrow roads. I love the wild gardens of the old hippies. I love Armours dock and the swim from Keats. I love the ways our town gets hopping with boaters and tourists in the summer cuz I know that's going to sustain our variety of local businesses. I love the fresh air and that a good hike is just 20 minutes away. Overall...I'm a fan girl.
After 10 years in Gibsons I like the scale of the local community and the mix of residents. So far, development while accelerating has mostly been well thought out. The "George" development could change that view!(Too high)
Walkability, natural, quiet,Low traffic, safe
The water(aquifer) and the access to waterfront (the ocean).
It's small size, quaint lower village, independent small businesses, connection to the waterfront and variety of restaurants.□
Isolation
Waterfront smaller city natural environment
Uncrowded
Looking at the bay of Gibsons Harbour with the back drop of tree covered Keats Island. I love the few but precious urban trails such as Inglis and the tiny trail from Park Road to Parkland Development
The library, the rec centre, the skate park, mikes place and the walkability of Lower Gibsons, coffee shops, views of the mountains and ocean, the Inglis trail connecting lower Gibsons to Upper Gibsons, the parks, the Sunnycrest Mall for shopping
The quiet = non industrial near the town center and the animals wandering around.
Compact, small population, seaside, surrounding forests.
Friendly , quant, fabulous shopping area. So many people come to see us just to shop. We need some proper hotels to put our visitors in. Incredible views, with so many great restaurants that need to be open more.
The small town vibe. Recognizing familiar faces when running errands around town.
I love that I can walk everywhere, and there is not a lot of traffic. Also, the wonderful collection of small businesses that have blossomed over the last few years. I love to see that the community is attracting young families and encouraging places for them to go and socialize like the breweries and cider houses.
It's charm and safety, natural beauty and coastal frontage
close to the ferry, beautiful views of mountains and water, friendly people
The proximity of amenities, bike lanes and trails for getting around town, diversity of mixed-use buildings (we need more), sense of community, c-existence with nature/environment.
Natural beauty of ocean & forests and friendliness & safety in the community!
This is a beautiful relatively laid back place beside the water surrounded by greenery that to date has avoided the glut of commercial box stores & high rise developments that plague municipalities in other parts of BC.
small seaside town feel
ocean view, access to nature, the growing number of buisness options
Quiet
Definitely the community feel. Low corporate rigidity, high quality of realness amongst the people. Throw in the incredible access to the ocean and mountains!
The small town atmosphere and easy access to everything.
I like the fresh air and the clean water. I am very concerned about the increase in tankers, tugs and large scale shipping in the immediate area in and around the landale ferry terminal. One oil spill and we are dead.
The ocean
Quiet, slow, tight knit, public/community events
The incredible beauty and climate.
Diverse services and Seaside vibe
Waterfront
The setting and abundance of water access
Small town surrounded by coastal beauty
Good place to raise a family. Access to amenities.
It is welcoming and friendly. People talk to one another and smile.
There is no most ....village feeling , waterfront walk , walkable to community amenities community size
Small village feel. Please avoid multi story in the lower village
quiet, peaceful place to live that is not overly congested
Community events
Small town "feel".
Beauty people.
The seaside character/charm
Seaside Character /Friendliness
Walkability and small town vibe
Quiet Ocean walkway Old Gibsons shopping
Very peaceful life stile
Small town
Access to nature
It's natural beauty.
Lower Gibsons with it's village vibes. Seasonal decorations, especially the statue of George. Clean street and sidewalks. The seawalk and Winegarden park. Holland park. The gazebo.
.. that it is a small town in reasonable proximity to a city is located along a beautiful shoreline with exceptional beauty in the trees, rock and water

1100100000	00:11:00:00	Village hub, friendly, apartment and now, enjoying off-campus this rights
1100100000	00:11:00:00	The questions of
1100100000	00:11:00:00	Friendly, Friendly, Small
1100100000	00:11:00:00	Lodge atmosphere, Old Hippy Railway, Wildcreek, etc. scene, Locality, In the ocean, access to the water (pone, walking along waterfront, seeing seriously-late-coast or lake, seeing children learning how to sail
1100100000	00:11:00:00	Small, Friendly, Vast with lots of what I want and need. I like that more younger families are moving here
1100100000	00:11:00:00	Small town feel
1100100000	00:11:00:00	Location and access
1100100000	00:11:00:00	Small town feel, I like that the beach walk is like 300 ft the city
1100100000	00:11:00:00	The outside atmosphere
1100100000	00:11:00:00	Small town feel
1100100000	00:11:00:00	Small, Friendly
1100100000	00:11:00:00	The sense of community, Cleanliness, and somewhat remoteness
1100100000	00:11:00:00	Small town feel, Friendly, Beach, Nature, Nice, Quiet, Communities feel
1100100000	00:11:00:00	Small town feeling and beaches
1100100000	00:11:00:00	Friendly, Small, Quiet, Beach, Community
1100100000	00:11:00:00	Small town atmosphere
1100100000	00:11:00:00	Small town, Friendly, Accessibility and access to trails for biking and hiking. The ann-Kimmich in Nu-Inner-Mirchell Cedaven, Good-community, neighborhood and extra-good small-businesses like Tepoeka and the Aschiteh and Pineapolna, and great library.
1100100000	00:11:00:00	Small town feel
1100100000	00:11:00:00	Beach is great
1100100000	00:11:00:00	Small, Quiet
1100100000	00:11:00:00	Small, Quiet, Friendly, beautiful	lake
1100100000	00:11:00:00	Small town, Friendliness with state-of-the-Kinsdalers and sale. The distance from the city on a-street pace
1100100000	00:11:00:00	Small town feel
1100100000	00:11:00:00	Great outdoor-to-busy space
1100100000	00:11:00:00	Small town feel
1100100000	00:11:00:00	Its quiet village feel with Irish and pop-shops, country roads, Hot-springs, ocean and mountain scenes
1100100000	00:11:00:00	Small town
1100100000	00:11:00:00	Small and-arts (ex) hub
1100100000	00:11:00:00	Small town
1100100000	00:11:00:00	Natural Beauty, Friendly, Happy
1100100000	00:11:00:00	Small town feel and-nature/there-to-use. Kids-the-farm like-Hikes that-lent-out or-change-attitude-or-they-want-attitude-or-they-want. That-they. Make-on-think-we-have-we-say. Ie-we-ju-like-the-farm-really. It's-a-warm-of-mine-and-changes-mindsy. Just-that-just-primitive-habits-are-previous-known-such-as-hagfish-lakeshiteh
1100100000	00:11:00:00	Trails
1100100000	00:11:00:00	Beautiful-Nature-Serenity
1100100000	00:11:00:00	Natural-beauty-Kayaking
1100100000	00:11:00:00	Nature, community
1100100000	00:11:00:00	Small-town-feel-Cove and-diversity-of-restaurants
1100100000	00:11:00:00	Lifestyle
1100100000	00:11:00:00	Small-town-feel-Cove-community, and-lots-of-great-local-shops-and-businesses. It-embraces-diversity, and-thoughtful-development.
1100100000	00:11:00:00	The-people-to-the-Kootenays-and-the-coast
1100100000	00:11:00:00	Small-town-feel-Cove-community, Beautiful-natural-spaces, trails, and-amphitheatre
1100100000	00:11:00:00	Huge-sense-of-community, and-respecting-engaged-all-between-the-blue-chance-and-between-chaises-and-government
1100100000	00:11:00:00	Small-town-feel
1100100000	00:11:00:00	The-quiet, safe, small-town-feeling-where-everyone-knows-your-neighbours. I-would-like-to-sustain-our-current-size.
1100100000	00:11:00:00	Small-town-feel-Cove-community, and-the-beach-walk-is-great-for-a-walk
1100100000	00:11:00:00	Small-town-feel-Cove-climate, great-outdoor-and-hike, Cleanliness-and-open-access
1100100000	00:11:00:00	Sense-of-community, access-to-nature-safe-family-and-climatity-of-the-area, Cellular-and-internet-coverage
1100100000	00:11:00:00	Small-town-feel-Cove-community, Beautiful-natural-spaces, trails, and-amphitheatre. Fishing-is-a-cornerstone-activity-in-Cove-and-I-would-like-to-see-it-remain-as-it-is-and-be-able-to-continue-to-do-so. Fishing-is-a-cornerstone-activity-in-Cove-and-I-would-like-to-see-it-remain-as-it-is-and-be-able-to-continue-to-do-so. I-would-like-to-see-Cove-become-a-hub-for-business-and-innovation-in-the-area-but-not-at-the-cost-of-the-small-town-feel-that-we-have-now. Fishing-is-a-cornerstone-activity-in-Cove-and-I-would-like-to-see-it-remain-as-it-is-and-be-able-to-continue-to-do-so. I-would-like-to-see-Cove-become-a-hub-for-business-and-innovation-in-the-area-but-not-at-the-cost-of-the-small-town-feel-that-we-have-now.
1100100000	00:11:00:00	Small-town-feel-Cove-community, Beautiful-natural-spaces, Minerva-area-hiker-the-city, good-breakfast-on-the-moon
1100100000	00:11:00:00	Small-town-feel
1100100000	00:11:00:00	Amazing-small-town-characters
1100100000	00:11:00:00	Small-town-feel-Cove-community, and-nature
1100100000	00:11:00:00	The-lack-of-desire-to-rights, salaries-and-means
1100100000	00:11:00:00	Small-town-feel-Cove-community
1100100000	00:11:00:00	Natural-beauty, and-access-to-trails
1100100000	00:11:00:00	Small-town-feel-Cove-community, Cleanliness, Close-to-nature
1100100000	00:11:00:00	Small-town-feel-Cove-access-to-the-beach-and-trails, strong-community
1100100000	00:11:00:00	The-community
1100100000	00:11:00:00	Small-town-feel-Cove, cut-too-hard-in-the-any-power-(apartments-and-more-people-are-hard-on-the-climate-and-land-area)-Kerrie-Kowalchuk-(weaglehand,-etc)
1100100000	00:11:00:00	Access-to-trails-and-a-welcoming-community
1100100000	00:11:00:00	Small-town-feel-Cove
1100100000	00:11:00:00	It's-beauty, sense-of-community, and-planning-to-increase-tenancies
1100100000	00:11:00:00	Small-town-feel-Cove-community, Beautiful-natural-spaces, trails-(generally), coast, small-businesses-close-to-home
1100100000	00:11:00:00	The-nature-that-surrounds-it-and-the-closeness-to-the-ocean
1100100000	00:11:00:00	The-library
1100100000	00:11:00:00	The-beach
1100100000	00:11:00:00	Small-town-feel-Cove-community-(trails, beaches, parks)
1100100000	00:11:00:00	Proximities, Greenery-and-access-to-water-(lake), and-more-benches-seaworthy
1100100000	00:11:00:00	Rolling-up-small-city-but-still-with-the-close-sense-of-families-&-activity-opportunities
1100100000	00:11:00:00	Small-town-feel-Cove-community, Beautiful-natural-spaces-(especially), hiking-trails-and-our-Waterfront-be-much-never-than-more-sustained-and-means
1100100000	00:11:00:00	Small-town-feel, ease-to-walk-around-town, Minerva
1100100000	00:11:00:00	Small-town-feel
1100100000	00:11:00:00	Location, (close-to-the-city, but-far-enough-away, (Walkability, (every-thing-is-not-a-car). All-the-services-I-need-including-good-restaurants-and-diverse-society-events-in-healthy-economy-and-that-walks-from-shine-and-hikes-off-putting-aparcuts
1100100000	00:11:00:00	Small-town-feel-Cove-community
1100100000	00:11:00:00	Small-town, easy-volunteer
1100100000	00:11:00:00	Friendly, the-lake, the-beach
1100100000	00:11:00:00	Small-town-feel-Cove-community-but-that-also-provides-enough-that-this-is-Kerrie's-the-community. That-people-can-feel-safe-and-neighbourly-toward-each-other
1100100000	00:11:00:00	Beautiful-Nature-Serenity-and-Kayaking-and-Hiking-Trails
1100100000	00:11:00:00	Small-town-feel-Cove-community-and-Kerrie's-Pub
1100100000	00:11:00:00	Growing-community, with-opportunities
1100100000	00:11:00:00	Small-town-feel-Cove-community, Close-to-city
1100100000	00:11:00:00	The-friendly, small-town-vibes, which-is-grounded-in-a-unique-series-of-place-and-sense-of-pride. It-truly-is-one-of-the-lesser-small-towns. Compare-and-contrast-Langley-and-Port-Langley. We-are-trenches-the-latter-but-our-pattern-are-starting-to-hit-the-Fortner-Rin-we-really. want-to-be-a-leadership-bedroom-community-?
1100100000	00:11:00:00	Small-town-feel-Cove-community, Beautiful-natural-spaces, Kerrie-and-the-people
1100100000	00:11:00:00	The-community-feel
1100100000	00:11:00:00	Small-town-feel-Cove-community, Big, the-hard-it-is-video-street-car-fancy, opportunity-might-signal-gentrification-which-causes-me-to-a-big-cost. I-don't-want-Gibsons-to-become-another-bedroom-community-of-Sheer-Vancouver, but-I'm-moving-to-Pender-I'm-this-season
1100100000	00:11:00:00	Seaside-Village-is-good-for-tourist|Sequal-Gibsons-has-lots-of-potential-for-retail|Homes-are-a-bleak-urban-area

Phase 1 Engagement Survey - Gibsons OCP Update
What do you like least about Gibsons?
Answered 401
Skipped 128

Tags

Reliance on unpredictable ferry services places us at risk; highway infrastructure - vulnerability in emergency situations such as medical/evacuation
it would be good to have younger citizens, and more employment opportunities.
Rich people moving in, and rich people buying and Air BN properties.
That horrid abomination of a "stroad" of upper Gibsons. The desperately needs to be a bypass to get the ferry traffic out upper Gibsons asap! The lack of interconnectivity for both vehicles, bikes and peds. It is HELL to be a pedestrian in upper Gibsons while it is so much more attractive to walk in Lower Gibsons.
How rapidly growth is occurring and how many trees are being lost to development.
Lack of a good hotel combined with small convention facility to attract business and people year round; What we have is an embarrassment; need more shops and restaurants and waterfront promenade the entire length of the town and walking loop; lack of active transportation facilities from LG to ferry and Sechelt (or at least Robert's Creek); highway bypass so we're not jammed up with ferry traffic and unsafe logging trucks;
N/A
Gibsons is a real seaside gem with so much potential to become a charming vibrant tourism destination that people will make a special trip to visit and stay. Unfortunately it falls short of properly developing this business sector. The town lacks vision, tourism planning, refined amenities and ideas, as well as abundant and affordable accommodations. These things are all needed to attract more overnight visitors that will help create more favorable conditions and opportunities for local business whom are struggling to stay open. Gibsons is only a short ferry ride from one of Canada's largest cities. An ideal place for weekend getaways, girls spa trips, golf trips, office/business retreats and so much more. Gibsons should be booming year round. Unfortunately, the town has no amenities to support this level of tourism. The fatigued main street and graffiti riddled seawalls just don't cut it.
road safety, ie sunshine coast highway. bad road quality and safety features, especially at night time.
Nimbys
the number of AirBnBs, the empty houses (second or third homes for rich people who are hardly ever here), the building of apartments for millionaires, the priority given to enabling people to drive faster around town rather than to pedestrians, the lack of affordable housing for people to buy or rent, the surplus of expensive housing for people who don't need housing, not knowing if the people on my street actually live here or are just using the place as a temporary distraction from their lives in the city, new residents who think they're better than everyone else because they paid so much more for their house than the residents who have lived here longer
The only access to Vancouver is the Langdale ferry; we need a passenger ferry to downtown Vancouver, preferably the environmentally conscious solution proposed by Greenline.
Weather
Tall dangerous trees destroying infrastructure and blotting out the sun.
No proper dog off leash park, needs to be fully fenced in.
No curbside recycling
The threat of turning the town into a place for mostly the rich by your beach-side actions & plans for the future; the possibility of building more than 6 storeys high; inadequate transit service especially on weekends & when the Local bus cancels its side runs when we need them the most, ie. in snow & ice.
Upper Gibsons!
Over emphasis on bike paths; the tree bylaw
The ferries. Water shortages
multi million dollar bldgs with few restrictions on fly by night developers
[illegible]
Lack of affordable housing, little bike lands, no residential priority boarding, we need a better seawall
lack of progress and resistance to progress ie. The George
No parking!!
All the massive new buildings projects coming up! Please stop cutting down the few patches of forest we have left.....
high grocery prices, high gas prices both for no logical reason when Sechelt is cheaper - feels like we are lining the pockets of grocery store and gas station owners/managers
Can't think of negatives! Except the periodic sewage treatment plant stench.The Town seems to try hard to work with residents within the constraints of its powers. Some things require input and resources from other levels of government (focused example: keeping people from abandoning boats in the harbour area; broad focus issue: support for homeless)
The town clearing a very small portion of the sidewalk during snow days
Traffic calming measures needed (eg on Seaview at Beach), vacant waterfront properties with squatters, empty lots, marina needs repair, move forward with a "George-like" development, such a waste of prime waterfront land! What's the vision? Fast track permits! Bury power lines.
Lack of affordable housing. Lack of diversity due to housing.
How the Town is being run and the inconsitency of bylaw enforcement.
The need to use my car. The short-term and vagrant population; always needing but do not give in return.
Increase traffic and bad driving manners.
Too much traffic at ferry times
Traffic in upper Gibsons - ferry traffic needs a bypass (although this is probably beyond the remitt of the Town of Gibsons)
Difficult to use recycling, not good parking, dangerous
We need a few more local restaurants that are affordable
Lacking creative urban design that integrates innovation, sustainability, and taking advantage of ecosystem services (really highlighting our beautiful natural assets).
Lack of parking and congestion for trails
Not enough coffeeshops that stay open late
Separation of upper and lower.
Highway access for ferry traffic.. grid lock on every ferry off load through Gibsons
Length of time to get a building permit approved
The rapid, unthought out way development is happening. The way real estate developers are given so much leeway and how they take more than they give.The thoughtless cutting down of trees so people can have 'better views' ie Eaglecrest development where there were healthy trees outside of the developers jurisdiction that were killed so there would be unimpeded water views.Gospel Rock where the developer showed complete disregard for nature and the importance of the trees for wild life and humans. The destruction of arbutus trees.
Over development in Lower Gibsons, and poorly planned development in upper Gibsons. If you are going to put high rise housing in Upper Gibsons, make it look nice. No variances!
Nothing
[illegible]
Volume of tourists that speed around our town.
development of fragile forests
Lack of small town feel in Upper
Nothing
Transit doesn't come often enough, no evening life - shops / hangouts close early, grocery shops more expensive here than in city, not enough lighting on streets and highways..
Lack of marinas
Interest groups
Development changing the town character
Electric connexions should be all underground
Lack of protection of lower Gibson's jewel which attracts tourists and movie producers
Upper Gibsons is a bit sprawly/akwardly developed. More thought could be given toward making upper Gibsons walkable as new developments are permitted. Having more bike / walking paths could be great, and small businesses on the main floor of housing developments.
the graffiti
I would love to see streets with trees that protects us from the increasing hot summers Public spaces with trees where people can get together under the shade
It's pretty great, hard to find something wrong, but it does need a better community pool with more open hours
The ferry to the mainland
No parking
The ferry!
The ferry. Needs a commuter ferry
current council.
The ferry being so busy.
upper and lower disconnect
how easily forested areas are swallowed up by building new structures
Summer tourist traffic, unreliable ferry service, relatively high property taxes.
[illegible]
- Watching the quiet streets and businesses of Lower Gibsons in the Winter. We need to encourage tourism in the winter months to ensure local businesses don't suffer.- Lack of affordable visitor accommodation in Lower Gibsons which, coupled with some winter promotions and events, would really help the above situation (my friend tried to book the Landing Inn for Christmas and it's $440 a night!)
Changes in architecture are not cohesive with the cultural historical quality that is eminent to preserve for tourism and those who move here for it's preservation! unsightly undeveloped lots Corner lot at s hool Rd over developed beginnings of unnecessary developments and unessential retail
That a house on Gower Pt Rd, across the street from the public market (formerly the Barefoot Gecko) has gone from being a beautiful Mexican restaurant where many people gathered, to a creepy dive of a pizza joint with owners that do not respect the values that I believe most of the residents of Gibsons share.
Community division over (developer driven) inappropriate scale/type of development in the landing.
The sports fields aren't year round. They fall apart throughout the winter.
Car-centric design of the outlying communities and lack of sidewalks in many parts of town. In order for me to travel by cargo bike with my children from Bonniebrook to lower Gibsons, at several points I have to travel on dangerous highway shoulders or roads with no shoulders at all.
The lack of density in most areas.The ALR is being reduced and allows development of non-farming projects.That certain politic action groups have been able to run rough shod over developers and never penalised for the damage they've caused to the community at large.The fact that one such activist was even allowed to run for council despite having unpaid court fees adds insult to injury and illustrates that some laws need to be put in place to prevent bad actors from further holding back progress.
Developers have their eye on it.
No dislikes, but I want people to thrive here with access to actually affordable housing options. As we grow, making sure Gibsons isn't just for the advantaged but for people with low and moderate incomes too.
Upper Gibsons looks like a collection of strip malls and walking along the highway as the only real option is unpleasant. The industrial mixed in with retail feels unsafe for pedestrians.
Public transport and cost of living for a young family
Lack of decent restaurants.
Some rough areas
Ferry traffic
The uptown sprawl
Nimbys and rednecks that litter.
Most bothered by having to travel to Sechelt or Vancouver because some service is not available in Gibson. But understand the smaller Gibsons population can't support everything.
gossip and mean spirited debate rather than open discussion
Limited sidewalks, it would be great to see a buffer between cyclists/pedestrians and vehicles.
Could use a little more parking.
I'd love more frequent buses - it can be hard to get around on days when I don't have a car.
Strip mall
Ferry traffic jams, parking in lower Gibsons
The large developments that have been approved. It takes away from the village feel. This is a town of 5000 & the lack of basic infrastructure and its maintenance shows.
the Ferry, stores closing early, the unaffordable living costs (groceries and housing)
Traffic bottlenecks, everything closed on Mondays.
nothing comes to mind
Lack of affordable living options
Upper Gibsons commercial area because walking around is unpleasant. If there were trails connecting all of upper Gibsons that would improve things. Mahan trail is good start. If you could easily walk from IGA to Sunnycrest for example, and the Highschool, without having to walk along the highways that would be good.
Public transportation
lack of public transportation
Limited vehicle access through the Town, but just avoiding ferry traffic times works, and I can live with that. A highway bypass will affect the current and future commerical opportunities
Things not open late enough
Too many trees being cut down and not enough being planted.
The ferry traffic that comes through town.
Burocracy
Lack of choice for shopping.. would rather go to the city for Walmart. Even Powell river has a Walmart..
There's too many old people.
The town tax base is too small to achieve our goals. This is a bigger picture issue. We have three elected municipal governments, and a lot of crown land along with two sophisticated indigenous Nations, unless someone takes charge to effect change with all involved it will be difficult to achieve our goals.
That the current council is too pro-growth and has obviously got a bias towards developers, who have no interest but making money, although they pretend to care about our community and the environment. They use the catch phrase "affordable housing" which is totally undefined and stupid from an economic perspective to justify letting developers run roughshod over our little town. This needs to stop!
Tourists
New neighborhood lack of character
Growing lack of affordable housing for people of limited income. Developments geared to the rich.
• Lack of a 24 hour emergency medical facility. • Heavy traffic from ferries routing through Upper Gibsons every two hours, especially in vacation season. • The haphazard condition of sidewalks on Gibsons Way from Shaw Road to N. Fletcher, particularly on the south side between School Road and N. Fletcher. Walking on pea gravel can be hazardous and it's impossible to clear when there is a snowfall. • The destruction of older homes to replace them with monster homes that don't fit the neighbourhood styles.
Lack of paths next to the road to safely walk and run. There are trails and paths on some streets but these are not continuous. The cars speed past runners and walkers and it's unsafe. Our street has a walking path but if two cars are passing, one car drives on the walking path! There isn't much focus on Indigenous people who lived here - we name parks after settlers rather than Indigenous people and names eg. Winegarten. Too much time spent on "catching" people who gave Airbnb - we need tourists to come to keep businesses and restaurants flourishing - you can't depend on the locals all the time. I know housing is important but so are tourists. Would like to see a street festival/non car day for the community to gather. Even Main Street in Vancouver can do it! I miss the parade.
Poor decision making by council.
Cost of housing.
The amount of residents resistant to change and growth. Lack of hotel accommodations in lower Gibsons. Loss of feeling safe walking alone at night. We had more police presence in the late 90s early 2000s.
The SRO and the out of town homeless people it has attracted
There's weirdly little protected trails and parks? Sometimes a green area will get developed and your beautiful trail is gone.
Upper Gibsons' plaza and parking lot design and car-only feel.
challenges for small businesses to survive and high costs for small business
The politics and the runaway densify at all costs mentality. Gibsons is already one of the denser small towns in B.C. but Town Council is promoting more and more. We've already exceeded our ability to sustain the town if all the approved developments are built. Sloow Down and ensure the town doesn't become another White Rock. Ensure new developments pay for the increased infrastructure needed to sustain the increased population. I believe we are in danger of obliterating the dream of a seaside village and are moving rapidly to an overpopulated, under-served town that used to be a jewel. We can't possibly build enough houses in little Gibsons to provide housing for everyone. Building more million dollar condos isn't doing the job. It's not possible to build our way to "affordable" homes. We don't have enough land, water or infrastructure to build exponentially more houses and hope there is enough resources to support this. Our council and planning dept. seems to want a quick buildout of every
Not enough ferries. Hourly would be great
The housing developments. I feel there could be more thoughtful approaches when designing developments that incorporate the natural beauty of this space rather than clear cutting. We live here for a reason - because of the natural elements.
road system was not built with growth in mind and only provides for two ways in and out of lower Gibsons -- school/gibsons way and Pratt rd
I have small children and I think the quality of our education system is sad. So captured by ideology. And yet reading writing and math scores have never been lower. Many young parents are looking at home schooling and it shouldn't be that way.
The ridiculous amount of red tape it takes to move things forward.
How dependant on my car I feel. Some journeys are hard by foot/bike and transit is good but infrequent
It's a small town
Too many taxes
The town council. Figures they have become elitist and are bowing down to money and rich developers. Ruining our nice town
Too many over height apartment buildings being planned. 6 floors should be the maximum height
Politics, shady money laundering development, money seems to override the natural land and beauty.
Winter
Derelict waterfront properties & abandoned boats makes it look like a hick town.
Priority for the tourists over locals. Priority for the wealthy coming from the city over the middle class in terms of housing and costs of living and amenities. Lack of Priority for disibilities and people of lower-middle class. Locals need to have priority with regards to the transportation, housing, and infrastructure over tourists and people who live in Gibsons part time.
The nimby element. Being obstructionist when it comes to change
Speeding along Marine Drive, no walking path along Marine Drive
Vocal minority complaining about everything.
Lack of affordable housing
Push on multi-story supportable housing
Industrial areas highly visible in upper Gibsons. too many waterfront parking lots in Gibsons landing where there should be waterfront small businesses
Protectionism... we're in this together
The rapidly overcrowding of beaches during the summer months
Boat trailers parking everywhere in the summer
the new building that is blocking the view
Lack of a cohesive vision in Lower Gibsons. Lower Gibsons should be protected for tourists and movie making. Go to town in Upper Gibsons with all the highrises you want.
No dog park
Existing and new residents unable to find a Dr.
Can't think of anything
How unfriendly Upper Gibsons is to walking. It's not a large space but setbacks, size of the road/highway, lack of density, etc. all make it feel like it's just you and the cars.
Downtown architecture is old and dated and lacks the appearance of any community planning, and lack of hotel options particularly in the Harbor area.
Wish there were more hiking trails (like Powell river). Wish there was more marinas so our boat could be in gibsons instead of Sechelt. Ferries that aren't on time which then means you can get the local bus which is very frustrating.
nimbys. Lack of growth. Lack of forward thinking
Not great walkability between downtown and uptown
Lack of affordable housing
Reliance on BC Ferries and the traffic in upper Gibsons. Terrible hours and resources at the swimming pool. □
Limited ability to cycle around
Overreach of local government.
Fire risk - no buffer zones, trying to 'grow' it without consideration of why people live here in the first place, um....rednecks who still think it's 1975 in terms of wildlife management and forest management
barley any fun activities and i heard not much jobs
The resistance to change and growth ! Look at small towns in other parts of the world. They have protected their natural beauty and environment while growing their community.
The sprawling upper Gibsons. The mall area (so much parking lot, not a lot of vibrancy). The mall should have housing above the mall itself and courtyards for gathering spaces.
The lack of options for my young family for recreation. The only options during the winter is strong start and outdoor playgrounds, and walking trails. The summer there is more because of the weather. There is not many options other than the pool which is not open for a long time. The need for an indoor playgrounds area or other programs is lacking because space fills up quickly. The cost of groceries because there is a lack of competition on the coast. Powell river has cheaper groceries. The lack of sidewalks or walking trails for walking our kids going for a run on or around the streets. Whistler comes to mind for having great trails running parallel to the roads.
It's growth
Ferry waits
Challenging to bike safely, need more support for growing and producing local foods
A slight sense of decay in Lower Gibsons.
How it's changing and losing its sense of place. It's turning into anyplace USA. It's losing it's community feel.
high cost of groceries/food
Too many wood fireplaces causing pollution
BC Ferries, especially unreliability because of breakdowns, crew shortages, and excess demand for service forcing us to wait one or two sailings. Also exorbitant fees.
Poor health service
Limited cycling and alternate transit options (though this applies to not just the Town), the town is becoming increasingly expensive and as a business owner sometimes it feels hard to get things done through the administration of the town.
Everything takes so long to get done. Not enough street lights. Cost of living is so high businesses struggle. Ferry winter schedule is simple unacceptable.
Honestly, nothing. It's a lovely community.
Potential developer threats to aquifer
The ferry to go too
Runaway development
Neglect of places along the sea walk. mollys reach allowed to decay while spending considerable money on Persephone. Also lack of progress for waterfront developments between wine garden park and the market. Intersections at top and bottom of school hill.
Not bike friendly. Traffic is frustrating and dangerous when walking and biking into town.
Ferry system
Inadequate parking transit in summer when tourists appear
lack of quality short term accommodation
Lack of local businesses
Multiple levels of government are wasteful and inefficient for such a small population. The SCRD should be combined with the towns to consolidate costs and to work together to manage housing plus all other challenges. The town of Gibsons has little land and cannot solve the housing issues alone, where as the SCRD is rich in land with opportunity for development. □
We need a pool with full services and better operating hours. We need more sidewalks and the ability to safely walk from the BC Ferry terminal to lower Gibsons
Gibsons is a great town that will continue to evolve.
Development properties that are sitting as clear-cut land with no further development happening for over a year or more.
Inadequate public transport bus, ferry, taxi
The fact that all groceries etc are on top of a giant hill
Clear cut lots and no control on tree cutting. Also that you see tourists wandering around wondering what else to do, when there's a lot more for them to explore especially businesses - I don't think we fully leverage visitors for the benefit of our economy.
The local government
Gibson's way (101) busy with traffic... we need a secondary road to Sechelt off the ferry bypass.
lack of parking in lower Gibsons
Lack of outdoor recreation accessible to youth like pump tracks for biking.
The ferry is too busy, no bus route far enough up Port Mellon Hwy.
Degrading and aging infrastructure.
Commercial strip from Hough to Pratt.
upper/lower divide
Difficult to get around with highway running through middle of upper Gibsons
Any thought of the George being built. I cannot imagine anyone looking forward to it. The walk down to the Gibsons Market is very depressing.
NIMBY retirees who oppose everything without regard for younger working people and families with young children
[illegible]
Growth that not give sufficient consideration of required infrastructure. Tall buildings in lower Gibsons detract from its seaside character.
The water restrictions worry every year. I also do not like the lack of some stores that I need to go to Vancouver for. Such as a small Homesense and Staples. I also would love an hourly ferry back and forth to Vancouver.
Ferry traffic
Ferry traffic. Quantity of housing is prioritised over quality. We are going to be stuck with the minimal-standard, depressing housing that Town Council is allowing forever. Gibsons will become an undesirable place - like Maple Ridge.
Its actually two towns with distinct personalities. Lower Gibsons is entirely different from the essentially characterless Upper Gibsons.
The crumbling, old buildings facing the waterfront and the unkempt landscaping.
I am disturbed about the taxes in this town. Recently, I was parked outside of the municipal hall and watched four municipal workers do absolutely nothing for close to an hour. And tax payers foot this bill. How many times is this scene multiplied. I would like to see less waste - maybe we wouldn't have to raise rates so often. I did write a letter to the town in July but just got a form letter back which of course was not adequate for me. You seem to only pay attention when you are seeking votes.
The boring and ugly strip mall approach to development in upper Gibsons.
strip malls, ugly architecture
Road infrastructure
Current mayoral leadership and lack of transportation and housing.
Gibsons Town Council and upgrading recreational facilities
Nothing
The scruffy appearance of buildings along Gibsons Way
urban sprawl along the hwy
Untended laurel hedges
Current patterns of development at odds with objectives for environmental protection, biodiversity, and climate resilience
There's no bike or walking lane on marine drive. There should be one from the ferry onto the town of Gibsons. So that people can safety walk or cycle and use their cars less.
crotchety folks who complain on Facebook about everything.
Too few restaurants with poor open hours.
[illegible]
[illegible]
HILLS IN SNOW. lol I know you can't do anything about that. uh it feels dead after 5 because most businesses close in lower Gibsons. I wish I had curbside recycling, I don't have room to store a lot of recycling and waste a lot of my time just taking my recycling back.
xxx
Having to wait for the ferry when travelling to Vancouver
The land mismanagement that doesn't apply the best available science and information and pushes an unsustainable development agenda.
People being NIMBYs.
Lack of affordable accommodation and limited RCMP presence
Lack of community services for aging in place.
Walking in town is nice but biking is very dangerous.
Very happy here after being a resident for a year and a half
The lack of affordable housing
Unreliable ferry system - getting stuck waiting for late ferries happens more often than not. 2nd would be that the town closes down pretty early probably due to lack of population to sustain businesses (thinking of so many restaurants that have closed.
Almost all commercial gathering spaces in upper Gibsons front a noisy and smelly highway/stroad.
Worrying about rapid growth , especially worried about high rises, traffic issues, parking issues with 2 cars per household means we will be parking on the street even more, ruining the small seaside feeling. Keep Gibsons Quaint !!! 🙂
'upper gibsons' along the highway feels like ugly suburban sprawl. it would be great to have apartments and dense housing here, to allow people to live near grocery, shops, etc. are.
Worried about increasing crime.
nothing
I do not like some of the new development without any improvements to the infrastructure. Some of the road networks are a joke and an accident waiting to happen. Scary, to say the least. I also abhor and am terrified of the electric bicyclist's speeding on the trails with no respect to pedestrian traffic and their leashed dogs. No warning as they approach from behind at top racing speeds. It is NOT okay. I do not like structures higher than three stories, especially where they block the waterfront. Think Steveston, where all new development is done tastefully to preserve the waterfront and fishing village ambiance.
No indigenous representation. Chekwelp has an amazing history which was wiped out by smallpox. Stories need to be told.
hard to find anything
Lack of socioeconomic, demographic, cultural, and ethnic diversity
Ferry costs
Lack of affordability
Ferry traffic, need a bypass.
roads are in bad shape,and car and truck traffic is increasing on streets that are not laid out well
Burgeoning local government overreach.
Infrequent bus, unreliable ferries
No affordable housing. You should be able to pay rent and eat.
Lack of priority for residents on BC Ferries
That some citizens are afraid of change
[illegible]
--need for more variety in retail stores e.g. shoe stores, children's wear, book stores, though Sechelt is near for car owner--public bus service should be much improved for seniors and low income folks
[illegible]
that I can't be more often in Gibsons
Lack of bike pathways and the congested highway
Wasted business spaces - Crescent Mall could be rebuilt to have housing on top that would support business. Sense of sprawl.
Traffic density, lack of parking, parking in tight places, gridlock during ferry unloading, the crematorium inside the town which is constantly burning these past 4 years. For a town which boasts tourism, there are very few places to stay for visitors.
-
Our business taxes have tripled in the past 7 years....it has taken money away from our family that we would have spent here in the community. I worry that if local businesses aren't valued by local government then the only businesses that can survive will be larger corporations that don't keep their money in the community. I also think there needs to be more affordable recreational opportunities for families, children and youth.
Upper Gibsons has failed to maximize its potential. While the new sub divisions are not unpleasant they could have been designed with much more flair. A greater mix of housing types/density and a few more open spaces. Hwy 101 through the centre of Upper Gibsons continues to get more congested and with new housing along Shaw and surrounding area the current traffic lights fail to maintain any flow.
Loss of natural landscape, trees. With increasing temps we need more shade. Especially play areas and at schools.
The lack of forward thinking in the past. (That applies to the entire lower Sunshine coast!)
The strip development of upper Gibsons, the lack of a better developed waterfront walkway, restaurants going out of business too frequently, too few restaurants, lack of hotel/resort accommodations.
Tourists
No bike trails and dangerous to ride a bikeNot enough ferries in the summer
There is no WALMART or WAlmart type store. The few clothing stores like 'Fields' or 'Red Apple' are pretty bad.
Ferry traffic and lack of safe walking routes away from the noise and pollution of traffic.
We need more youth amenities, need more frequent bus service, feels unsafe to bike in Gibsons,
Disconnected / non accessible pathways along nature and water. Not a cohesive tourism structure- too busy in summer to get a coffee or a meal but too quiet in the winter to keep many businesses profitable.
Through traffic on Hwy 101. Need bypass.
Parking is awful, and I'd like to see Mollys used as a restaurant, with a studio vibe from the well known show. So many people ask about souvenirs and would love to see the sets. Imagine the money we could bring to the community if we had a mini universal Molly site.We also need more doggy poop stations. And the visitors centre is no central for tourists. We get asked daily info on our town and where do we have a washroom? It is not up to the store owner to provide and clean up to after people using their private back areas. There is so many areas that could be fixed and make our town so much more. Less studying and more action and get the job done.
Ferry traffic
the close mindedness when it comes to a boutique hotel on the inner harbour, and restricting vacation rentals in houses on the water. I get it in areas that are more low cost to make sure people have a place to live, but not in the high cost, high tax areas that rentals will help to keep affordable to local people that like to travel at different times of the year.
Affordable housing buildings for drug addicts
smoke from chimneys, dogs not leashed, noisy lawnmowers and leaf blowers and weedeaters run every day of the week and anytime of day. Restrictions and By Laws needed for better control.
NIMBYISM, lack of affordable housing
Restaurants being closed permanently e.g. Molly's Reach :(or many on the same days - e.g. Monday & Tuesday.
The highway going through the centre of town.The dearth of housing options.
ferry traffic
lack of infastructure vision-as growth is inevitable
One-lane road to sechelt
Lack of night life and winter activities.
A better taxi service
drugs, lack of family doctors, lack of doctors at the regional hospital and the lack of frequency bc ferries.
Lack of shopping eg food stores over charge most people shop Vancouver to save $$$
Lack of accessibility to waterfront for people with disabilities/ those ageing. The Gibsons pool should be a walk in. Lack of RCMP presence.
The nit-picking and 'Nimbyism' of many residents!
Highway 101 going thru upper gibsons ....need new inland highway all the way to Sechelt
Ferry service
Lack of housing options and affordability
Lack of affordability of things like groceries
Punitive commercial property taxes make it difficult to operate a business.
Untidy sidewalks, drains.
Only accessible by ferry
Speed of traffic along Marine Drive
ferry access to and from the mainland
Steep hills
People who move here want to radically change things
Nothing
The traffic during peak summer season and inability to park anywhere near the waterfront. I feel unsafe biking along marine dr. from my home in west Howe sound. Would be great if there could be a partnership to develop a bike lane from the ferry to lower Gibsons along Marine, both for tourists and locals.
Outdated waterfront buildings and infrastructure
West vanners coming and want the same thing they had in west Van
Parking
Traffic - no bike lanes
The roadways need major upgrades and need to be made bicycle friendly.
Gibsons way is not a great place to walk or ride a bike
Can't think of anything.
The big red building in lower G.
"The building code for residential real estate is all over the map from too small to too large and without a cohesive element of quality

Upper. It needs to look and feel more like lower
Some buildings need updating.
Ferry traffic
lack of quality landscaping near IGA and parts of 101.
Tourists
Ferry service.
Too strict policy for tree removal on private property
Growth.Highrises.Densification.
Fear that tall buildings (condos for example)will be allowed down around lower Gibsons
Too many roads, like Reed Rd, have no safe walking access. Very dangerous. I have come so close to being run down many times.
Surveys
[illegible]
High speeds on local roads. More speed diversions such as speed bumps crossing walk lights are needed. Safety of pedestrians is a must.
Building huge hotel (George) in Lower Gibsons ruining the peaceful character of our small town
Wholesale development attempting to satisfy densification.
Few cultural/community events (adult oriented)
Upper Gibsons is ugly as hell. Terrible town planning. Fast food and car lots is pathetic
Not growing fast enough and the people who like it that way.
Electricity poles
Traffic on the 101. Restaurants can't seem to stay open.
The hill between the lower part of town and the upper- wish we had a way to get up and down that was easy and fun.
The group that wants Gibsons to remain the same. Growth and development are not at the peril of the small town feel but I believe can be done with thoughtfulness and future thinking
City planner who asjs for input on carriage houses and then doesn't make the owner follow through with their plans when they make Renovations
Lack of water supply
Ferry traffic funneling through
Overregulation
Not enough support services we are going to end up like sechelt with high crime
Lack of support for most of the businesses
[illegible]
The council, the way they make promises and break them. That they engage the public for shits and giggles with ZERO intention to do as the public wants. That the council is full of drunks and they got in cause they are all buddies. That our mayor is a raging alcoholic
No bike trails
Parking
Housing costs and limited housing typology
Lack of safe cycling routes and cycling spaces for kids such as pump track. We should be encouraging kids to ride and building a safe network of trails and cycle paths
Needs more restaurants and shops!
It could have more events for families, it also could offer more for youth to do.
[illegible]
The ferries.
Tourist traffic
lack of sidewalks (or safe walk areas) and bike infrastructure outside of town centre on major roads (ie parts of Gower Point Road, along the highway in both directions, Pratt Rd.).
A1 pizza
The lack of public transportation that has everyone who lives here or visits needing to have access to a car in order to visit up and down the coast. I also don't like the town agreeing to developments like the one on school and Gibsons way that will bring crazier traffic in lower Gibsons when most residents don't want it. It will not alleviate the housing problem as these will all be expensive, million plus units that bring new, wealthy people into the town rather than helping those who already live here.
Missing sidewalks. Few places for Live music and dancing. Highway-centric upper half.
Smell from sewer treatment plant, poor lighting
The horrible smell of the sewage plant!
Town leadership without feelings, involvement, education of indigenous ways, health, security, redistribution or even common sense.:The strength is to recognize failure, not continue at any cost.:(Debt forgiveness may not happen, yet it is no excuse to take advantage of inflationary politics without redress to physics, local health and local taxation that uses a narrative of self created employment in bureaucratic power, not ability. Response and ability, are two words with meaning.:Response to a forest fire is what? Run away?We need better creative management of fireproofing forests, identified and transmitted to council 30 years ago.The same is true of the aquifer.Response and ability to respond, not sit in comfortable meetings forever, making new meetings.
Hard to find something bad to say about gibsons
Cost of living
Nothing
Safety of some intersections for biking/walking. No safe way to get to the ferry on bike or foot
Outside of town boundaries, the area is not safe for walking or biking in many areas.
Too many people stuck in their old way of thinking
Lack of support for tourism
Access to Vancouver due to bc ferries reliability. Un affordable housing for young adults who want to return to their home town to be with family and raise their own families
resistance to change, not understanding that supporting tourism is supporting the community.
There's very little meaningful employment opportunities and the cost of the ferry for full time residents.
Parking is a challenge
Challenging local economy and expensive.
the lack of services and activties for youth outside of sport
There is a significant lack of recreational options and a shocking lack of support by local government to improve it. It's time that changes.
The planning and streetscape along the highway in Upper Gibsons. The highway streetscape is very "car oriented" (with no multi-use path or acceptable vegetation or consistant tree plantings)...any new development in this area has to do a better job of this (and TOG should work with MOTI to come up with a road specification in this area).
Not enough affordable housing for single people
Isolation
No Parking
Poor walking and cycling network in both upper and lower Gibsons. Few services in lower Gibsons and upper Gibsons services spread out and poorly connected.
Upper Gibsons commercial strip along highway
[illegible]
Gibsons is not prioritizing the right kind of housing projects. Eagleview, Billy's Walk, and other projects in town are geared towards wealthy investors and part-time residents. Those kinds of residents do not support the community, and charge middle/working class families high rents to cover their property investments.
IT / Tech employment opportunities are very limited.
Most things
The downtown core is unkept and now embarassment. We we desperately need higher end accommodation to support a unserviced demand. Facility like the George would be perfect fit and would be very much appreciated by Tourists and the local community aside from a few loud individuals that are just simply negative about anything that constitutes change.
The lack of mixed housing options/developments. Why keep everyone in each box. Create affordable housing in with regular housing.
Unaffordable for many younger people and families
how extremely difficult it is to meet people
The apparent push to grow the town to look like Nanaimo.
Lack of housing
Sunnycrest mall.
Nimby old farts
The affordability, and the people who blame the employees for the problem.
The unrealized projects sitting on what could be beautifully designed places and instead feel abandoned and economically depressed.
Polarization over development
The lack of lighting at night.
Developers and big money. Unfettered end-stage Capitalism removing character, artists, writers, etc and replacing it with people hoarding housing
The bland american suburb look of Gibsons Way in Upper Gibsons.

Phase 1 Engagement Survey - Ottawa OCP Update

What changes would comments would you like to see in the Town of Ottawa over the next 20 years?

Answer

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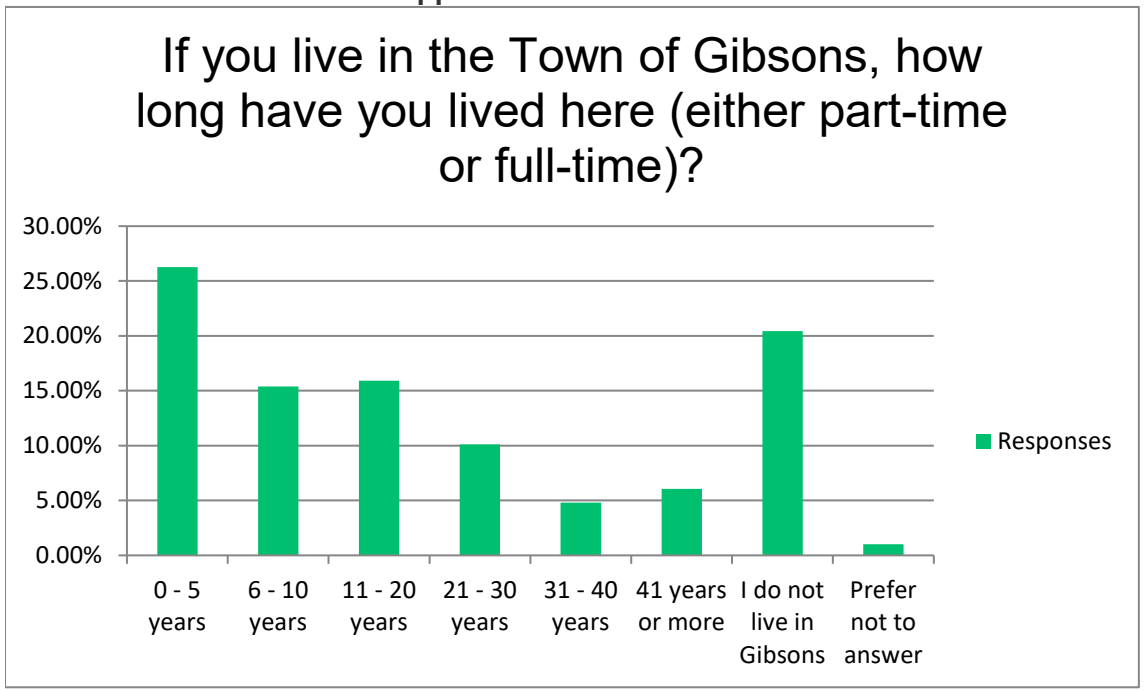
140	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
141	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
142	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
143	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
144	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
145	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
146	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
147	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
148	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
149	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM
150	04/01/2026	01:14:00	PM	04/01/2026	01:14:00 PM

Planning for serious climate change
I'd like to see the seaside trail near the marina updated.
More housing for everyone, through traffic routed around town, protection of natural areas in and between neighbourhoods
more community events - Christmas time, (carolling), Easter Egg hunts for kids, following other seaside communities for their events . Sandcastle competition not easy, but other things, like Creekdays, Sechelt Market
None
I think there should be more government support for the public market.
More affordable housing , greater variety of retail services, allow property owners nore freedom to choose to remove trees on their own property
More bike lanes.
All tall buildings to be located in upper Gibsons
More water
Better walking paths in town.
public transit
Better traffic enforcement
Beautifully designed housing..,getting homeless people off the streets and into appropriate housing
More community based events
Chasing developers out of town.
Building fewer giant houses and more multi complexes for a wider range of incomes. Independent senior housing combined with family housing.
Many more condos. Better pool.
Keep as it is
Better management of coastline including protection. Better traffic flow. Reduced vandalism and crime.
Enough housing for what is needed. Maybe more housing for single seniors -so smaller units. More work done in emergency preparedness so we all know what is our safe community area -installation of solar panels where is feasible for the town and every move we can make to be ready for more serious climate impacts. Closing of some key streets sometimes to allow kid play and adult engagement-there are many examples of this in Europe.
Building
The town arborist saying trees are not at risk when they lean over into property owners yards . Even with ivy growing up the trunks . They would rather them fall onto houses first so it's not their problem Why bother have owners put in plans and variances given or can be changed after completion..... the city planner comes back oooh that was an oversight and if it becomes a issue please let us know Why the delays on the George when long man can get green light for the same area
Safety
More sidewalks for walking, busses more frequently and later
Improved infrastructure to travel by eBike and other similar non-car options.
Infrastructure to support growth. Fix our roads
Take a bigger interest in local business support
More development seawall with connections to parks, restaurants, and shops on the water. Better designed buildings. If you want to maintain a seaside character the design guidelines need to be more stringent and more closely upheld (no relaxations) (see Santa Barbara California)
I'd like old promises kept. I would like to see non alcoholics running our town. I would like our town meetings not held at bars
More trails and businesses that you can access by walking and bike
Sustainable growth
Diversification and increased flexibility in OCP for innovative design, buildings and natural assets protection or supporrs rather than one-size-fits all hyperspecific regulations. Less focus on parking and more on transportation alternatives including reliable passenger ferry directly from Gibsons Landing to downtown Vancouver (perhaps partially subsidized or invested in by Town of Gibsons?)
Cycle routes and bike skills park in an accessible location within Gibsons.
More running tracks, trails, restaurants and bars. More frequent public transport
It would be great to see more amenities for youth and families, such as a pump track, so many smaller communities benefit from having them and are used by people of all ages. The coast is a mountain biking destination and it would be very well used.
Bike paths, affordable housing, thriving businesses
More access to mountain biking! More local businesses. Making more land accessible for different businesses.
Improve the old and worn out buildings and spaces that already exist instead of building more and expanding
affordable family housing, safe sidewalks and bike lanes along highway , main roads see #15)
[illegible]
New builds should reflect a small town, coastal look and new developments should be restricted so as to keep our town sustainable water wise and density wise. Improve transit to enable our aging population to access shopping, social and medical needs, and to enable residents to get to work without everyone having to own a car in order to get to work.
More affordable housing for families, climate adaptation in new building, community shared workshop.
Upgraded sewer treatment plant, and improved lighting
Sewage treatment plant improvements to ensure smell doesn't continue to waft into residential areas or Dougal Park. Activation of commercial spaces along the harbour, and lighting improvements to promote year round walking in lower Gibsons.
Dethrone the priviledged who are drunk on power and use semantics to continue the image while doing more damage than intended.Did you know if you say "don't cut trees" people will immediately cut trees?Did you know if you say "please read the rules" nobody will ever read the rules, including your own faculty.
-The current skatepark is great but a new one or an upgrade to the current would be amazing.-having a pump track or dirt jumps for bikes would be a great addition to upper gibsons-We have the rec centre but I feel like there needs to be more programs for the youth to engage in. -more events like the night market in lower gibsons would be delightful
Housing
Xx
Pedestrian/bike infrastructure improved. Improved trail connections. More developments like the new one on Shaw Road
A new aquatic centre, a pump track and bike skills area next to the skateboard park.
Proper bike lanes
Pump track/skills park accessible for all ages and skill levels. ie. Powell River and Cumberland
Improve road conditionsEncourage / incentives for needed retail Add onto rec centre to provide indoor sports that require gym space.
more public transit infrastructure. Bike lanes along highly trafficked tourism cycling routes such as between the ferry terminal and lower gibsons. supporting environmental tourism such as hiking, mountain biking, and kayaking/SUP as they bring a huge influx into the economy without needing to directly compromise natural spaces
I'd like to see a few good businesses move or open here so that people had the opportunity to work where they live. Most of the jobs here are low paying or they're for healthy young men. There also need to more affordable rental housing priced at what those service industry jobs pay. If somebody is making $17.50 at the grocery store there should be a places for them to live or else how will the town function.
Living sustainably with the environment
[illegible]
A DOG PARK, more playgrounds, traffic planning
[illegible]
(1) Higher density (tiered) within walking distance of Gibsons Landing along/near School Road. (2) A small fitness facility in Gibsons Landing. (3) More density in and around the Gibsons Market. (4) Relax short term rental regulations to help the tourism industry (and help foster off season tourism).
I would like to see more tiny homes and ADU units. Specifically in places that they are not currently allowed.
affordability
More housing
Focus on improving livability. I am concerned the TOG is focusing too much on increasing housing but not also increasing the accessibility to the sustainable transportation, recreation and cultural centres.
Partnerships to create affordable housing, easy access to waterfront to remain, including open spaces and parks,
Proliferation of mid range homes. (Modest sized family homes, laneway homes, duplexes, triplexes etc. rather than increasing both subsidized housing and/or large luxury homes)
An emphasis on afforable housing for families, disaster preparadness (fires, earthquakes), resilience to climate change.
More office space for Tech industry. Better street and laneway planning - for example, a laneway connecting Crucil and North Rd between Gibsons Way and Hillcrest would be much needed. Parts of Gibsons feel disconnected as the roads do not connect these areas well.
Cheaper housing, cheaper bus fair, less plastic waste and more sustainability, less trees cut down
A louder voice from a larger demographic that does not get involved in making their visions for a better community known. The town is manipulated by a group of individuals that are really quite small, but actually stand up to speak. If there could be an encouragement from the larger section of society to stand up and allow counsel to have the backing for positive change.
Development of mixed housing options where there are houses, town houses, apartments, commercial space mixed into 1 development
More affordable housing, while maintaining the small town character. More, smaller apartment complexes instead of huge skyrises.
Shuttle buses, not just Metro buses, help for those with physical handicaps, more food shopping variety
Protection of the waterfront. A bigger Library.
Sustainability, upgraded infrastructure, additional housing, community pool with sauna/hot tub/steam room.
More events that are family friendly. Christmas parade! Fireworks! Renovate Dougall playground
Updating the old run down parts of town and empty lots
More affordable housing and better public transit connecting both lower Gibsons, Hopkins and Bonniebrook.
Turn the waterfront into something truly wonderful. With more colourful shops, apartments, landscaping and a unique and beautiful place, that we all can be proud of.
Quality development along the waterfront - the Harbour project goes ahead - ideal world The George is smaller
More laneways should be added to better utilize space. For example the block between Gibsons Way and Hillcrest Road could easily support a Laneway that would better use land and add substantial laneway housing.
Regional library system. Bigger rec center like in Sechelt. Gibsons pool absolutely SUCKS
Develop the 15 acre Seacliff property behind IGA. Develop more housing, office space and mixed-use buildings along Gibsons Way throughout Upper Gibsons.

Phase 1 Engagement Survey - Gibsons OCP Update

If you live in the Town of Gibsons, how long have you lived here (either part-time or full-time)?

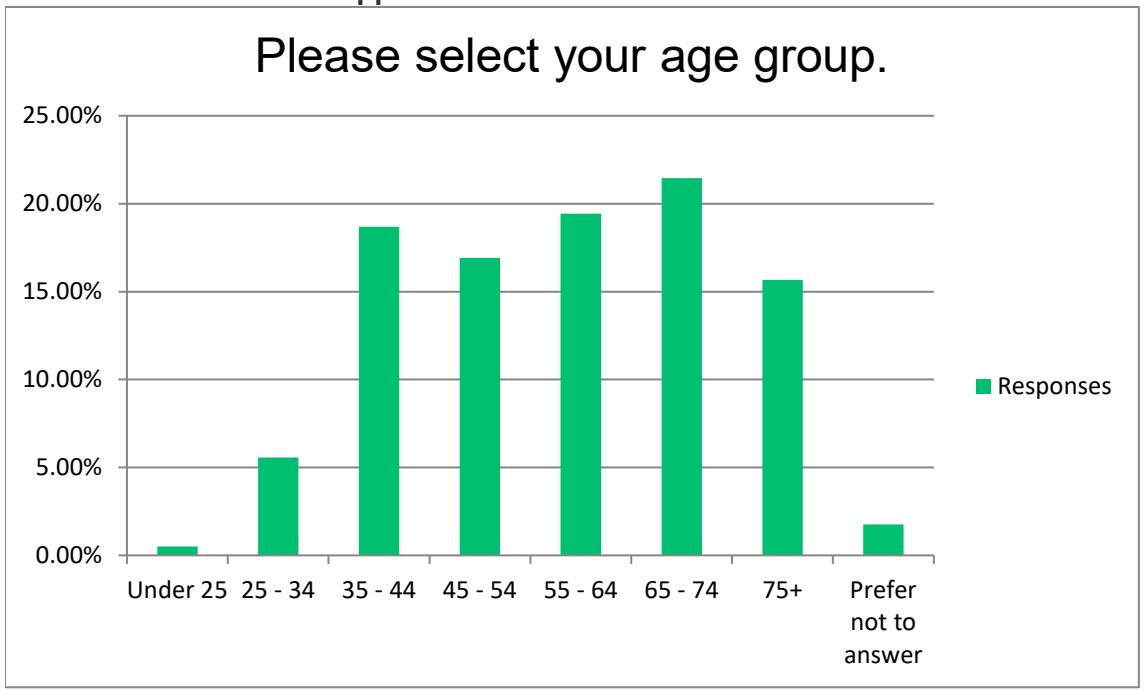
Answer Choices	Responses	
0 - 5 years	26.26%	104
6 - 10 years	15.40%	61
11 - 20 years	15.91%	63
21 - 30 years	10.10%	40
31 - 40 years	4.80%	19
41 years or more	6.06%	24
I do not live in Gibsons	20.45%	81
Prefer not to answer	1.01%	4
	Answered	**396**
	Skipped	**133**



Phase 1 Engagement Survey - Gibsons OCP Update

Please select your age group.

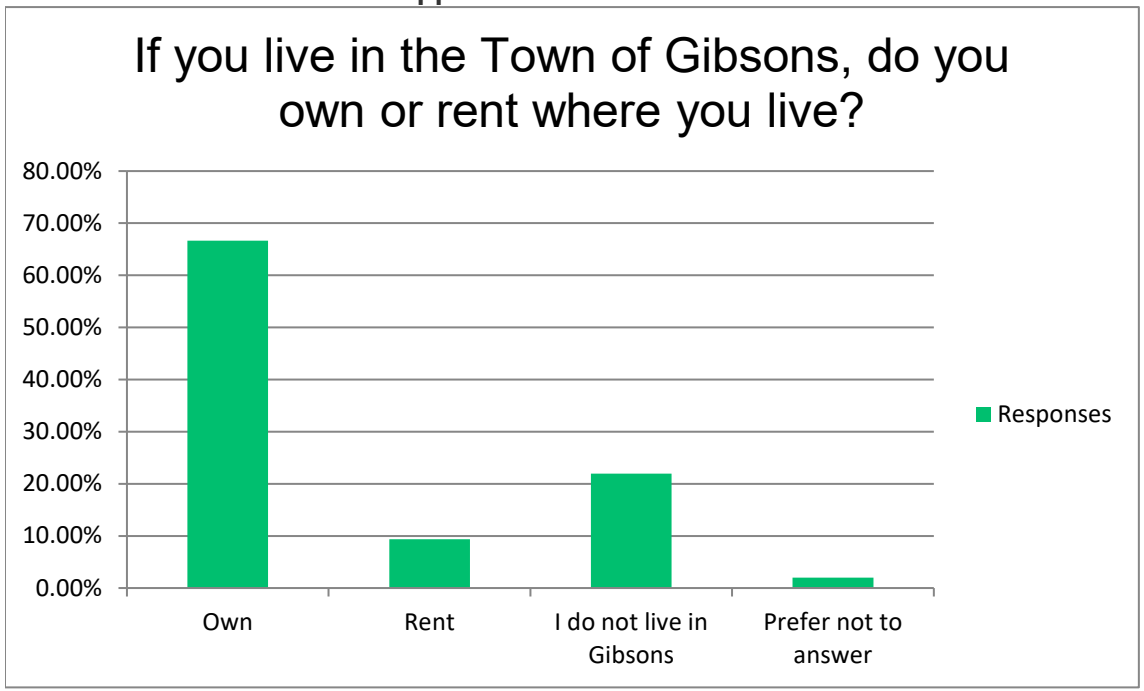
Answer Choices	Responses	
Under 25	0.51%	2
25 - 34	5.56%	22
35 - 44	18.69%	74
45 - 54	16.92%	67
55 - 64	19.44%	77
65 - 74	21.46%	85
75+	15.66%	62
Prefer not to answer	1.77%	7
	Answered	**396**
	Skipped	**133**



Phase 1 Engagement Survey - Gibsons OCP Update

If you live in the Town of Gibsons, do you own or rent where you live?

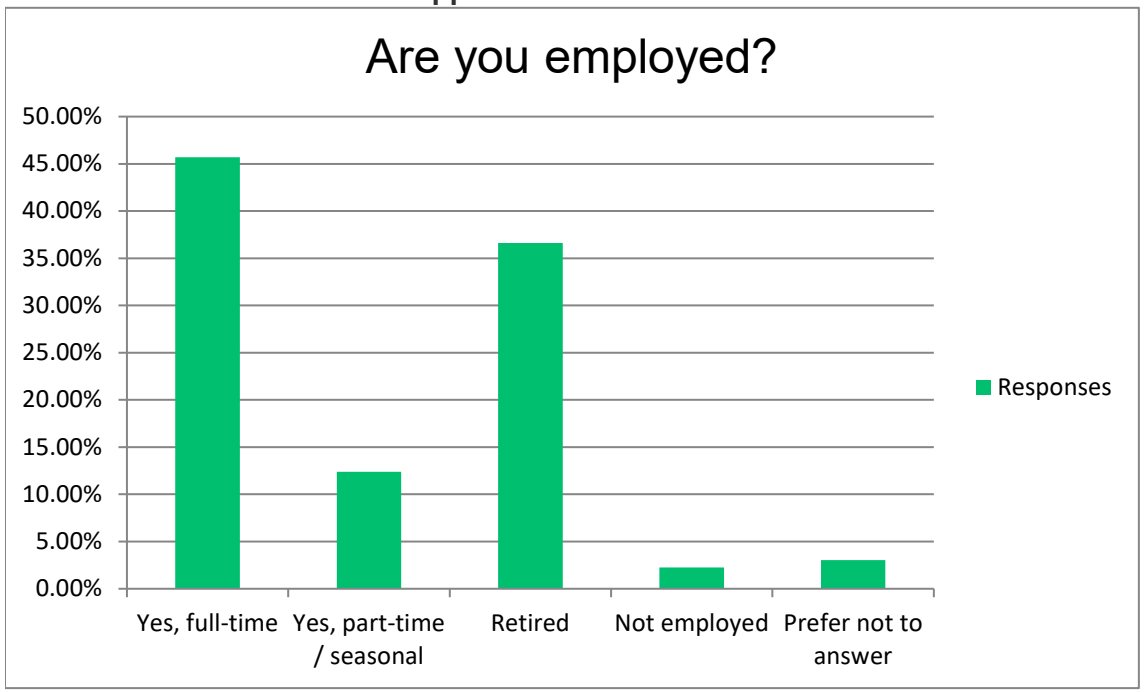
Answer Choices	Responses	
Own	66.67%	264
Rent	9.34%	37
I do not live in Gibsons	21.97%	87
Prefer not to answer	2.02%	8
	Answered	**396**
	Skipped	**133**



Phase 1 Engagement Survey - Gibsons OCP Update

Are you employed?

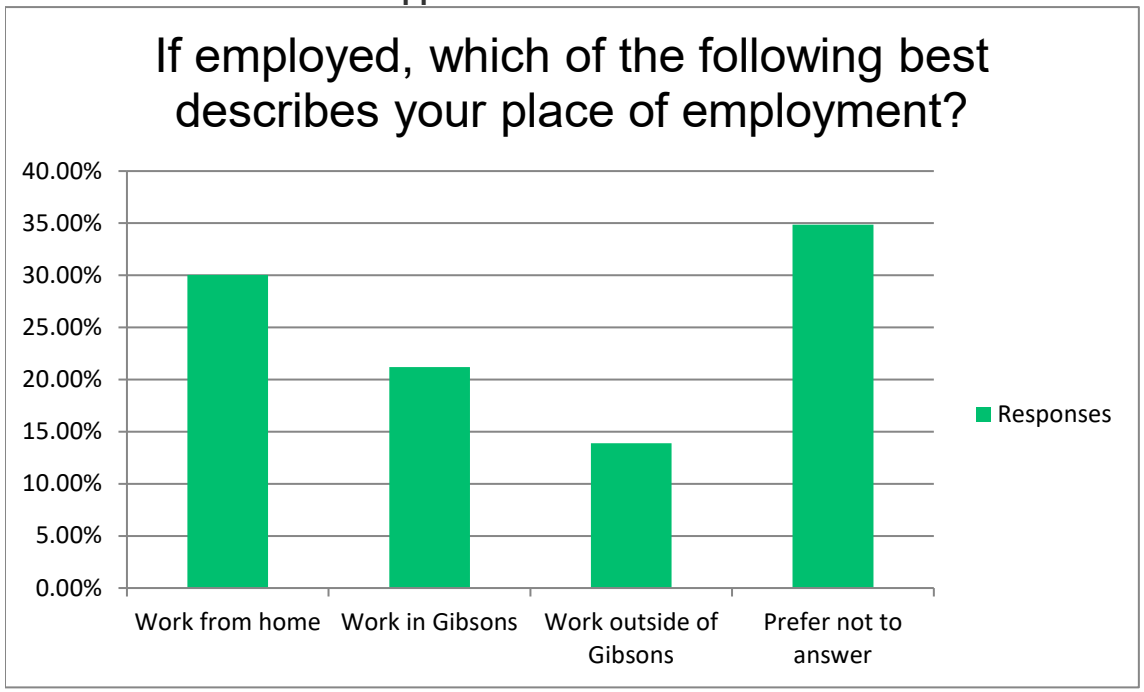
Answer Choices	Responses	
Yes, full-time	45.71%	181
Yes, part-time / seasonal	12.37%	49
Retired	36.62%	145
Not employed	2.27%	9
Prefer not to answer	3.03%	12
	Answered	**396**
	Skipped	**133**



Phase 1 Engagement Survey - Gibsons OCP Update

If employed, which of the following best describes your place of employment?

Answer Choices	Responses	
Work from home	30.05%	119
Work in Gibsons	21.21%	84
Work outside of Gibsons	13.89%	55
Prefer not to answer	34.85%	138
	Answered	**396**
	Skipped	**133**



Phase 1 Engagement Survey - Gibsons OCP Update

Do you have any other comments, questions, or concerns?

Answered 231

Skipped 298

Respondent I	Response Da	Responses	Tags
1100175208	Nov 15 2024	We understand the need for expanding housing. However the approach to target the community's churches as part of this process and without due consultation is very unfortunate and should be reconsidered and reversed. Churches are contributing in many ways to the cohesion and well-being of our community although this may not be as apparent to the Town.	
1100175206	Nov 15 2024	I feel so privileged to live, work and 'be' in Gibsons and believe that our elected officials and staff do great work.	
1100175203	Nov 15 2024	Gibsons needs to integrate areas "E" & "F" asap. Stop letting MOTI ruin our neighbouring areas by sprawl. Force the Province to force integration with Town of Gibsons. We need way better regional planning, but we are being so fracked over by the parochial needs of the Sechelt Mob. Stand up for the lower lower Sunshine Coast, eh!.	
1100175202	Nov 15 2024	It is very challenging to balance the need for jobs and housing with preserving the character and natural areas of Gibsons. I am a little concerned about the number of development projects that are proposed in the near future and how that will overwhelm and change our small town.	
1100175199	Nov 15 2024	The feedback submitted here is collated from Vancouver Coastal Health's Public Health Team through the Office of the Medical Health Officer, and is succinct in order to align with the survey format. We welcome further opportunities to discuss further.Our team has engaged closely with the recent OCP engagement survey, interactive map, and associated d	
1100175187	Nov 15 2024	Our town beaches and shorelines should be enjoyed and assessable by all, and none should be restricted to use by just a few residents. The waterfront along Avalon Dr. is not assessable to the public and only to the home owners along the waterfront. There are two access points through town easements; one between lots 18 and 19 and one between lo	
1100175177	Nov 15 2024	I am tired of answering questions that assume neo-liberal values that put profit above people's needs and that assume that the unequal distribution of income in society will only increase so the rich will do nothing but profit and the rest of us will do nothing but pay in terms of tax dollars to increase their profits and a decline in our quality of life. Our neighbou	
1100175161	Nov 15 2024	The proliferation of tall trees inhibit the ability to make / generate solar energy.Zoning developments must avoid creating "street Canyons" and maintain at least one off street parking spot per resident.There is no MUP / bike / pedestrian access from Langdale to Gibsons. In fact the road(s) are dangerous to anyone other than cars / trucks. We need a joint ta	
1100175165	Nov 15 2024	Requiring an answer for question 21 is stupid!	
1100175161	Nov 15 2024	I work in Sechelt but if there were more types of facilities of the kind I work at in Gibsons I could work here.	
1100175147	Nov 15 2024	Public transit for the whole Coast needs urgent attention, STARTING NOW, or our roads & highways will be a nightmare once all the additional housing from Gibsons to Sechelt becomes occupied & use of cars will be taken for granted by all the newcomers. I notice not one word about this in this questionnaire. One urgent need is to establish PARK & RIDE	
1100175133	Nov 15 2024	No	
1100175129	Nov 15 2024	Yes but not right venue	
1100175126	Nov 14 2024	As indicated above, the lack and resistance to progress is shameful and frustrating. We need a strong powerful governing body with a mandate and ability to move Gibsons into a progressive , beautiful town that can attract many more visitors allowing businesses to thrive and flourish.	
1100175125	Nov 14 2024	No	
1100175125	Nov 14 2024	Please keep the little bit of forested spaces we have left… selfishly thinking the lot between parkland and park road with the trees and the trail going through… please and thank you….	
1100175120	Nov 14 2024	The "vision" statement is already quite broad and, if applied properly, includes the proposed additional criteria. Some of the questions cannot be answered on a binary (yes or no) basis. For example, increasing density "throughout" the community cannot work. □	
1100175120	Nov 14 2024	It is such a shame to see the beautiful waterfront in such despair, fenced and overgrown. The marina needs a new owner, we need a vision for the property from Lunitas to Gibsons Marina. Buy the land back and create an amazing ocean front esplanade!	
1100175121	Nov 14 2024	I had to answer that last question even though I'm retired. □	
1100175117	Nov 14 2024	Current housing development is too much and the process (lack of immediate residents input) is flawed.	
1100175117	Nov 14 2024	No.	
1100175117	Nov 14 2024	Gas prices are a concern, I wish the government would do a better job, with the price we pay for gas we should have better service. Electric vehicles should pay their share for road tax.	
1100175118	Nov 14 2024	Don't build high rises, keep the ocean in view, make a path that goes all the way to the ferry for walkers and cyclists, more bike paths.	
1100175116	Nov 14 2024	No	
1100174594	Nov 14 2024	I'd love to see Town of Gibsons push on more innovative/future thinking/sustainable land use planning. Really challenge social norms with how our Town CAN look and feel. Build from bottom up - provide services and build infrastructure that promote equity and justice. Care for the underprivileged. Find innovative ways to engage the community in civic duti	
1100175115	Nov 14 2024	No	
1100175110	Nov 14 2024	None at this time	
1100175107	Nov 14 2024	Development cannot come at the cost of our wild spaces, forests, public waterfront access and in town connector trails.Build where there is already development	
1100175107	Nov 14 2024	We have one of the best water supplies (the aquifer) in North America. (Check the chemistry). We have a great lower Gibsons area which may be over developed with Condos (Marine, School Road). We should develop long-term plans for Gibsons. It is two towns, lower Gibsons and upper Gibsons. They each need a plan that is less subject to variances	
1100175105	Nov 14 2024	No	
1100175105	Nov 14 2024	I'm self employed and that should be an option to select. And I work on the coast just not in Gibsons, that should also be an option to select	
1100175103	Nov 14 2024	This is a very biased survey. It tries to force choices that don't necessarily exist. It tries to assume agreement with the Community form, which was not a democratic selected group and obviously had their own biases.	
1100175103	Nov 14 2024	the roads near the marina are very rough, pavement needs repair	
1100175102	Nov 14 2024	I see no remediation plans for rising sea levels and fire suppression updating for the crises that are coming.	
1100175102	Nov 14 2024	The committee has done an excellent job. I commend them . I do everything in Gibsons but sleep there	
1100175100	Nov 14 2024	Need more shopping places or people will have to continually go to town or order online to get a lot of what they want. Add a Costco or other large stores	
1100175097	Nov 14 2024	None	
1100175098	Nov 14 2024	Cut the taxes and administration fees. I would rather pay a little more for water than to pay admin fees to high. Now if I use water a lot or a little it does not make a major changes if I do or do not use water.	
1100175096	Nov 14 2024	Industry and housing should be focused in upper Gibsons. Lower Gibsons should have strict visual guidelines	
1100175078	Nov 14 2024	Thank you	
1100175079	Nov 14 2024	No	
1100175076	Nov 14 2024	no	
1100175074	Nov 14 2024	you really haven't addressed our current aquifer and its limits to water for the proposed growth of Gibsons. How will we survive if we don't put limitations on growth.	
1100175075	Nov 14 2024	Concerned with densification ruining single family residences, the quiet and peaceful nature of the area.	
1100175007	Nov 13 2024	Please make sure there is at least 2000 people involved with this survey Please advertise on the radio here so those who never read the paper might hear Get a social media campaign started so that the citizens will become engaged in this process Do not let big developers dictate what the town should look like Do not cater to a single socio economic g	
1100174989	Nov 13 2024	I appreciate that TOG has to plan for growth. I do not, however, feel that TOG must accommodate all developers just because they want to build here. If this continues then the aquifer that WE RELY ON will not be sustainable sooner rather than later.	
1100174994	Nov 13 2024	With respect, I think this engagement process is lacking. Its almost all online and highly directed with no real opportunities for conversation or to hear other peoples ideas and thoughts. I have participated in all of the Gibsons OCP update processes since 2005. This one is just not inspiring. Also, I have been asking around, and it doesn't seem like many p	
1100174985	Nov 13 2024	We need a turf field for sports on the SC. Gibsons should be part of leading that!	
1100174977	Nov 13 2024	I love living in Elphinstone (sort of Gibsons).	
1100174968	Nov 13 2024	My wife and I would love to live in Gibsons however there are no affordable options to buy, or even rent, even with a combined income higher than $100k.Reducing development fees, enacting strict rules regarding non-resident owning and speculating on local properties, building more smaller yet functional suites in multi-floor complexes that also have goo	
1100174928	Nov 13 2024	Don't destroy Gibsons like Squamish has been destroyed.	
1100174921	Nov 13 2024	Thank you for investing in our future!	
1100174908	Nov 13 2024	Good security isn't mentioned anywhere in this survey and is one of our biggest future challenges. How can the town of Gibsons prioritize this and support the very few farmers and food producers we will rely on as the climate changes and food costs rise?	
1100174901	Nov 13 2024	Thank you for doing this	
1100174884	Nov 12 2024	Have seen the Sunshine coast change over 40 years. Gibsons has definitely changed for the better. But don't densify too much. Need to make sure many people can be supplied with water. Move towards Port Mellon to develop.	
1100174884	Nov 12 2024	Be bold!	
1100174309	Nov 12 2024	My mailing address is 'Gibsons', however, I am in Area E. I am in the Town multiple times a week and my daughter recently graduated from daycare in lower G. Our family love the Coast and Gibsons and will definitely be growing old here. I would love to see a truly visionary OCP for ToG and SCRD. Although these questionnaires can be useful, I fear you will	
1100174875	Nov 12 2024	Gibsons neighborhoods, though small and few, each have their own character. Care should be taken to not mix commercial non- tourist related business with residential areas.	
1100174866	Nov 12 2024	In the question about place of employment I was only given the choice of work from home or work outside Gibsons, but I do a blend of the two, about 60% work from home, 40% outside Gibsons.	
1100174866	Nov 12 2024	All OCPs must include public input which you seem to be doing.	
1100174850	Nov 12 2024	No thanks	
1100174836	Nov 12 2024	Infrastructure is the key issue here. Consistent roads, water and access to non-cost activities (nature, library) should be the priority on our goals.	
1100174831	Nov 12 2024	Focus on doing the basics well, good infrastructure, good public services. Let others take the lead on cultural issues	
1100174768	Nov 11 2024	No	
1100174719	Nov 11 2024	Gibsons is great and we are very happy to live here. Thanks to the Mayor and Council for being so proactive in seeking input from the population.	
1100173795	Nov 11 2024	We will never stop growing so we have to do what is best for all	
1100174673	Nov 10 2024	I sometimes think that it's not fair that seniors get such a huge tax break. They are the wealthiest demographic. I doubt I will be complaining in 20 years when I'm that age, but there's really no guarantee that the seniors discount on property tax will still be in place when I'm that age. When you raise taxes you are really just hurting working families. Make the s	
1100174650	Nov 10 2024	i grew up in Gibsons, and have commercial property. We have a home in Langdale. Gibsons is my most precious place. i feel i have alot to add if there are any focus groups.	
1100174648	Nov 10 2024	The vision set now will define the Town's action for a decade or more to come. PLEASE stop the nonsense about "affordable housing". If you want housing prices in Gibsons to drop, then prevent AirBNB or other vacation rentals entirely. It's killing this town and encouraging rampant development by outsiders who don't give a rat's ass about this place othe	
1100174625	Nov 09 2024	I'm concerned that the George Hotel is still a possibility. I do not believe that such a huge project will be an asset of any kind to the town.	
1100174618	Nov 09 2024	Gibsons is a beautiful, unique place to live. Keep it that way!	
1100174613	Nov 09 2024	I have deep concerns about the decisions being made by council. Our town is being designed by a small group who are of a certain mindset. This limits tge capacity for healthy constructive organic growth.	
1100174593	Nov 08 2024	Very concerned with the amount of trees we have lost recently through development and drought combined with storms. We need to protect the ones we still have and plant more	
1100174570	Nov 08 2024	I live in Roberts Creek, and Gibsons is a wonderful neighbour. Let's work to preserve our natural habitats and beautiful watersheds.	
1100174563	Nov 08 2024	the town needs to be friendly and comfortable for business(not just retail and service industry but industrial) the town needs to look beyond being a village but a growing unique town. the town most be more than a tourist stop but a home for a community that diverse and changing□	
1100174557	Nov 08 2024	Our ability to influence Town officials and Council has been eroded. While there is lip service to the idea of community engagement, we have lost the right to ask questions at Council meetings and I feel our Council and Staff consider the residents with legitimate concerns as a nuisance. The appointing of citizens to the OCP committee was done in secret	
1100174546	Nov 08 2024	Thank-you for putting this survey together. Please listen to the responses. In recent years I have the sense that residents of Gibsons have felt unheard by councils.	
1100174524	Nov 08 2024	This is a wonderful initiative. I hope young people are as engaged in this as they were in the election!	
1100174487	Nov 07 2024	I hope this survey is made available to the community not kept hidden in the town's vault of secrets	
1100174477	Nov 07 2024	Lower my taxes, save the trees	
1100174476	Nov 07 2024	Yes, the potential walkway in the Harbour area is in direct conflict with the environmental protection policy on page 5.3.3 of the Harbour Area Plan	
1100174467	Nov 07 2024	It is important that the new housing built will not impede Lower Gibsons views, as I believe that is the beauty of Gibsons. A shuttle up & down School road would be an improvement for kids & older people . Love the Music in the Landing!	
1100174444	Nov 07 2024	The Town needs to listen less to the vocal (complaining) minority.	
1100174426	Nov 07 2024	The ferry service is poor and a serious concern when one has a doctors appointment in greater Vancouver. Needs to add the second vessel ASAP. I would also appreciate a more conservative approach to the way things are done and run and likely not possible in this day and age.	
1100174412	Nov 07 2024	If we want to retain the diversity of the population we have to make affordable rental housing a priority as everyone from young families, to young workers to seniors are all dramatically affected with the shocking rapid rise in the cost of housing	
1100174410	Nov 07 2024	Gibsons is a wonderful place to live	
1100174383	Nov 06 2024	the ferys and the cost of food her is so out of balance with vancouver.....help us	
1100173679	Nov 06 2024	Gibsons is such a beautiful place so development is inevitable - so growth with an emphasis on maintaining connection with nature and maintaining small town feel.	
1100174345	Nov 06 2024	I fear that the Town allows more residents than we have water for and we end up rationing.	
1100174306	Nov 06 2024	Will you be doing an advisory committee? If so would love to put my name in	
1100174273	Nov 05 2024	I love this town! Happy to be raising my kids here. Much prefer gibsons over Sechelt. Hope our town can protect its natural assets for generations to come and increase food security & infrastructure improvements for sustaining natural disasters and climate change	
1100174264	Nov 05 2024	We need affordable housing options for young families and seniors not lazy drug addicts.	
1100174255	Nov 05 2024	Feel lucky to live in this beautiful place with great neighbours!	
1100174239	Nov 05 2024	I've very concerned with our current government. We need a lot of help with wise and not small minded taxation and planning. This government appears to be a bunch of small town, small minded folks who want to look and feel important.	
1100174211	Nov 05 2024	Core values! You can't please everyone, if you try to do so, you'll end up way off course. Choose basic core values that all can relate to, and stick with them. Don't change residential neighbourhoods into short term rental areas, nobody moves to a residential area to be next door to a hotel. Ensure that citizens come first, and not self interest, unchecked grow	
1100174199	Nov 05 2024	You can't please everyone all the time. Do what is best for the long term health and success of the entire community.	
1100174203	Nov 05 2024	Thanks for doing this!	
1100173838	Nov 05 2024	No	
1100174159	Nov 04 2024	Nope	
1100174068	Nov 04 2024	This survey could be better designed	
1100174034	Nov 03 2024	Many. Please be good stewards of our natural resources. Don't let money and influence steer your decisions and allow abuses or accept risks to our assets and our way of life. Keep the town safe and accessible to all.	
1100174030	Nov 03 2024	So far I am loving it here. I always have feedback, ideas, thoughts...just ask.	
1100174028	Nov 03 2024	I appreciate this call for feedback. I have never seen an invitation to participate like this in other communities I have lived in.	
1100174018	Nov 03 2024	Implement the 3-30-300 tree guideline.Fix the ferries.Patrol streets and intersections in the interests of pedestrian safety.Enforce short term rental bylaws.	
1100173996	Nov 02 2024	You all doing your best - much appreciated. □	
1100173993	Nov 02 2024	Thank you for the opportunity to participate.	
1100173991	Nov 02 2024	Do not build more houses without fixing roads and water for all!	
1100173676	Nov 02 2024	No	
1100173971	Nov 02 2024	Gibsons needs a progressive and action government Naysayers are not best for any towns growth and sustainability	
1100173949	Nov 01 2024	Needs much more frequent bus service for youth and seniors and tourists	
1100173688	Nov 01 2024	I am a resident who purchased and improved my home with the understanding of view protection. I do not feel that my investment in the town of Gibsons is secure and feel there should be consideration to individuals investments when planning for the future of the town. I agree with the need for development of both residential and commercial space.	
1100173936	Nov 01 2024	I don't live in Gibsons myself, but own property in Gibsons.	
1100173936	Nov 01 2024	A strong economy, great housing options, world class recreation, and the village feel can all co-exist when thoughtfully designed with the resident, entrepreneur and investor in mind.	
1100173929	Nov 01 2024	If at all possible, and not a priority it would be wonderful to have a sea walk that goes further along the coast line (similar to the North Shore Spirit Trail). Generally speaking, Gibsons is the best little town!	
1100173916	Nov 01 2024	No	
1100173909	Nov 01 2024	With new development creating more eye line connection with neighbours, I think an update the fence bylaws would be a very very good move. Even if it allows for privacy screening additions and not totally solid fencing. In some locations some homes feel like they are just sitting in a parking lot and staring at each other.	
1100173901	Nov 01 2024	Not now	
1100173873	Oct 31 2024	Someone recently described Gibsons to me as the grandmas house you go into where everything looks perfect and the furniture is covered in plastic to protect it. I thought that was a good annology, as Gibsons is nice to look at but it is not very inclusive or accessible to a variety of people and youth. Lets make the town accessible, livable, inviting, where nat	
1100173849	Oct 31 2024	No	
1100173844	Oct 31 2024	My mother bought to lot that our home is on in1928 and my grandfather built our home during the depression. I am 81 years old and have been coming to Gibsons since before I was born. I can see a lot of things that could be done but I understand the considerable influence that business owners and developers have on the politicians that make logical c	
1100173833	Oct 31 2024	There should not be one size fits all development for upper and lower Gibsons. The two environments are very distinct.	
1100173825	Oct 31 2024	Thank you for sending out this survey. I look forward to seeing the over all results.	
1100173810	Oct 31 2024	I read the OCP in 2007 and was impressed. Hope the vision will be a short phrase that captures what we are doing. E.g. A Thriving Community.Key values should be identified and indicate what BEHAVIOURS reflect each value.	
1100173795	Oct 30 2024	Development needs to keep pace with population growth. However, growth for growth's sake is not a viable strategy. Retain the small town appeal as long as possible.	
1100173793	Oct 30 2024	no	
1100173790	Oct 30 2024	No	
1100173791	Oct 30 2024	No	
1100173787	Oct 30 2024	The town needs to look at the safeness of the buildings in lower Gibsons and provide more parking.	
1100173786	Oct 30 2024	Question 21 is goofy if one is retired. It requires an answer!!!!!	
1100173784	Oct 30 2024	For the past 10 years the town has been better to deal with, I say that as a Developer and business owner for the past 50 years	
1100173783	Oct 30 2024	thank you	
1100173781	Oct 30 2024	No high rises!! Seafood restaurant with a view. A lovely hotel- but not over 4 stories.	
1100173776	Oct 30 2024	BC ferries monopolizes - other businesses should be able to open near the ferry. It would be great to see more commercial spaces near the terminal.□	
1100173762	Oct 30 2024	I am part of a long time Sunshine Coast family, we have lived here for over 80 years. My family has had numerous businesses in the community and I truly care about the future of Gibsons. This is my home.	
1100173762	Oct 30 2024	We have to continue to do our bit to support low cost housing and helping the homeless and working poor	
1100173758	Oct 30 2024	If done correctly Gibsons could be the model of inclusive, and integrated land management. Unfortunately, too many people in positions of authority and decision-making don't share this and prefer the short-term destructive pathway. And they are willing to fudge and manipulate the data and information to the public, to that end.	
1100173761	Oct 30 2024	nope	
1100173759	Oct 30 2024	No	
1100173754	Oct 30 2024	Mayor and council are doing a great job!	
1100173753	Oct 30 2024	further to question #21, I work a hybrid schedule of at home and in Vancouver.	
1100173748	Oct 30 2024	A mix of housing types and affordability is critical to maintain diversity. We need more young singles and families to avoid becoming a homogeneous community of wealthy retired people. Public transit and walkable neighbourhoods are also critical for the same reason, and to build resilience for the future.	
1100173749	Oct 30 2024	Keep boating a part of gibsons. Allow seaplanes. Seaside means more than just ocean. It's means lifestyle. Keep "Beachcombers" alive. It changed many things in canada .. positive things. It's a great way to identify seaside life too. Keep fish boats being welcome here. And water taxis. And life on the water as well as life beside the water.	
1100173733	Oct 30 2024	On the survey section about the 'type' of housing we support, I wish there was a box to share comments and context. In theory, I support the variety of housing needed to support growth, affordability and the long term economic viability in Gibsons but it all needs to be considered in context of where it's going and what it looks like. Taller buildings are more ap	
1100173735	Oct 30 2024	Although we live in Area E, our property borders the Town of Gibsons on one and 2/3 sides. The future developments bordering our property will have a huge affect on our safety and aesthetic values. Please be respectful and not just chase the almighty dollar.	
1100173734	Oct 30 2024	Protection of the aquifer and it's infrastructure!	
1100173733	Oct 30 2024	Water security and protection of the aquifer is most importance, no building should disturb this in any way	
1100173725	Oct 30 2024	thanks for this,we all need more input into the way we treat this planet	
1100173721	Oct 30 2024	There is so much good intention and decency in our town and in this exercise. I urge and encourage higher seriousness, however.	
1100173702	Oct 30 2024	The bus service should be improved and always coordinated with ferry arrivals and departures even when the ferry is off schedule	
1100173701	Oct 29 2024	No	
1100173698	Oct 29 2024	Yes a concern that our Town has stepped into private/public partnerships with NGO's that follow UN Agenda's and of Canada 2020 SDG's. More active participation from the community would be appreciated as a reminder, you sworn oaths to represent your community, not act on behalf of these corporations that keep us aligned with global agenda's that do	
1100173699	Oct 29 2024	No	
1100173700	Oct 29 2024	-	
1100173697	Oct 29 2024	I'm happy that you are renewing the OCP, I hope that you will be able to get input from equity-deserving members of the community who are harder to reach, would also like to see some active engagement of families, children and youth as the Seniors are always very vocal in the processes but do not always reflect the perspectives and needs of younger ge	
1100173698	Oct 29 2024	Gibsons still has many opportunities to build on its excellent "bones" and create an outstanding community. To do this it can't just follow the pack and the Vancouver centric influencers. We have to build our own town to meet our own needs and dreams.	
1100173697	Oct 29 2024	Playgrounds and parks need shade. It's insane that none of the play areas are able to be used in the peak of summer because they are too hot. We need to think about developments and how climate changes will impact them. Trees are critical, we need to keep forested areas within the community so	
1100173696	Oct 29 2024	If there are changes made to the OCP, please be considerate as to those changes so that future decisions can actually look to the OCP for guidance that will be followed instead of having endless meetings and discuss about changing the OCP for every development that comes down the pipe in the future.	
1100173695	Oct 29 2024	Good luck!	
1100173692	Oct 29 2024	We are seriously overdue for change. It is getting harder and harder to get around the community on foot or bike without excessive exposure to gas emissions from a lot of heavy duty trucks and traffic noise and safety issues when walking and biking are a major problem. Just a few access improvements would go a long way in the Town of Gibsons.	
1100173690	Oct 29 2024	As a business owner we have to get lower Gibsons moving forward . With out business there are is no tax basis or town so let's get at it.	
1100173691	Oct 29 2024	yes, I'd like to see waterfront homes classed as recreational and available to visiting families as short term vacation rentals. I don't want to see wealthy purchaser buy and hold waterfront property as assets, and not contribute to the community.	
1100173691	Oct 29 2024	It's a special opportunity to live here and I have concerns that the future of our small town is uncertain given the onslaught of public drug use as a direct result of the affordable housing unit school road	
1100173690	Oct 29 2024	The new stairs to Pebble Beach are fabulous and very expensive, now we will need parking at the access, as there are only 2 spots now and will be cramping residents in the summer, planning should start now as it will be very popular as seen at Allee Beach this summer	
1100173690	Oct 29 2024	We love Gibsons so much! Keep up the good work :)	
1100173687	Oct 29 2024	Good work Town staff in gathering info from the citizens group and getting feedback through this survey.	
1100173686	Oct 29 2024	Thankful to work and live here.	
1100173685	Oct 29 2024	I personally would like to see a fully enclosed dog park	
1100173683	Oct 29 2024	City planning is very important. we need to attract and retain highly qualified city planners. think about it, Paris was highly planned with extremely large city parks and attractions. Gibsons can plan ahead too!! Carve out what we really need and stick to it so we have a well planned city. please be more forward thinking.	
1100173679	Oct 29 2024	Accept progress and growth	
1100173684	Oct 29 2024	Thank you	
1100173681	Oct 29 2024	Thank you for the opportunity to participate in this important survey.	
1100173677	Oct 29 2024	Not sure who the buck stops at for the lack of progress on development but assuming city council…seems that every development for the past 16 years of our living here has seemed a never ending process of readings & lack of commitments by council ….it drains the vibrancy of Gibsons especially for the younger new residents who moved here during co	
1100173681	Oct 29 2024	Support expanding town boundaries into part or all Area E	
1100173681	Oct 29 2024	No	
1100173679	Oct 29 2024	Concerned about traffic planning in Lower Gibsons with the proposed development of a significant number of housing units, especially at 5 corners.	
1100173675	Oct 29 2024	Commercial property taxes have almost tripled in the last decade. This is not a way to encourage small business.	
1100173680	Oct 29 2024	Do not make Gibsons as ugly as Sechelt and West Van	
1100173678	Oct 29 2024	to build in Gibsons (anywhere in BC on or near indigenous land) the owner must pay enormous amounts of money for an archeology assessment of which, is a non regulated industry. Building permits are held until such surveys are complete. The money being charged for fee for service is unrealistic, adding $20,000 to $100,000 or more for individuals/bu	
1100173675	Oct 29 2024	No	
1100173673	Oct 29 2024	Good luck putting together a great OCP and thanks for all that you do for this great town.	
1100173676	Oct 29 2024	Work in Sechelt, live in Langdale. Daily I pass through Gibsons to and from work. My address states "Gibsons" although technically I'm in SCRD.	
1100173676	Oct 29 2024	No Thanks for the opportunity	
1100173674	Oct 29 2024	No	
1100173674	Oct 29 2024	Not yet.	
1100173671	Oct 29 2024	That Gibsons must use common sense when faced with political narratives and chose what is supportive of their underlying vision and practical paths of implementation as an independent and cohesive community where each person is valued□	
1100173672	Oct 29 2024	I am lucky to have view property but unfortunately trees have gotten taller and wider and most of my view is gone, but I believe I am still taxed as having view property.	
1100173671	Oct 29 2024	We live on a hill, above the ocean. Serious concerns about water flow down the open roads because so many trees cut and no provisions for water flow. Want restrictions for Tree Cutting and more consideration for future green growth for water retention	
1100173672	Oct 29 2024	I appreciate that the town is environmentally conscious, particularly that the natural elements have been given a financial value when making decisions.	
1100173672	Oct 29 2024	No	
1100173672	Oct 29 2024	I intend to retire and become a full time resident, living in the house I own.	
1100173672	Oct 29 2024	More and better walking paths,and sidewalks.Question 22 should have an option that says: "Not Applicable" for those who are retired.	
1100173671	Oct 29 2024	No	
1100173670	Oct 29 2024	Please do not let the homeless population explode into a "tent city" as it has in Sechelt.	
1100173671	Oct 29 2024	No	
1100173670	Oct 29 2024	No	
1100173668	Oct 29 2024	Stop cutting so many trees in Arrowhead park. Other than that- good job!	
1100173669	Oct 29 2024	No	
1100173669	Oct 29 2024	Build build build.	
1100173667	Oct 29 2024	City planner allowing changes of carriage house plans . Why bother asking the home owners if they can do what they want anyway	
1100173667	Oct 29 2024	Security and good service access	
1100173601	Oct 29 2024	Just that view protection was once guaranteed and the current council took it upon themselves against public opinion to remove it. That our mayor is an alcoholic who doesn't know what he is doing and is ruining our town one development at a time.	
1100173580	Oct 29 2024	No	
1100173571	Oct 28 2024	Would love to see more incentives and education on environmental issues and sustainability. Programs that encourage learning and exposure to our beautiful nature.	
1100173571	Oct 28 2024	No	
1100173570	Oct 28 2024	Gibsons is a fantastic community with wonderful local businesses. It would be so great to see a pump track and more outdoor amenities	
1100173570	Oct 28 2024	Keep Gibsons small. I never want to live in a city.	
1100173561	Oct 28 2024	Thank you!	
1100173555	Oct 28 2024	Yes.Social media is social, Facebook used this media for lawful purposes, why can't the council accept there is an efficiency available closer to the speed of light.An OCP, if you had a shred of honesty, can be translated by Chat GPT 4, not any realtor, conflict of interest or bias to get things done using greater harms and cheaper, quicker results, less inspec	
1100173558	Oct 28 2024	If you didn't get my drift….a new skatepark or addition pretty please! Transition concrete would be the perfect crew for the job	
1100173558	Oct 28 2024	No	
1100173554	Oct 28 2024	Have a fantastic day!	
1100173555	Oct 28 2024	No	
1100173539	Oct 28 2024	Tourism is a major component of our local economy. We need to ensure we are balancing the needs of the full time population with the economic realities within our communities. We need to ensure we're embracing tourism while keeping life affordable for the locals. We need more parking not less parking spots and better alternative transportation via sa	
1100173532	Oct 28 2024	I have observed with increasing concern the pace at which new developments are being approved without sufficient planning to address the strain on our town's existing resources. The influx of new residents resulting from these developments will undoubtedly exacerbate current challenges, particularly in areas like water infrastructure, traffic congestion, a	
1100173523	Oct 28 2024	It's frustrating that there is so little support for recreational options on the Sunshine Coast. Mountain biking needs to be supported, prompted, and celebrated. We lack the basics that nearly every other community in BC now has. No skills parks, dirt jumps, pump tracks, government supported trails maintenance. Lack of proper parking, bathroom facilities, e	
1100173506	Oct 28 2024	Your previous OCP had conflicting policies...the Harbour Plan mentioned support for a walkway to link the harbour area to the southerly break water/breakwater beach (yet supported protection of the foreshore in the OCP). Accordingly, due to the cost, disruption to residents if a raised walkway was built, and environmental concerns (and approvals needed),	
1100173492	Oct 28 2024	I would love to be able to add an ADU or garden suite to my brothers property st 306 Cochrane. Part of the reason it is important to have these units, would be for people who would like to live independently but require a certain level of supervision for medical reasons.	
1100173484	Oct 28 2024	no	
1100173472	Oct 28 2024	While I applaud the TOG for using information from the citizens assembly, I'd encourage the TOG to foster more of the thoughtful and informed community discussions that defined that process. The 4 'pop up' engagement opportunities are no replacement for the group discussions that used to happen with OCP and neighbourhood planning processes. D	
1100173457	Oct 27 2024	We have such limited space for development, and too much of it is going to luxury development. Stop approving luxury projects. Reject luxury proposals, hold out for affordable housing projects.	
1100173437	Oct 27 2024	Encouraging the Tech industry in Gibsons would provide low impact (on natural resources) business opportunities and better paying jobs. Currently, there are lots of lower paying jobs, like cook, waiter, sales clerk, etc., but not many higher salary opportunities.	
1100173394	Oct 26 2024	This survey was way too long.	
1100173386	Oct 26 2024	Would be interesting to look into co-op housing or jointly funded housing with the town/province? Don't just sell all the land to rich developers to put in luxury homes	
1100173384	Oct 26 2024	I want to live near my parents as I start my own family. I also want housing security. It's hard to have both in Gibsons. I'm faced with renting forever to stay in Gibsons, or having to move away. It's a heartbreaking choice.	
1100173334	Oct 25 2024	I would like to see particular care given to building development applications along the south side of Gibsons Way / Hwy 101. A shadow study is a priority for this strip of the roadway that will show that this part of the of the traffic corridor is particularly susceptible to dangerous icy road conditions in the winter (specifically from the North Road/ School Rd inte	
1100173338	Oct 25 2024	get more left turn lanes and stop lights	
1100173260	Oct 24 2024	Too many bylaws and red tape slows progress and job growth	
1100173258	Oct 24 2024	Keep up the good work!	
1100173236	Oct 24 2024	Protect Breakwater beach as a community beach recognize it formally like the other beaches. Remove the barges from the recreational water lease.	
1100173126	Oct 23 2024	Empty home tax, foreign buyer tax, rent caps before more are forced out. My family has been here for generations and I might have to leave. I realize this is a Provincial and Federal issue also. Cheers for all you do. No easy feat	
1100173000	Oct 22 2024	SCRD, Sechelt and Gibsons need to work together to attract investment to the Sunshine Coast. Upper Gibsons has the potential to become a vibrant urban area that provides amenities for the Coast. The Seacliff property behind IGA has the potential to serve as a gateway and anchor for rejuvenation of the entire Upper Gibsons area.	

APPENDIX D – Online Mapping

Online Mapping Activity Responses

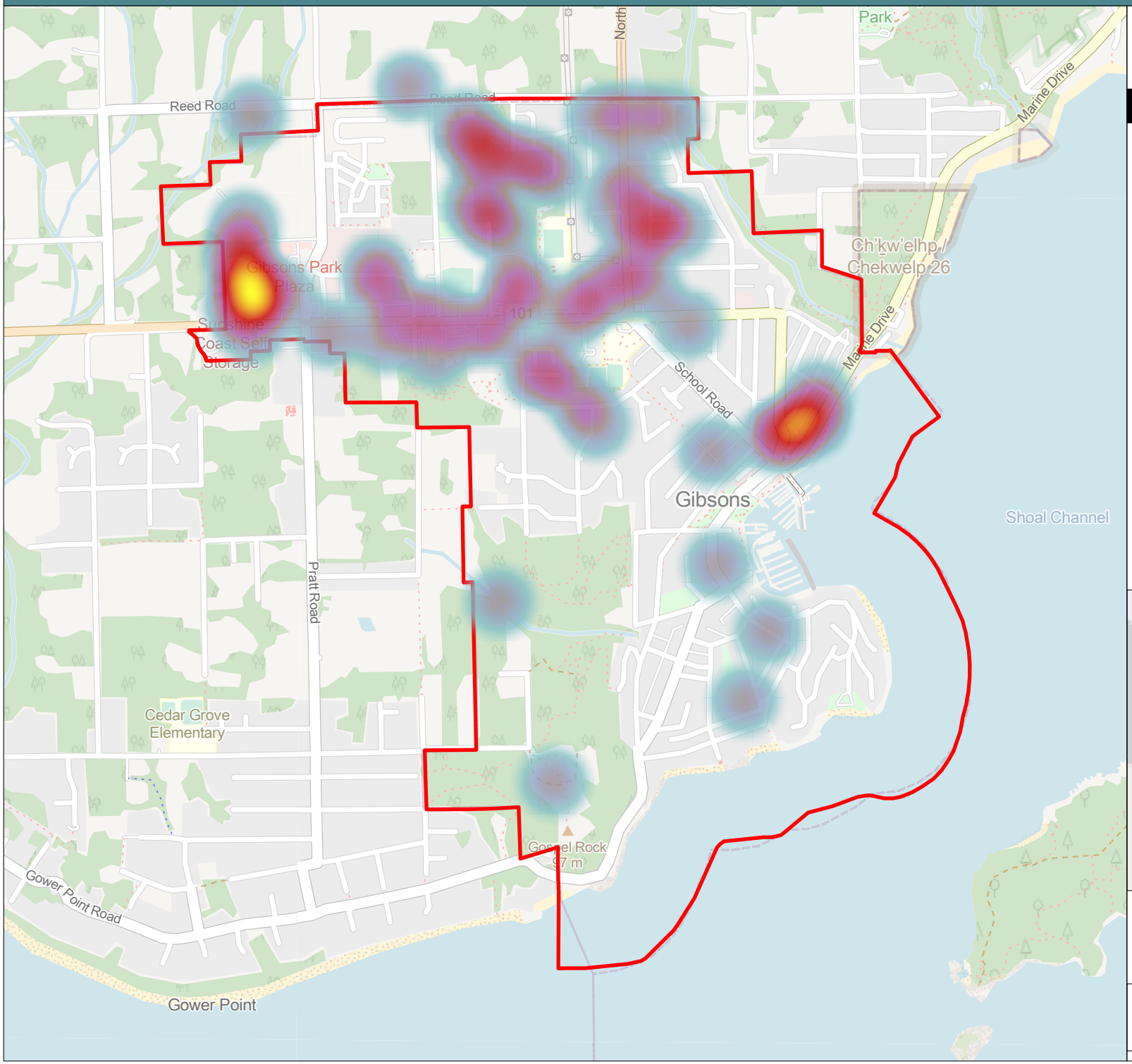
OBJECTID	Created	Feedback	Feedback Type	Agrees	Disagrees	x	y
578	11/14/2024		4-6 Storey Apartments	0	5	897168.8018	5486961.153
990	11/14/2024		4-6 Storey Apartments	2	4	897592.1666	5485673.75
546	11/12/2024	higher density housing	4-6 Storey Apartments	1	4	897558.4294	5487725.128
616	11/15/2024	Ideal area for larger buildings	4-6 Storey Apartments	0	4	897293.3176	5487242.594
610	11/15/2024	Ideal area for larger buildings	4-6 Storey Apartments	0	3	897961.7894	5486420.84
1011	11/15/2024		4-6 Storey Apartments	0	3	896696.0375	5487446.395
988	11/14/2024		Focus Growth	0	3	897538.341	5486069.115
989	11/14/2024		4-6 Storey Apartments	2	2	897628.0176	5485439.272
568	11/14/2024	Accomodation	4-6 Storey Apartments	0	2	897124.8616	5486943.047
570	11/14/2024	Tennis club	New Recreation Feature	0	2	897230.2885	5487255.278
540	11/12/2024	I think higher buildings in upper Gibsons is the way to go.	4-6 Storey Apartments	3	1	897368.6278	5487518.735
1002	11/15/2024	There is a great spot for a playground here in a family neighbourhood. Right now there are just 2 swings and a slide. Could use a new structure so kids actually want to go there :)	New Recreation Feature	2	1	898020.0739	5487484.366
992	11/14/2024		4-6 Storey Apartments	1	1	896433.4826	5487498.252
547	11/12/2024	turf fields	New Recreation Feature	1	1	897523.6141	5487441.149
602	11/15/2024		New Recreation Feature	1	1	898311.9977	5487587.536
650	11/15/2024	A lit soccer field is needed so local players don't need to drive to sechelt for practice all through the darker months of the year. What about families that don't have vehicles - it would be impossible to play.	New Recreation Feature	1	1	897632.6177	5487393.417
577	11/14/2024	This road is very messy, with older homes on larger lots. I think this entire road could be redeveloped to have 4-6 storey apartments that offer easy walking distance to the shopping areas and transit.	4-6 Storey Apartments	0	1	897623.3708	5486946.701
598	11/14/2024		4-6 Storey Apartments	0	1	897744.9047	5487185.494
652	11/15/2024		4-6 Storey Apartments	0	1	897366.949	5487294.535
653	11/15/2024	Why not housing or offices over parking	4-6 Storey Apartments	0	1	897314.1709	5487385.808
980	11/14/2024		4-6 Storey Apartments	0	1	896973.1947	5487580.087
1008	11/15/2024		4-6 Storey Apartments	0	1	897033.2369	5486981.305
1015	11/15/2024	ideal area for larger building	4-6 Storey Apartments	0	1	898390.1446	5486819.787
1057	11/15/2024		4-6 Storey Apartments	0	1	897572.523	5487649.754
1222	11/15/2024	Love the densification happening here- walking distance to all amenities!	4-6 Storey Apartments	0	1	897528.6702	5486760.075
600	11/14/2024	Opportunity for higher density housing (flex zoning bylaws, duplexes). Prime location close to arterial road, amenities, bus route)	Focus Growth	0	1	898098.6627	5487522.993
669	11/15/2024		Focus Growth	0	1	897524.6497	5487727.344
609	11/15/2024	Sell this land and use the moneys to move and expand town hall to house all administration, meetings center etc in a larger area	Needs Care	0	1	898289.3748	5486454.097
1216	11/15/2024	The sewage treatment plant needs work to reduce the smell. This is even more urgent if larger volumes of waste are going to go through the plant with increased population.	Needs Care	17	0	897981.7988	5486063.261
565	11/14/2024	More and more people are using this route all the way to the beach. It badly in need of work to make it safe and appropriate for the increasing traffic. Wider, safe lane and signs for pedestrians and cyclists; etc	Needs Care	5	0	898036.0806	5485158.007
968	11/12/2024	The new apartment housing on Venture way is great. More of this in this area makes sense. As long as there is walking and biking connectivity.	4-6 Storey Apartments	4	0	897097.3428	5487185.566
542	11/12/2024	Something needs to be done about this intersection before someone gets killed.	Needs Care	3	0	897933.6494	5487168.534
561	11/14/2024	Vessels are being secured and then left to degrade and rot in the Gibsons waterlot. Better controls are needed to ensure the anchorage is usable by everyone.	Needs Care	3	0	898762.8642	5486708.637
584	11/14/2024	This intersection and surrounding store parking lots are dicey and need to be updated to accommodate the increase in traffic. For example it is almost impossible to turn left and go towards school road when exiting GBS. And the same issues for the home hardware parking lot: it is impossible to try and go to london drugs or iga wher	Needs Care	3	0	897391.9373	5487123.592
549	11/12/2024	Would be so cool to have a simple nature trail through this open pastural space (following the stream) to connect with Shaw. Also then able to meet trails to Stewart/Inglis/Chaster	New Recreation Feature	3	0	897417.5137	5486364.439
595	11/14/2024	Preserve what i left of this natural area	New Recreation Feature	3	0	897080.4973	5487571.984
556	11/12/2024	These trails are so important.	Preserve or Protect	3	0	897296.64	5486941.697
580	11/14/2024	Breakwater beach is being widely used by public and should be recognized and protected	Preserve or Protect	3	0	898744.9371	5486210.169
996	11/14/2024	Would love to see this natural area saved as part of aquifer protection	Preserve or Protect	3	0	897496.6377	5487624.102
581	11/14/2024	This vacant lot and the seaweeds/home hardware lot is a large amount of land where 4-6 storey apartments with retail below could go a long way to making this area feel cosy and lived in. Right now it feels a bit dumpy. And the people living in the apartments will be in walking distance to other shops as well as walking trails behind tl	4-6 Storey Apartments	2	0	897378.1894	5487097.641
599	11/14/2024	So much untapped potential to upgrade the mall and add 4-6 story residential buildings above. Huge potential to spruce up space, integrate public amenities (to promote community hub). Parking can be reduced, never at full capacity	4-6 Storey Apartments	2	0	897501.0478	5487147.133
972	11/14/2024	Kern Plaza is for sale. It would be an ideal site for ground floor retail and 4-6 storey residential.	4-6 Storey Apartments	2	0	898042.5364	5487219.36
1009	11/15/2024		4-6 Storey Apartments	2	0	897781.5325	5487206.561
969	11/12/2024	This area is prime for growth.	Focus Growth	2	0	896993.7504	5487212.332
986	11/14/2024		Focus Growth	2	0	897793.0109	5485407.617
974	11/14/2024	Traffic calming measures are needed as the school pushes drop off and pick up of elementary school children to O'Shea.	Needs Care	2	0	898007.0923	5486930.819
548	11/12/2024	fenced in dog park	New Recreation Feature	2	0	897658.9746	5487643.582
585	11/14/2024	Make this area a little more welcoming with plants, trees and places to sit. Similar to the cosiness found in the winegarden area where the stream is.	New Recreation Feature	2	0	898336.0315	5486508.608
1004	11/15/2024	We need more tennis courts in Gibsons for either tennis or pickle, currently there are only 4 courts in the whole town and they are often busy	New Recreation Feature	2	0	897281.9549	5487195.108
553	11/12/2024		Preserve or Protect	2	0	897817.0623	5485732.25
554	11/12/2024		Preserve or Protect	2	0	898788.9554	5487041.016
564	11/14/2024	Inglis Trail is being overrun by invasive Holly, which should be managed to preserve the natural species.	Preserve or Protect	2	0	897897.0313	5485954.883
571	11/14/2024		Preserve or Protect	2	0	898053.1257	5485487.413
579	11/14/2024		Preserve or Protect	2	0	898421.4602	5485841.845
588	11/14/2024	Preserve sensitive riparian areas. Consider expanding riparian buffer (over and above RAR setbacks) if opportunities arise (e.g. land acquisition)	Preserve or Protect	2	0	898600.1499	5487376.356
592	11/14/2024	Preserve what is left of this natural area. Important wildlife corridor	Preserve or Protect	2	0	897298.2554	5486807.118
604	11/15/2024		Preserve or Protect	2	0	898295.0093	5487659.58
645	11/15/2024	Protect farm land	Preserve or Protect	2	0	896484.2104	5487542.156
977	11/14/2024		Preserve or Protect	2	0	898524.0869	5486717.673
1041	11/15/2024	These trees are beautiful through the seasons and shade the sidewalk making it a nice route to walk. We love to get icecream and enjoy it in their shade.	Preserve or Protect	2	0	898328.7386	5486457.194
582	11/14/2024	Good place for residential rentals and apartments. I hope the development goes ahead	4-6 Storey Apartments	1	0	897160.537	5487069.318
583	11/14/2024	Focus growth between Gibsons Way, Payne Rd, Reed Rd and Park Rd. I think a mix of apartments, single unity dwellings and retail while making it all walkable and neighbourly would work really well in this space.	4-6 Storey Apartments	1	0	896894.9255	5487399.271
601	11/15/2024		4-6 Storey Apartments	1	0	896935.5069	5487228.365
1021	11/15/2024	Ideal area for higher building	4-6 Storey Apartments	1	0	898213.2716	5487243.876
1051	11/15/2024	A proposal for 4-6 story apartment is already in for this property. Being in such a walkable area it is a good fit for the site	4-6 Storey Apartments	1	0	896818.5047	5487033.233
558	11/12/2024		Focus Growth	1	0	897432.1761	5487730.35
566	11/14/2024	This is an ideal lot for development of both commercial and residential.	Focus Growth	1	0	897355.3383	5487075.9
987	11/14/2024		Focus Growth	1	0	896459.4522	5487313.033
1006	11/15/2024		Focus Growth	1	0	897779.723	5487231.379
1054	11/15/2024	This neighbourhood would be well suited to gentle density.	Focus Growth	1	0	898000.5165	5487527.378
541	11/12/2024	This intersection is very bad. Something needs to be done here.	Needs Care	1	0	896710.2466	5487046.693
630	11/15/2024	This Park is quite outdated	Needs Care	1	0	898559.472	5486687.864
631	11/15/2024	There should be some nicer native waterfront plantings along the sea walk. It seems neglected outside of the path itself.	Needs Care	1	0	898665.9079	5486708.115
633	11/15/2024	Mega parking lots are a waste of space	Needs Care	1	0	898180.4269	5487022.379
638	11/15/2024	Cycling infrastructure along Reed especially as it comes off North Rd is required	Needs Care	1	0	897689.7776	5487971.728
649	11/15/2024	More trees	Needs Care	1	0	897925.2321	5487015.558
1003	11/15/2024	Even though it is a 30km zone, people are always speeding up and down Crucil which is a family neighbourhood. Lots of kids walk to Gibsons Elementary or Elphi from here and there are no sidewalks. We need a stop sign at hillcrest and crucil and better traffic control measures	Needs Care	1	0	898322.8883	5487384.842
1012	11/15/2024		Needs Care	1	0	898873.032	5485784.36
1022	11/15/2024	a MUP is required to link the Ferry terminal to the Town	Needs Care	1	0	898783.4373	5487316.711
1055	11/15/2024	A bike path all the way from North Rd to Payne Rd, connecting Venture way would be great, so you can avoid heavy traffic Gibsons way/Sunshine coast highway on a bike.	Needs Care	1	0	897748.2315	5487392.519
1061	11/15/2024	Cross walk needed for kids getting to the high school!	Needs Care	1	0	897909.3014	5487338.871
1221	11/15/2024		Needs Care	1	0	897977.1434	5486060.154
545	11/12/2024	turf fields	New Recreation Feature	1	0	897434.4114	5487560.169
560	11/12/2024	Pump track	New Recreation Feature	1	0	898136.1802	5489920.126
574	11/14/2024	Add new courts. Tennis being over run by pickleball.	New Recreation Feature	1	0	897022.6914	5487662.349
1037	11/15/2024	Need a bike/ walking route here to connect Lower Gibsons and Bonniebrook area. A separated trail through the park off the road would let kids take this route!	New Recreation Feature	1	0	898005.6778	5485278.634
550	11/12/2024		Preserve or Protect	1	0	897848.5406	5486244.565
551	11/12/2024		Preserve or Protect	1	0	897893.5991	5486119.959
591	11/14/2024	Preserve natural areas. Once it's paved over, there's no turning back	Preserve or Protect	1	0	897843.6475	5486087.426
624	11/15/2024	These little hidden gardens are a magical stop on walks in the landing.	Preserve or Protect	1	0	898428.619	5486540.516

628	11/15/2024		Preserve or Protect	1	0	897415.7027	5486765.101
646	11/15/2024	Need to protect areas around ravines to prevent damage downstream	Preserve or Protect	1	0	898058.3622	5487919.368
657	11/15/2024	There is a lot of density next door on Gospel Rock. Would be nice to preserve some natural space next to this high density.	Preserve or Protect	1	0	897868.9284	5485620.802
660	11/15/2024		Preserve or Protect	1	0	897234.1957	5486851.638
970	11/12/2024	Please make sure these trees are protected. They provide shade in a very concrete area and it will look like the suburbs if they come down.	Preserve or Protect	1	0	897553.7157	5486847.559
973	11/14/2024	Rather than punching a road through here to connect to Gospel Rock, send traffic down Pratt. Otherwise Shaw Rd will see overwhelming traffic through a residential neighbourhood. Protect this area.	Preserve or Protect	1	0	897408.8358	5486419.171
976	11/14/2024		Preserve or Protect	1	0	897969.569	5486332.93
997	11/14/2024	While not always the prettiest depiction when you think of Gibsons, industrial zoning is important for our community. However, consider relocating industrial area given its prime location for mixed high density residential/commercial use	Preserve or Protect	1	0	896955.8528	5487140.63
1007	11/15/2024		Preserve or Protect	1	0	897161.4726	5486884.599
1016	11/15/2024	Install transient vessel mooring buoys rented and regulated by the unfortunately, mooring buoys need regular maintenance however, the foreshore need protection from transient vessel anchour damage and derelict and or abandon vessels.	Preserve or Protect	1	0	898850.219	5486612.81
1035	11/15/2024	Arrowhead Park is a beloved breath of natural beauty, with both forest and wetland plants very well used by people of all ages, dog walkers as it makes a circuit with many walking routes and destinations.	Preserve or Protect	1	0	898437.5472	5485802.271
1042	11/15/2024		Preserve or Protect	1	0	898428.7146	5486470.926
1044	11/15/2024		Preserve or Protect	1	0	898491.747	5487492.292
1046	11/15/2024		Preserve or Protect	1	0	898712.0941	5487258.896
567	11/14/2024		4-6 Storey Apartments	0	0	897078.1255	5487191.778
593	11/14/2024		4-6 Storey Apartments	0	0	897903.8655	5487323.689
594	11/14/2024	Arterial road - perfect opportunity for infill development for 4-6 story apartments with mixed use zoning	4-6 Storey Apartments	0	0	897929.1599	5487448.051
642	11/15/2024	Ideal spot for higher density residential with commercial on the bottom level	4-6 Storey Apartments	0	0	898012.1046	5487156.876
644	11/15/2024	I believe there is already a proposal in for 4-6 story apartments here. Probably a good spot as it is within walking distance of amenities. Would like to see the end of the property away from the road to have some saved natural areas for water retention	4-6 Storey Apartments	0	0	897030.0425	5487069.479
984	11/14/2024		4-6 Storey Apartments	0	0	897879.0152	5487333.349
985	11/14/2024		4-6 Storey Apartments	0	0	897806.2465	5487344.805
991	11/14/2024		4-6 Storey Apartments	0	0	896499.6707	5487103.894
1030	11/15/2024		4-6 Storey Apartments	0	0	897062.4504	5487235.264
1214	11/15/2024	This is so close to amenities could be great rental.	4-6 Storey Apartments	0	0	897791.8881	5487439.85
1613	11/15/2024	Less parking more housing	4-6 Storey Apartments	0	0	898139.3735	5487097.777
1619	11/15/2024	good location for residents to walk to services in mall	4-6 Storey Apartments	0	0	896781.6984	5487032.495
1623	11/23/2024		4-6 Storey Apartments	0	0	898568.3164	5486797.32
576	11/14/2024	This road is quite messy. It would be great to see new condo buildings	Focus Growth	0	0	897608.3235	5486938.587
617	11/15/2024	Parkland and the other lots around it would be a perfect Place for more housing.	Focus Growth	0	0	895362.9418	5487900.759
667	11/15/2024		Focus Growth	0	0	898160.3425	5487164.022
1005	11/15/2024		Focus Growth	0	0	897030.5842	5487017.757
1027	11/15/2024	focus growth in housing in upper gibsons and close to existing amenities.	Focus Growth	0	0	896504.5878	5487170.717
1224	11/26/2024		Focus Growth	0	0	892771.8981	5489188.116
1615	11/15/2024	add residential units since this is very close to recreational and service (mall) facilities within walking distance	Focus Growth	0	0	897369.2698	5487504.554
1622	11/23/2024	Increase the maximum Gross Floor Area (GFA), permit a greater number of units per lot, and remove size restrictions on Secondary Suites.	Focus Growth	0	0	898654.4362	5486860.144
1624	11/23/2024		Focus Growth	0	0	898578.7115	5486794.181
563	11/14/2024	Dangerous intersection. Pedestrians cross from Pioneer square to the SE corner of Gower Point Road. Construction at The Persephone regularly forced people (including wheelchair users) to use the roadway to walk around the construction area. Poor visibility at night/rainy conditions.	Needs Care	0	0	898533.2079	5486670.415
572	11/14/2024		Needs Care	0	0	896735.6609	5487256.319
575	11/14/2024		Needs Care	0	0	896737.3413	5487063.867
589	11/14/2024	Foreshore should be upgraded to appropriate sea level rise predictions as a climate resilience action	Needs Care	0	0	898443.3209	5486640.129
597	11/14/2024	The pool is an important and rare amenity for kids and families. Consider expanding pool in partnership with SCRD	Needs Care	0	0	897290.6176	5487021.444
607	11/15/2024		Needs Care	0	0	897484.8139	5487458.593
608	11/15/2024		Needs Care	0	0	897264.9357	5486784.531
611	11/15/2024	A MUP path is required along the road allowance. Rumble strip are required to keep speed down. The hill restricting vision needs to be removed.	Needs Care	0	0	898044.5165	5485241.309
613	11/15/2024	There are many areas for "off leash". This is not one. Stronger fines and bylaw enforcement are required in the summer months	Needs Care	0	0	898347.4146	5485505.639
614	11/15/2024	This area is geological nightmare as it unstable and is made up of fractured and displaced scree. Care is required when issuing building permits in this area.	Needs Care	0	0	898061.1619	5485441.081
618	11/15/2024	The side of this road needs care and a safe sidewalk or bike lane, especially at night time.	Needs Care	0	0	898330.6629	5486287.532
623	11/15/2024	I would like to see better calmed road design with integrated pedestrian space to make this more safe while walking.	Needs Care	0	0	898468.9333	5486091.457
625	11/15/2024		Needs Care	0	0	897492.5867	5486224.865
626	11/15/2024		Needs Care	0	0	897373.0294	5486577.975
632	11/15/2024	These long, solid buildings don't make sense given the views here. They should be broken up, but apartments and townhouses are a good idea.	Needs Care	0	0	898307.8792	5486926.03
634	11/15/2024	There should be a sidewalk and/or bike lane on the public land here on Payne.	Needs Care	0	0	896728.0911	5487118.127
647	11/15/2024	Lane has no stormwater drainage, roads need ditches or curbs to protect properties from runoff.	Needs Care	0	0	898147.6553	5485831.682
971	11/14/2024		Needs Care	0	0	897949.2593	5485656.879
978	11/14/2024		Needs Care	0	0	896723.6815	5487082.365
979	11/14/2024		Needs Care	0	0	896723.3889	5487070.259
1014	11/15/2024	This intersection has been severely compromise by narrowing the entrance with concrete. Remove the concrete barrier use paint this will permit street cleaning and Snow removal and easier use for larger vehicles and trailers.	Needs Care	0	0	898441.6622	5486732.708
1018	11/15/2024	A MUP corridor is needed through this area to link north and south.	Needs Care	0	0	897503.3708	5485429.774
1019	11/15/2024	A M UP corridor is required in this area to link east and west	Needs Care	0	0	897802.9011	5485591.199
1020	11/15/2024	A MUP is required in this area to link east to the west and to the north	Needs Care	0	0	897653.7519	5485970.111
1023	11/15/2024	Annex this area all the way to Langdale	Needs Care	0	0	898948.9963	5487918.231
1025	11/15/2024	Annex this area all the way to Langdale	Needs Care	0	0	899978.9343	5488745.279
1026	11/15/2024	this road needs major care. too many potholes. too narrow.	Needs Care	0	0	898090.7591	5485341.385
1028	11/15/2024	This access path is in bad shape and can be dangerous when icy or snowy. Needs better stairs and reilings.	Needs Care	0	0	898693.5441	5486827.913
1032	11/15/2024	A beach access here would allow a walk along the beach and back up from the stairs at the far end, and also allow a safe escape if trapped at high tide.	Needs Care	0	0	898197.7175	5485503.613
1034	11/15/2024	Park could use love and is a favourite beach access for young people.	Needs Care	0	0	898595.9705	5485657.077
1036	11/15/2024	Needs attention to invasive plants, care of trees (eg control ivy and blackberries and new tree plantings)	Needs Care	0	0	898412.3787	5485879.202
1039	11/15/2024	Need a sidewalk here.	Needs Care	0	0	898119.6736	5485983.791
1040	11/15/2024	This park would be great with more trees and plantings.	Needs Care	0	0	898364.1828	5486544.779
1045	11/15/2024	The Town should work with MOTI to make the highway a mainstreet - improve crossings; a boulevard maybe. The highway should go around north of Town.	Needs Care	0	0	896980.8124	5487082.552
1062	11/15/2024	The three way stop here isnâ€™t really working. People are always hesitating or making rash decisions.	Needs Care	0	0	898544.8686	5486657.979
1217	11/15/2024	Trail to Gibsons elementary school is extremely eroded.	Needs Care	0	0	897840.4732	5486985.333
1218	11/15/2024	Need a crosswalk for school kids	Needs Care	0	0	897556.2456	5486928.944
1219	11/15/2024	Love the separated multi use trail segments. Connect them up!	Needs Care	0	0	896901.0179	5487898.457
1223	11/15/2024	A trail connection through here to link the road allowances!	Needs Care	0	0	897879.5528	5486655.822
1616	11/15/2024	dog owners continue to use the playing field therefore please consider creating a dog park with area for small dogs and area for larger dogs with owners so that the fields remain in good condition and unsoiled by dogs.	Needs Care	0	0	897249.2492	5487520.76
1618	11/15/2024	just beyond where Sunnycrest Rd meets Reed there is a ditch and walkers have only a very narrow edge to safely use while walking along Reed Rd, heading towards Park Rd. Improvement to the ditch/drain pipe area so that the path can be made wider would keep people safe	Needs Care	0	0	897404.3662	5487951.088
590	11/14/2024	Upgrade community park (playground, landscaping beautification, - this is at a prime location with high traffic and opportunity to expand as a hub for locals and tourists alike.	New Recreation Feature	0	0	898224.2848	5486127.813
603	11/15/2024		New Recreation Feature	0	0	898279.3803	5487713.013
605	11/15/2024		New Recreation Feature	0	0	898085.2982	5487940.521
615	11/15/2024	Ideal area to acquire to expand Dougal Park to the Marina	New Recreation Feature	0	0	898315.728	5486175.585
620	11/15/2024	This park could use a redesign. It's one of the most unique spots in Gibsons with amazing views but rarely does this area attract people to hang out and mingle.	New Recreation Feature	0	0	898359.5077	5486529.817
621	11/15/2024	We need more permanent and transient moorage. We are a seaside village and weâ€™re missing out on tourist dollars. Sit on the dock at Bowen Island and look at the amount of boat traffic and people that come and go	New Recreation Feature	0	0	898719.3832	5486399.359
629	11/15/2024		New Recreation Feature	0	0	897627.0713	5487876.109
661	11/15/2024	Formally make this a protected park.	New Recreation Feature	0	0	897819.9072	5486175.363
668	11/15/2024	Community Garden.	New Recreation Feature	0	0	897810.5565	5487384.881
993	11/14/2024		New Recreation Feature	0	0	893332.6952	5487566.899
994	11/14/2024		New Recreation Feature	0	0	897932.1907	5485043.382
999	11/14/2024	Dream idea: a generous pedestrian pathway and bike lane along the main thoroughfare of Gibsons Way (from School Rd west to edge of town, possibly north on North Road too). Not only functional, but also can act as a community hub (busking, music vendors, food trucks, parades, community festivals)	New Recreation Feature	0	0	897651.1248	5487148.046
1029	11/15/2024	It would be nice if this was a more open space to enjoy for people. More open towards the water, better integrated with the seaside pathway. It would make it feels safer and more inviting too.	New Recreation Feature	0	0	898449.79	5486267.96
1038	11/15/2024	Popular park and gathering space but needs more shade trees for comfort	New Recreation Feature	0	0	898228.6155	5486157.457

1047	11/15/2024	We need a crossing near the highschool. I see people of all ages crossing unsafely here, mid block.	New Recreation Feature	0	0	897683.8946	5487155.586
1048	11/15/2024	Off-street bike paths should start here and connect through to Roberts Creek and beyond.	New Recreation Feature	0	0	896610.1623	5487040.002
1049	11/15/2024	Public trail connections and maybe a lane through would be great.	New Recreation Feature	0	0	897688.2402	5487037.942
1059	11/15/2024	A trail through the ravine to connect to lower gibsons.	New Recreation Feature	0	0	898455.5794	5487452.227
1063	11/15/2024		New Recreation Feature	0	0	898215.5047	5486488.505
1065	11/15/2024		New Recreation Feature	0	0	898381.4401	5486481.121
1066	11/15/2024	Little park	New Recreation Feature	0	0	898135.0205	5487028.846
1220	11/15/2024	Love the new pond and trails! Maybe a little playground?	New Recreation Feature	0	0	897292.563	5486998.428
1614	11/15/2024	A crosswalk would be much appreciated here.	New Recreation Feature	0	0	897915.0035	5487386.651
1617	11/15/2024	outdoor equipment for seniors to exercise, if not this area, then another situated on Rec Centre grounds.	New Recreation Feature	0	0	897239.2807	5487281.856
2013	11/15/2024	Trail system would be nice.	New Recreation Feature	0	0	898525.8923	5487410.193
552	11/12/2024		Preserve or Protect	0	0	897713.1966	5485955.521
612	11/15/2024	Very few marinas in the lower mainland	Preserve or Protect	0	0	898590.3695	5486248.665
619	11/15/2024	This little forest area is lovely and it'd be great to see it preserved. Kids play here all the time.	Preserve or Protect	0	0	898327.6733	5485658.744
627	11/15/2024		Preserve or Protect	0	0	896972.6227	5486879.433
635	11/15/2024	The slopes coming down to Charman Creek will need to be protected from development	Preserve or Protect	0	0	897798.5692	5485943.059
641	11/15/2024	Need to have a wide protected area along side of Charman Creek to maintain creek and protect downstream	Preserve or Protect	0	0	897546.5652	5486152.148
643	11/15/2024	Ideally there would a connection of natural space from the Inglis trail town land over to the Gospel Rock protected area.	Preserve or Protect	0	0	897942.9117	5485832.442
648	11/15/2024	Protect these trees on town land as once Billy's Walk is built there will be way fewer trees in this area	Preserve or Protect	0	0	898497.4951	5486717.16
654	11/15/2024	Nice little park, invasive ivy needs to be removed	Preserve or Protect	0	0	898435.0853	5485781.534
662	11/15/2024	There are better, non farm land spots in Gibsons for density.	Preserve or Protect	0	0	896482.644	5487446.206
665	11/15/2024		Preserve or Protect	0	0	898848.5921	5485813.77
975	11/14/2024		Preserve or Protect	0	0	897695.5789	5486272.406
995	11/14/2024		Preserve or Protect	0	0	898121.7599	5485275.595
1031	11/15/2024	This little forest park is loved by neighbourhood kids and a beautiful shady relief on walks.	Preserve or Protect	0	0	898318.7125	5485652.923
1033	11/15/2024	Beloved public beach - protect from private encroachment.	Preserve or Protect	0	0	898317.0791	5485497.113
1043	11/15/2024		Preserve or Protect	0	0	898399.3045	5486359.607
1050	11/15/2024	There is another comment about the need for light industrial areas in town which I agree with. I made a comment to the comment and I am not sure where that went however it was that I looked around Gibsons and I could not see a better spot for this light industrial to be moved to. Perhaps it is in the best spot right now.	Preserve or Protect	0	0	896908.9361	5487147.463
1056	11/15/2024	More well kept trails.	Preserve or Protect	0	0	897310.4072	5487864.532
1058	11/15/2024	Clear blackberries.	Preserve or Protect	0	0	897769.1557	5487370.947
1060	11/15/2024		Preserve or Protect	0	0	898359.076	5487531.72
1213	11/15/2024	ALR	Preserve or Protect	0	0	897578.8458	5485566.714

McElhanney

Town of Gibsons
Crowdsource Mapping



LEGEND

Focus Growth

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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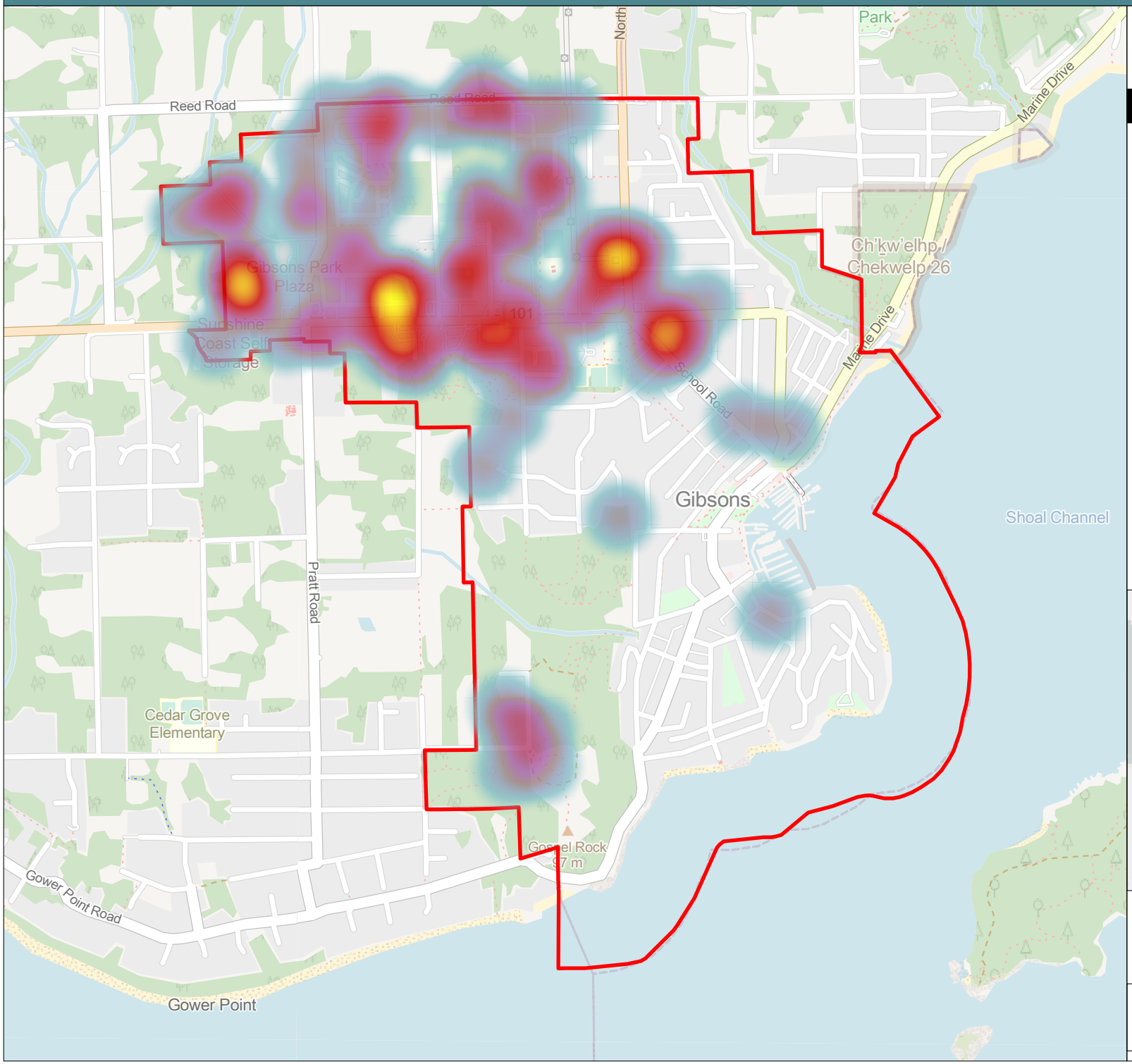
McElhanney

Town of Gibsons
Crowdsource Mapping



LEGEND

4-6 Storey Apartments

Sparse

Dense

Town Boundary

1:20,000

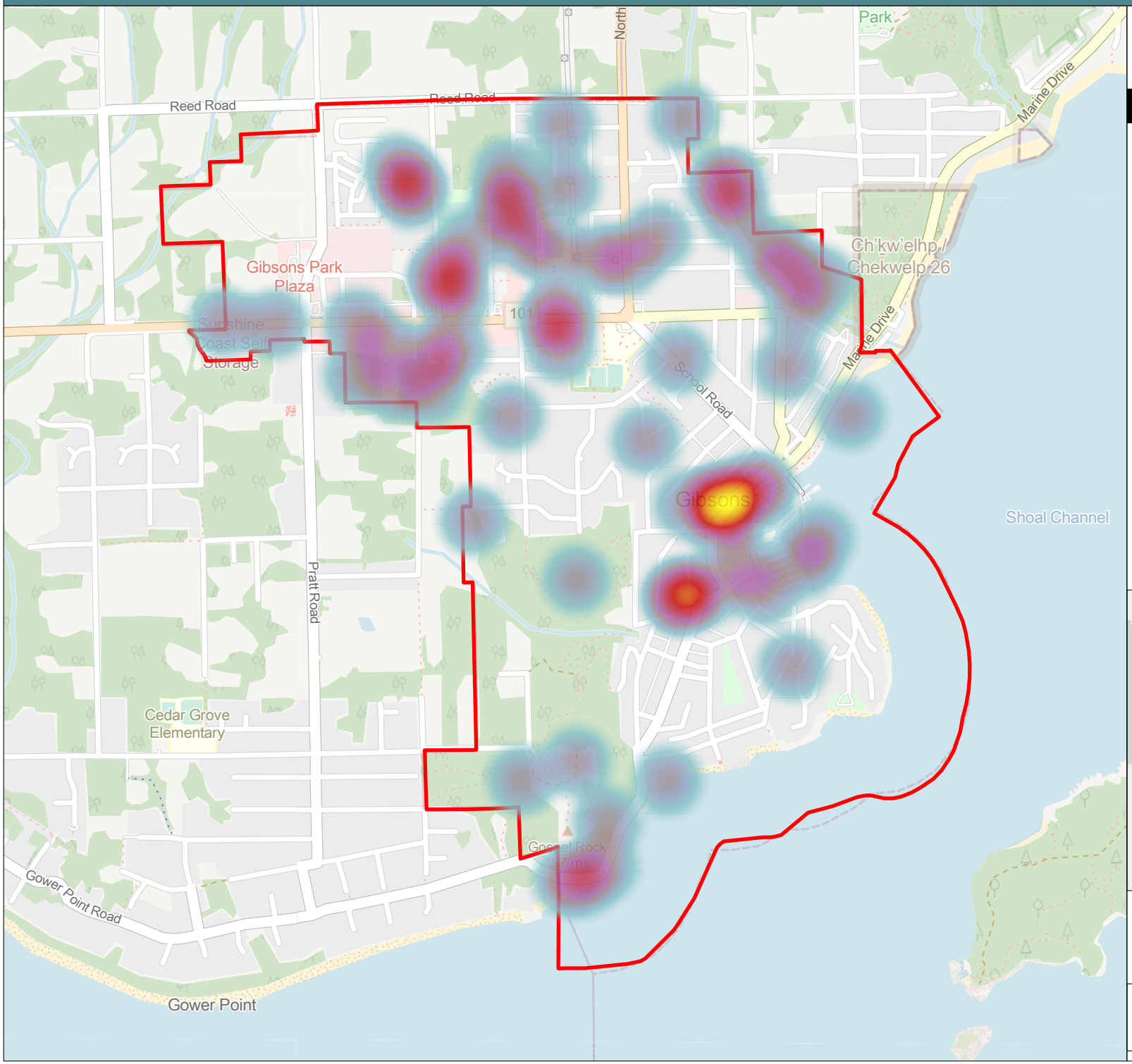
0 250 500 m

N

Folder: X:\2111\Projects\2111-06943-00 ToG - OCP and Zoning Bylaw\06_GIS\02_ArcPro_Project\Crowdsource\

McElhanney

Town of Gibsons
Crowdsource Mapping



LEGEND

New Recreation Feature

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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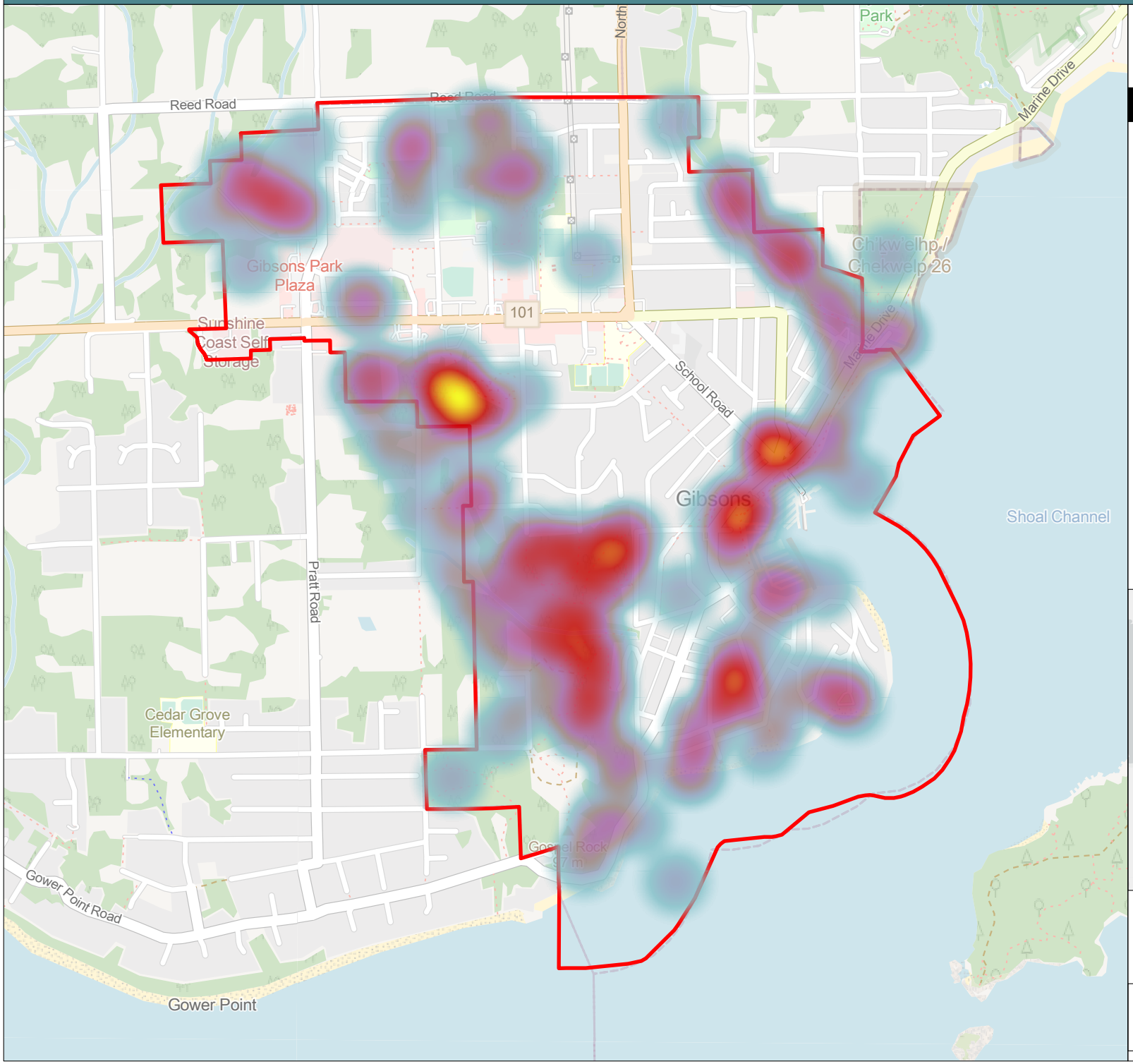
McElhanney

Town of Gibsons
Crowdsource Mapping



LEGEND

Preserve or Protect

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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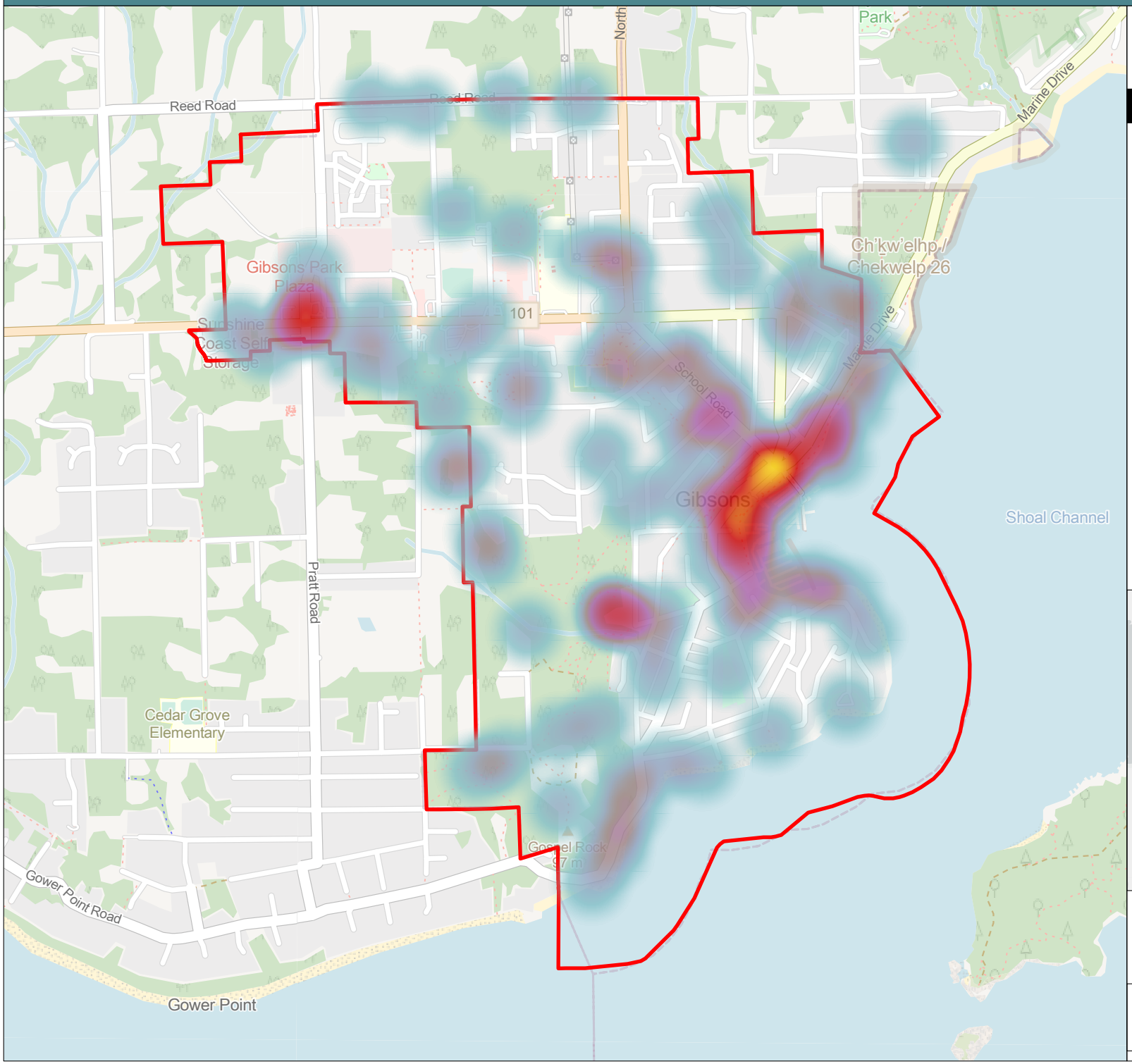
McElhanney

Town of Gibsons
Crowdsource Mapping



LEGEND

Needs Care

Sparse

Dense

Town Boundary

1:20,000

0 250 500 m

N

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McElhanney

CANADA BEST MANAGED COMPANIES

Platinum member